



The City with Spirit

NOTICE OF MEETING

Notice is hereby given that a **Planning Authority Committee** meeting of the Devonport City Council will be held in the Council Chambers, 17 Fenton Way, Devonport, on Monday 10 October 2016, commencing at 5:15pm.

The meeting will be open to the public at 5:15pm.

QUALIFIED PERSONS

In accordance with Section 65 of the *Local Government Act 1993*, I confirm that the reports in this agenda contain advice, information and recommendations given by a person who has the qualifications or experience necessary to give such advice, information or recommendation.

Paul West
GENERAL MANAGER

5 October 2016

**AGENDA FOR A MEETING OF THE PLANNING AUTHORITY COMMITTEE OF
DEVONPORT CITY COUNCIL HELD ON MONDAY 10 OCTOBER 2016
AT THE COUNCIL CHAMBERS AT 5:15PM**

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Agenda of a meeting of the Devonport City Council's **Planning Authority Committee** to be held at the Council Chambers, 17 Fenton Way, Devonport on Monday 10, October 2016 commencing at 5:15pm.

PRESENT

		Present	Apology
Chairman	Ald S L Martin (Mayor)		
	Ald C D Emmerton		
	Ald G F Goodwin		✓
	Ald J F Matthews		
	Ald L M Perry		

IN ATTENDANCE

All persons in attendance are advised that it is Council policy to record Council Meetings, in accordance with Council's Audio Recording Policy. The audio recording of this meeting will be made available to the public on Council's website for a minimum period of six months. Members of the public in attendance at the meeting who do not wish for their words to be recorded and/or published on the website, should contact a relevant Council Officer and advise of their wishes prior to the start of the meeting.

1.0 APOLOGIES

Ald GF Goodwin

2.0 DECLARATIONS OF INTEREST

3.0 DELEGATED APPROVALS

3.1 PLANNING APPLICATIONS APPROVED UNDER DELEGATED AUTHORITY - 1 AUGUST 2016 TO 30 SEPTEMBER 2016

ATTACHMENTS

1. Delegated Planning Approvals - 1 August 2016 - 30 September 2016

RECOMMENDATION

That the list of delegated approvals be received.

Author:	Jennifer Broomhall	Endorsed By:	Brian May
Position:	Planning Administration Officer	Position:	Development Manager

Planning Applications Approved Under Delegated Authority – 1 August 2016 – 30 September 2016

Application No.	Location	Description	Approval Date
PA2016.0009	114-116 William Street Devonport	Vehicle fuel sales and service (site redevelopment) and rezoning from General Residential to Central Business	1/08/2016
PA2016.0085	48-54 Oldaker Street Devonport	Advertising signage – assessment against performance criteria prescribed under Sign Code (E7)	18/08/2016
PA2016.0090	18 Rooke Street Devonport	Residential (change of use to single dwelling) - including assessment against performance criteria for private open space	2/08/2016
PA2016.0091	10 Pengali Place Devonport	Residential (single dwelling) - assessment against performance criteria under clause 10.4.2 and 10.4.6	1/08/2016
PA2016.0094	5 Lower Madden St, Devonport	Residential (demolition of existing house and outbuilding) within Local Heritage Conservation area	8/08/2016
PA2016.0095	1/23 Gibson Court, Spreyton	Residential (addition to multiple dwelling) – assessment against performance criteria for setbacks and building envelope	25/08/2016
PA2016.0096	2/34 Georgiana Street Devonport	Residential (multiple dwelling, existing addition) - assessment against performance criteria under clause 10.4.2	22/08/2016
PA2016.0097	11 John Street East Devonport	Resource Processing (building alterations)	18/08/2016
PA2016.0098	211 Brooke Street East Devonport	Storage (building extension incorporating ancillary offices and amenities) – assessment against performance criteria under clause 26.4.2 (front setback variation)	16/08/2016
PA2016.0099	211 Brooke Street East Devonport	Storage (Facility Expansion - Packing and Distribution Centre)	7/09/2016
PA2016.0100	20-36 Valley Road Devonport	Education and occasional care (lift and access landing)	31/08/2016
PA2016.0101	7 Sherston Road Eugenana	Residential (dwelling site and outbuilding) - assessment against performance criteria under 13.4.1 & 13.4.2	29/08/2016
PA2016.0102	29 Hillcrest Road Devonport	Service Industry and Storage	24/08/2016
PA2016.0103	200 Perrys Road Forthside	Storage (farm shed)	18/08/2016
PA2016.0104	121 David Street East Devonport	Residential (outbuilding) - assessment against performance criteria for setbacks and building envelope	7/09/2016
PA2016.0105	54 Tarleton Street East Devonport	Reconfiguration of lot boundaries	23/09/2016
PA2016.0106	12 Stephen Street East Devonport	Residential (dwelling extension and shed) - assessment against provisions described within 9.1 - "Changes to an Existing Nonconforming Use"	16/09/2016
PA2016.0107	2 Riverbend Drive Don	Discretionary: Residential (shed) – assessment against performance criteria for location and configuration of development (setback variations) and Permitted: Residential (carport and verandah addition)	8/09/2016

Planning Applications Approved Under Delegated Authority – 1 August 2016 – 30 September 2016

Application No.	Location	Description	Approval Date
PA2016.0108	71 Mary Street East Devonport	Residential (detached portion of single dwelling) - assessment against performance criteria under clause 10.4.2 for a rear setback variation	14/09/2016
PA2016.0110	46 Appledore Street Miandetta	2 lot subdivision and Residential (dwelling extension - garage) – assessment against performance criteria under General Residential Zone Provisions 10.4.2, 10.4.9, 10.4.13 & Change in Ground Level Code (E4)	28/09/2016
PA2016.0111	136 Clayton Drive Spreyton	Residential (dwelling extension - garage) - assessment against performance criteria under clause 13.4.1 & 13.4.2	13/09/2016
PA2016.0112	139 Tasman Street Devonport	Residential (deck) - assessment against performance criteria under clause 10.4.2 (front setback variation)	21/09/2016
PA2016.0114	20-22 Oldaker Street Devonport	Change of use from General Retail & Hire to Business & Professional Services (Permitted); and Discretion to allow for lesser than permitted number of car parking spaces required under the Traffic Generating Use and Parking Code (E9)	27/09/2016
PA2016.0118	221 Forthside Road Forthside	Resource processing (cool store) - assessment against performance criteria for reduced front setback (26.4.2)	27/09/2016
PA2016.0121	187 Tugrah Road Tugrah	Residential (single dwelling)	27/09/2016
PA2016.0124	21 Mangana Drive Tugrah	Residential (single dwelling) - assessment against performance criteria for suitability of a site	28/09/2016

4.0 DEVELOPMENT REPORTS

4.1 PA2016.0120 THREE STOREY MIXED USE DEVELOPMENT (GENERAL RETAIL & HIRE AND RESIDENTIAL) INCLUDING THE DEMOLITION OF EXISTING BUILDINGS; AND

INCLUDING THE DISCRETIONS TO ALLOW:

- BUILDING OUTSIDE OF THE PERMITTED BUILDING ENVELOPE (SETBACK AND HEIGHT);**
- DEMOLITION OF BUILDING LISTED UNDER THE LOCAL HERITAGE CODE; AND**
- LESSER THAN PERMITTED NUMBER OF PARKING SPACES REQUIRED UNDER THE TRAFFIC GENERATING USE AND PARKING CODE - 2, 4 & 6 OLDAKER STREET DEVONPORT**

File: 33175 D441941

RELEVANCE TO COUNCIL'S PLANS & POLICIES

Council's Strategic Plan 2009-2030:

- Strategy 2.1.1 Apply and review the Devonport Interim Planning Scheme as required, to ensure it delivers local community character and appropriate land use.
- Strategy 2.1.2 Provide high quality, consistent and responsive development assessment and compliance processes.

PURPOSE

The purpose of this report is to enable Council's Planning Authority Committee to make a decision regarding planning application PA2016.0120.

BACKGROUND

Planning Instrument:	<i>Devonport Interim Planning Scheme 2013</i>
Applicant:	Mr Andrew Stegmann
Owner:	Mr A P Stegmann
Proposal:	Three storey mixed use development (General Retail & Hire and Residential) including the demolition of existing buildings; and Including the discretions to allow: <ul style="list-style-type: none">- Building outside of the permitted building envelope (setback and height);- Demolition of building listed under the Local Heritage Code; and Lesser than permitted number of parking spaces required under the Traffic Generating Use and Parking Code.
Existing Use:	Existing buildings not under current use.
Zoning:	Urban Mixed Use
Decision Due:	19/10/2016

SITE DESCRIPTION

The subject site is identified by Certificates of Title 234820/1, 232713/1 & 78965/3, with the property address of 2, 4 & 6 Oldaker Street, Devonport. The site comprises a combined land area of approximately 1780m² and is designated an Urban Mixed Use zoning under the *Devonport Interim Planning Scheme 2013* (DIPS).



Figure 1: Location of site 2, 4 & 6 Oldaker Street, Devonport (Source: www.thelist.tas.gov.au)

The property is located within an established built-up area at the periphery of the Devonport central business district (CBD). The existing buildings on the site are not understood to be under any current use, however Table 1 below provides a general summary as to the previous use of the site in recent times.

Property address	Description of previous use/development
2 Oldaker Street	Goodyear automotive repair business. Industrial style shed structures.
4 Oldaker Street	ETCS (Electrical Testing & Compliance Service). Existing house structure.
6 Oldaker Street	Midas automotive repair business. Industrial style shed structures.

Table 1: Previous use and development of site.

The existing house on 4 Oldaker Street is a local heritage listed building identified under Table E5.1 of the Local Heritage Code (E5) of the DIPS, with this listing detailing a 1900 Victorian house. This listing relates to the building itself and the property is not located within a conservation area for the purposes of the Local Heritage Code. It is important to make the distinction that this is a local heritage listing under the DIPS, the building is not State listed on the Tasmanian Heritage Register.

Figures 2 - 4 overleaf depict the existing Oldaker streetscape view of the site.



Figure 2: Existing street view of 2 Oldaker Street, Devonport (Source: DCC –September 2016)



Figure 3: Existing street view of 4 Oldaker Street, Devonport (Source: DCC –September 2016)



Figure 4: Existing street view of 6 Oldaker Street, Devonport (Source: DCC –September 2016)

APPLICATION DETAILS

The application seeks approval for the demolition for the existing buildings located on the site and the new proposal comprises a three storey mixed use development (retail and residential) featuring:

- Ground floor – retail (shop 1, 2 & 3);
- First floor – retail (additional floor space for shop 3); and
- Second floor – residential (multiple dwellings¹ - four apartments).

The proposed development further includes the provision of garaged and external on-site parking facilities for residents, employees and customers.

A streetscape view (from Oldaker Street) of the proposed development is illustrated in Figure 5 below, whilst a full reproduction of the development plans is appended as **Attachment 1**.



Figure 5 – Proposed streetscape view - 2, 4 & 6 Oldaker Street, Devonport (Source: PA2016.0120 – DHK Architecture).

PLANNING ISSUES

The proposed mixed use development on the site requires the exercise of discretion (ie reliance on the Performance Criteria) on a number of development standards prescribed under the DIPS. These include standards applicable under the Urban Mixed Use Zone, Local Heritage Code and Traffic Generating Use and Parking Code.

Urban Mixed Use Zone

The site is zoned Urban Mixed Use and in accordance with provision 15.1.1 the purpose of this Zone is *to provide for integration of residential, retail, community services and commercial activities in urban locations*. The retail/residential mixed use development proposed as part of this application is consistent with this stated Zone purpose.

As further required by the DIPS all use and development must be categorised into a prescribed use class as detailed under provision 8.2. The proposed mixed use development can be appropriately categorised as *general retail & hire* and *residential*. The Use Table for the Urban Mixed Use zone prescribes general retail & hire use and residential use (if a multiple dwelling development) a permitted use status.

¹ Pursuant to provision 4.3.1 of the DIPS a *multiple dwelling* means 2 or more dwellings on a site. The proposed four apartments on the second floor of the development appropriately conforms to this definition.

Notwithstanding this permitted use status, the development relies upon performance criteria under the zone including the discretion to build outside of the permitted building envelope².

The permitted building envelope required under provision 15.4.3 A2 (b) is reproduced in Figure 3 below and can be described as follows:

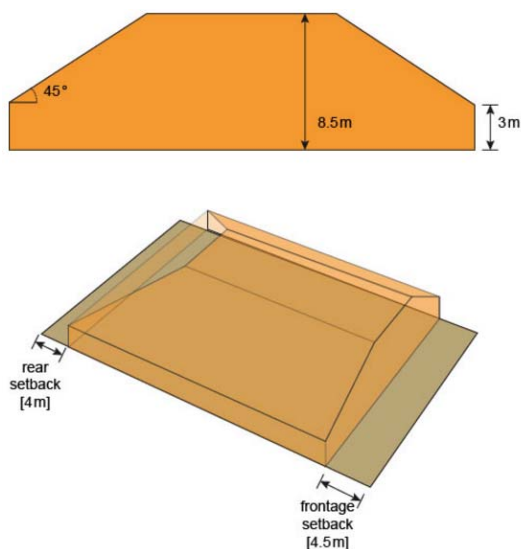


Figure 6: Permitted building envelope as described by provision 15.4.3 A2 (b) of the DIPS

- (a) The applicable frontage setback;
- (b) Projecting at an angle of 45° from the horizontal height of 3.0m at each side boundary and at a distance of 4.0m from the rear boundary to a building height of not more than 8.5m; and
- (c) Only having a building setback within 1.5m of a side boundary if:
 - i. The wall height is not more than 3.0m; and
 - ii. Built against an existing wall of an adjoining building; or
 - iii. The wall or walls –
 - a. have the lesser of a total length of 9.0m or one-third of the boundary with the adjoining land; and
 - b. There is no door or window in the wall of the the building; and
 - c. Overshadowing does not result in:
 - Less than 2 hours of continuous sunlight to a required minimum private open space area in any adjacent dwelling between 9:00am and 3:00pm on 21st June; or
 - A further reduction in continuous sunlight to a required minimum private open space area in any adjacent dwelling if already less than 2 hours between 9:00am and 3:00pm on 21st June; or
- (d) In accordance with any building envelope shown on a sealed plan.

The proposed three storey mixed use development extends beyond the permitted building envelope and relies upon the discretion to allow lesser than permitted building setbacks and a greater than permitted building height. Assessment is therefore required against the corresponding performance criteria of 15.4.3 P2. These performance criteria include the consideration of matters including the impact of building bulk and scale upon the streetscape, consistency with existing building form on adjacent land and also the

² Pursuant to provision 4.3.1 of the DIPS a building envelope means: the three-dimensional space within which buildings are to occur.

likelihood for an unreasonable loss of residential amenity through loss of sunlight to habitable rooms and private open space of any adjacent dwelling.

Noting the existing industrial style shed structures located on 2 and 6 Oldaker Street (associated with the previous use of these properties for service industry (automotive repair business) use), the proposed development is considered to enhance the streetscape from its current state. Furthermore, the proposed building form (both setback and height) is considered to be appropriately consistent with that upon adjacent land whilst also noting the proximity of the site to the City centre.

The design of the building façade fronting onto Oldaker Street including landscaping detail and the retention of the Crown Land parcel (adjoining the eastern boundary of 2 Oldaker Street) as an open space grassed area are further deemed to soften the impacts associated with building bulk and scale. Shadow diagrams for the proposed building have been included with the application (included with **Attachment 1** and featuring “before and after” comparisons). This information indicates that the proposed development is unlikely to result in an unreasonable level of overshadowing noting the existing level of shadowing cast by adjacent buildings.

Further discretion is sought under provision 15.4.3 P4 to allow for the location of the external on-site car parking in line with the proposed building frontage (the permitted standard requiring that external car parking is located behind the primary frontage elevation of a building). In this regard the location and design (including landscaping works) of the external carpark are considered acceptable and do not pose a dominant and detracting feature of the development nor will it visibly diminish streetscape appeal. The previous use and development upon 2 & 6 Oldaker have utilised external car parking to the front and it is further noted that other sites fronting onto Oldaker Street (especially further along Oldaker Street to the West and also under an Urban Mixed Use zoning), feature external car parking between a frontage and the front building elevation. Thus the proposed parking layout is not inconsistent with the existing streetscape.

Local Heritage Code

As detailed previously, the existing house on 4 Oldaker Street is a building listed under the Local Heritage Code of the DIPS, and therefore its proposed removal is subject to the requirements of this Code. As also noted prior, this listing relates to the building itself and the property is not located within a conservation area for the purposes of the Local Heritage Code.

With respect to the local heritage listing of the existing house on 4 Oldaker Street, Table E5.1 of the DIPS details as follows:

Site	Description of Building or Place	Statement of architectural or historic interest or special cultural value	Conservation Outcomes
4 Oldaker	House	1900 Victorian house.	None specified.

The applicable standard under the Local Heritage Code for which this development application must be assessed is the demolition standard established under E5.6.2. This provision is reproduced overleaf.

E5.6.2 Demolition

Objective: Demolition of a building, area or other place is to occur only if there is no feasible and prudent alternative.	
Acceptable Solutions	Performance Criteria
A1 Demolition achieves the conservation outcomes for a building, place or conservation area shown in Column 4 of the Table to this Code.	P1 Demolition in whole or in part of a building or place may be permitted, having regard to: <ul style="list-style-type: none"> (a) the heritage significance of the affected parts of the building or place; (b) the likely benefits of renovating, rehabilitating, reconstructing or modifying the building for an approved use; and (c) the impracticability and cost of retaining and conserving the building or place; or (d) overriding environmental, public health or economic considerations.

It is noted that the above Acceptable Solution (A1) details compliance against ‘...the conservation outcomes for a building, place or conservation area shown in Column 4 of the Table to this Code...’ for which there are no such outcomes specified and the absence of which essentially renders the Acceptable Solution unachievable. As to whether the absence of the conservation outcomes has the effect of “compliance by default” (ie it is deemed to comply with the conservation outcome because there is no specified outcome) is a matter that does not appear to have been further tested under a Resource Management and Planning Appeal Tribunal proceeding.

Notwithstanding, in this instance it is considered appropriate for the proposed demolition to be considered against the requirements of the Code to ensure that local heritage values are given consideration. Accordingly, the proposal must be considered against the corresponding Performance Criteria prescribed under E5.6.2 P1.

In support of the proposed development the applicant has provided a report prepared by Loop Architecture detailing an assessment of the building and its features (this is included within **Attachment 1**). The report makes the observation that the building has undergone several alterations and additions which are considered to detract from its original archetypal value.

As detailed in the above standard, provision E5.6.2 P1 prescribes a set of qualitative criteria against which the development must comply.

The existing building upon 4 Oldaker Street is not under any existing use being currently vacant, and as detailed in the report from Loop Architecture various additions and alterations have been undertaken over recent years. Furthermore, and as indicated by Figure 2 previously, this property is located between the lots of 2 and 6 Oldaker Street which feature industrial type shed structures associated with the previous use of these sites for service industrial (automotive repair business) type uses with these structures of no architectural significance. This observation alone is considered to compromise the local heritage value of the building and it is also noted that there exist other examples of Victorian style housing within the Devonport municipal area of a similar architectural vintage which are mapped within identified conservation areas under the Local Heritage Code of the DIPS.

The location of the proposed mixed use development at the periphery of the Devonport CBD is considered to compliment the Council's Living City initiative, particularly through the provision of residential living spaces in proximity to the City centre. Additionally, the mixed use nature of the proposal (retail and residential) is consistent with the purpose of the underlying Urban Mixed Use zoning of the site. The proposal represents a significant economic investment, and potentially a significant economic boost for Devonport City, which is considered to outweigh the benefit associated with the retention of the existing building.

In accordance with the above commentary, the proposed demolition is considered to be appropriately consistent with the requirements of provision E5.6.2 P1.

Traffic Generating Use and Parking Code

Provision E9.5.1 A1 of the DIPS prescribes the permitted minimum number of parking spaces required for use and development. For this type of development, and as a permitted standard, this provision would ordinarily require parking provision at the rate of:

- Residential – multiple dwellings in the Urban Mixed Use zone:
 - (a) 2 x spaces/dwelling; and
 - (b) 1 x space/ 3 dwellings for overflow and visitor parking; and
- General retail & hire - shops:
 - (c) 1 x space for 30m² gross floor area; and
 - (d) 1 x small rigid truck space / 400m² gross floor area.

For this proposed mixed use development the permitted parking requirements would be:

- Residential – 9 parking spaces (2 per dwelling and 1 visitor/overflow space); and
- General retail and hire - 41 parking spaces (noting a total shop space floor area (for shop 1, 2 & 3 of 1231m²).
- This equates to a total of 50 parking spaces required as a permitted standard.

The proposed mixed use development details 21 dedicated on-site parking spaces and so the application relies upon the discretion to allow a lesser than permitted number of parking spaces than those required under provision E9.5.1 A1 and must be assessed against the corresponding performance criteria of E9.5.1 P1 (b). This standard prescribes a set of criteria for the adequate and appropriate provision of parking to meet the likely volume, type, frequency and duration of the use and also the needs/requirements of site users.

Noting the location of the site at the fringe of CBD, it seems a reasonable observation that a proportion of customers to the retail tenancies of the development would visit these premises as part of a wider city/shopping experience and thus there is a likelihood to park elsewhere (such as in designated car parks). The promotion of reliance upon the use of designated public parking also has the strategic advantage of encouraging people to remain in the CBD longer.

In this instance the number of parking spaces provided is considered to be reasonable in the context of the proposed use and development of the site, its close proximity to the Devonport CBD, and the availability of off-street car parking and nearby designated public car parks currently in existence and those under development. The location of the site at the fringe of the CBD also provides ample opportunity for access to public transport systems and networks.

The internal (garaged) parking provided (5 spaces) is understood to be reserved for the exclusive use of the residents occupying the residential apartments on the second floor of the development. These apartments represent consolidated near-city living spaces and in

line with the preceding commentary, this is considered sufficient to meet the requirements of site users.

The application is further considered to provide for adequate onsite vehicle manoeuvrability and loading (collection, deliveries, etc.) that appropriately comply with the requirements of the DIPS.

In accordance with the above commentary, the parking spaces provided are considered to appropriately and adequately provide for the needs and requirements of site users and sufficient for the type, intensity and scale of the mixed use (residential/retail) development.

COMMUNITY ENGAGEMENT

On 07/09/2016, Council received an application for the above development. Under Section 57(3) of the *Land Use Planning and Approvals Act 1993*, the Planning Authority must give notice of an application for a permit. As prescribed at Section 9(1) of the *Land Use Planning and Approvals Regulations 2014*, the Planning Authority fulfilled this notification requirement by:

- (a) Advertising the application in *The Advocate* newspaper on 10/09/2016;
- (b) Making a copy of the proposal available in Council Offices from the 10/09/2016;
- (c) Notifying adjoining property owners by mail on 08/09/2016; and
- (d) Erecting a Site Notice for display from the 10/09/2016.

The period for representations to be received by Council closed on 26/09/2016.

REPRESENTATIONS

One representation was received within the prescribed statutory 14-day public notification period required by the *Land Use Planning and Approvals Act 1993*.

The issues raised in the representation can be generally summarised as objecting to the proposed demolition of the building on 4 Oldaker Street which is listed under the Local Heritage Code (E5) of the DIPS.

A copy of this representation is appended as **Attachment 2**.

DISCUSSION

The matters raised in the representation essentially reflect the previous commentary provided in the assessment of the application against the requirements of the Local Heritage Code of the DIPS.

It is considered that despite the listing of the property in the Heritage Code of the DIPS the applicant has put forward strong reasons why demolition should be permitted. Principle among these reasons is that renovations and alterations over the years have detracted from the building's conservation value and the economic benefit that the development should bring. These reasons are consistent with the Performance Criteria in the demolition development standards of the Heritage Code.

As part of the normal assessment procedure the application was internally referred to the various Council departments with an interest in development applications. The comments/requirements of these referrals have been incorporated into this assessment and the permit documentation as appropriate.

In accordance with the requirements of the *Water and Sewerage Industry Act 2008* the application was referred to TasWater who subsequently issued a Submission to Planning Authority Notice. In accordance with section 56P (1) of the *Water and Sewerage Industry Act 2008* this notice forms part of the planning permit conditions.

This report has provided an assessment of the proposal against the requirements of the DIPS and in particular those matters where the exercise of discretion has been sought.

FINANCIAL IMPLICATIONS

No financial implications are predicted unless an appeal is made against the Council's decision to the Resource Management and Planning Appeal Tribunal (RMPAT). In such instance legal counsel may be required to represent Council. The opportunity for an appeal exists as a result of the Council determining to either approve or refuse the application.

RISK IMPLICATIONS

No risk implications are associated with a determination of this planning permit application.

CONCLUSION

The proposal is a mixed use (retail/residential) development located at the fringe of the Devonport City centre and upon land appropriately zoned for such purposes. The application has been assessed to appropriately comply with the requirements of the *Devonport Interim Planning Scheme 2013* and the discretions sought thereunder are deemed to have merit and can be supported. The application is therefore recommended for approval.

ATTACHMENTS

1. Application - PA2016.0120 - 2 4 6 Oldaker Street Devonport
2. Representation - Julee McCarthy - PA2016.0120 - 2 4 6 Oldaker street Devonport

RECOMMENDATION

That Council, pursuant to the provisions of the *Devonport Interim Planning Scheme 2013* and Section 57 of the *Land Use Planning and Approvals Act 1993*, approve application PA2016.0120 and grant a Permit to use and develop land identified as 2, 4 & 6 Oldaker Street, Devonport for the following purposes:

- Three storey mixed use development (General Retail & Hire and Residential) including the demolition of existing buildings; and
- Including the discretions to allow:
 - Building outside of the permitted building envelope (setback and height);
 - Demolition of building listed under the Local Heritage Code; and
 - Lesser than permitted number of parking spaces required under the Traffic Generating Use and Parking Code.

Subject to the following conditions:

1. Unless otherwise specified by a condition of this permit, the use and development is to proceed generally in accordance with the submitted plans referenced as Proposed Mixed Use Development – 2, 4 & 6 Oldaker Street prepared by DHK Architecture, copies of which are attached and endorsed as documents forming part of this Planning Permit.
2. The developer is to comply with the conditions specified in the Submission to Planning Authority Notice which TasWater has required to be included in the planning permit pursuant to section 56P (1) of the Water and Sewerage Industry Act 2008. A copy of this Notice is attached.

3. The developer is to comply with the conditions specified in the *Roads and Stormwater – In Principle Agreement* with the Devonport City Council. A copy of this Agreement is attached.

Note: The following is provided for information purposes.

THIS IS NOT A BUILDING PERMIT.

You need to provide a copy of this planning permit to a registered Tasmanian Building Surveyor. WORK CANNOT COMMENCE UNTIL BUILDING AND PLUMBING PERMITS ARE ISSUED.

Prior to the lodgement of a building permit application, it is recommended that the developer consult with a registered Tasmanian building surveyor as to requirements for the consolidation of the land titles comprising 2, 4 & 6 Oldaker Street, Devonport so as to allow building to occur over these title boundaries. In this regard an Adhesion Order made under section 110 of the *Local Government (Building and Miscellaneous Provisions) Act 1993* may be required.

In regard to condition(s) specified in the TasWater Submission to Planning Authority Notice, the applicant/developer should contact TasWater (Ph: 136 992) with any enquiries.

In regard to condition 3 and matters contained within the *Roads and Stormwater – In Principle Agreement*, the applicant should contact Council's City Infrastructure Department – Ph 6424 0511 with any enquiries.

Hours of construction (including demolition) must be: Monday to Friday 7am – 6pm; Saturday between 9am – 6pm; and Sunday/statutory public holidays 10am – 6pm.

During the construction and subsequent use of the building, all reasonable measures are to be taken to minimise off-site environmental effects that may result in a nuisance. This includes air, noise and water pollution with such matters subject to the provisions and requirements of the *Environmental Management and Pollution Control Act 1994* including Regulations made thereunder.

During the demolition of existing buildings on the site all reasonable measures are to be taken to:

- (a) protect property and services on and adjacent to the site from interference, damage or nuisance; and
- (b) minimise off-site environmental effects that may result in a nuisance;

Any asbestos found during the demolition is to be managed and disposed of in accordance with best practice guidelines and at a licensed refuse disposal facility.

No burning of waste is to be undertaken on site. Rubbish and waste materials are to be removed from site and disposed of at a licensed refuse disposal facility.

Prior to commencing any vegetation removal/modification works upon the Crown Land parcel adjoining 2 Oldaker Street – the developer must apply for and obtain consent from Crown Land Services for such works. A copy of this application form is attached and any enquiries should be directed to Crown Land Services Ph. (03) 6233 6413.

Author:	Shane Warren	Endorsed By:	Brian May
Position:	Planning Officer	Position:	Development Manager

Office use
Application no. _____
Date received: _____
Fee: _____
Permitted/Discretionary

Devonport City Council*Land Use Planning and Approvals Act 1993**Devonport Interim Planning Scheme 2013***Application for Planning Permit****Use or Development Site**Street Address: 2, 4 and 6 Oldaker StDevonportCertificate of Title Reference No.: 234820 -1 , 78965 -3
232713 -1 \$**Applicant's Details**Full Name/Company Name: Andrew Peter StegmannPostal Address: 116 River Road
Ambleside Tas 7310Telephone: 0407 278 863Email: apsteg1@gmail.com**Owner's Details (if more than one owner, all names must be provided)**Full Name/Company Name: as above

Postal Address: _____

Telephone: _____

Email: _____

ABN: 47 611 846 016
 PO Box 604
 17 Fenton Way
 Devonport TAS 7310
 Telephone 03 6424 0511
 Email
 council@devonport.tas.gov.au
 Web
 www.devonport.tas.gov.au

Sufficient information must be provided with an application to demonstrate compliance with all applicable standards, purpose statements in applicable zones, codes and specific area plans, any relevant local area objectives or desired future character statements.

Please provide one copy of all plans with your application.

Assessment of an application for a Use or Development

What is proposed?: Three storey mixed use building.
Ground and 1st floor retail, 2nd floor residential.

Description of how the use will operate: Ground floor to include 3 retail shops the larger utilising the 1st floor mezzanine for display and storage.
2nd Floor to be 4 self-contained units/apartments to be rented on a mixture of long & short term arrangements.
The main building will be located over No. 2 & 4 Oldaker st with No. 6 Oldaker st to be utilised for both external & indoor parking.
Normal operating hours for the retail spaces would be between 9am & 6pm with some exceptions around Christmas & other special events, six days per week potentially seven.

Use Class (Office use only):

Applications may be lodged by email to Council - council@devonport.tas.gov.au The following information and plans must be provided as part of an application unless the planning authority is satisfied that the information or plan is not relevant to the assessment of the application:

Application fee	
Completed Council application form	
Copy of certificate of title, including title plan and schedule of easements	
Demonstration of compliance with performance criteria and relevant codes	
A site analysis and site plan at an acceptable scale on A3 or A4 paper (1 copy) showing:	
<ul style="list-style-type: none"> The existing and proposed use(s) on the site 	
<ul style="list-style-type: none"> The boundaries and dimensions of the site 	
<ul style="list-style-type: none"> Typography including contours showing AHD levels and major site features 	
<ul style="list-style-type: none"> Natural drainage lines, watercourses and wetlands on or adjacent to the site 	
<ul style="list-style-type: none"> Soil type 	
<ul style="list-style-type: none"> Vegetation types and distribution, and trees and vegetation to be removed 	
<ul style="list-style-type: none"> The location and capacity of any existing services or easements on the site or connected to the site 	
<ul style="list-style-type: none"> Existing pedestrian and vehicle access to the site 	
<ul style="list-style-type: none"> The location of existing adjoining properties, adjacent buildings and their uses 	
<ul style="list-style-type: none"> Any natural hazards that may affect use or development on the site 	
<ul style="list-style-type: none"> Proposed roads, driveways, car parking areas and footpaths within the site 	
<ul style="list-style-type: none"> Any proposed open space, communal space, or facilities on the site 	
<ul style="list-style-type: none"> Main utility service connection points and easements 	
<ul style="list-style-type: none"> Proposed subdivision lot boundaries, where applicable 	
<ul style="list-style-type: none"> Details of any proposed fencing 	
Where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 on A3 or A4 paper (1 copy) showing:	
<ul style="list-style-type: none"> The internal layout of each building on the site 	
<ul style="list-style-type: none"> The private open space for each dwelling 	
<ul style="list-style-type: none"> External storage spaces 	
<ul style="list-style-type: none"> Car parking space location and layout 	
<ul style="list-style-type: none"> Major elevations of every building to be erected 	
<ul style="list-style-type: none"> The relationship of the elevations to natural ground level, showing any proposed cut or fill 	
<ul style="list-style-type: none"> Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites 	
<ul style="list-style-type: none"> Materials and colours to be used on roofs and external walls 	
A plan of the proposed landscaping including:	
<ul style="list-style-type: none"> Planting concept 	
<ul style="list-style-type: none"> Paving materials and drainage treatments and lighting for vehicle areas and footpaths 	
<ul style="list-style-type: none"> Plantings proposed for screening from adjacent sites or public spaces 	
Details of any signage proposed	

If all of the above information is not provided to Council at the time of lodgement the application will not be accepted.

Value of use and/or development

\$ 1,000,000 approx.

Notification of Landowner/s (s.52 Land Use Planning and Approvals Act, 1993)

If land is not in applicant's ownership

I, _____ declare that the owner /each of the owners of the land has been notified/will be notified within 7 days from date of making this permit application.

Applicant's signature: _____ Date: _____

If the application involves land owned or administered by the Devonport City Council

Devonport City Council consents to the making this permit application.

General Manager's signature: _____ Date: _____

If the application involves land owned or administered by the Crown

Consent must be included with the application.

Signature

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that:

- if incomplete, the application may be delayed or rejected;
- more information may be requested within 21 days of lodgement; and
- The application may take 42 days to determine.

PUBLIC ACCESS TO PLANNING DOCUMENTS

I, the undersigned understand that all documentation included with this application will be made available for inspection by the public. Copies of submitted documentation, with the exception of plans which will be made available for display only, may be provided to members of the public, if requested.

Applicant's signature:  Date: 23.8.16

PRIVACY ACT

The personal information requested on this form is being collected by Council for processing applications under the Land Use and Planning Approvals Act 1993 and will only be used in connection with the requirements of this legislation. Council is to be regarded as the agency that holds the information.

Fee & payment options – Please pay fee when lodging your completed application form

	Payment in Person Customer Service hours are between 8.30am and 5.00pm, Mon-Fri. Payment may be made by cash, credit card, cheque or EFTPOS.
	Payment by Mail Cheques should be made payable to Devonport City Council and posted to The General Manager, Devonport City Council, PO Box 604, Devonport, TAS, 7310.
	Credit Card Payment by Phone Please contact the Devonport City Council offices on 6424 0511. Customer Service hours are between 8.30am and 5.00pm, Monday to Friday.

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980**SEARCH OF TORRENS TITLE**

VOLUME 78965	FOLIO 3
EDITION 7	DATE OF ISSUE 12-Jul-2016

SEARCH DATE : 23-Aug-2016

SEARCH TIME : 02.10 PM

DESCRIPTION OF LAND

City of DEVONPORT

Lot 3 on Diagram 78965 (formerly being 328-38D)

Derivation : Part of Lot 8 Sec. A. Gtd. to F. Hales

Prior CT 2408/56

SCHEDULE 1

M578972 TRANSFER to ANDREW PETER STEGMANN Registered
12-Jul-2016 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BURDENING EASEMENT: Right of Carriageway [appurtenant to Lot 2
on Diagram NO. 78965) over the strip of land marked
Right of Way on d. 78965

BURDENING EASEMENT the right in respect of the buildings for
the time being erected on the said Lot 2 to maintain
and keep thereon the overhanging eaves for a distance
of eight inches only over the strip of land marked
Right of Way on d.78965 as marked on the said diagram
as "spout overhang"

BURDENING EASEMENT - Norman Douglas Luck and Ada Maria Avenal
Luck their personal representatives and transferees
maintaining on or attached to the said eaves all
proper and necessary gutterings spoutings and other
facilities so as to prevent water from the roof of
the buildings on the said Lot 2 running dropping and
flowing on to the land within described

UNREGISTERED DEALINGS AND NOTATIONS

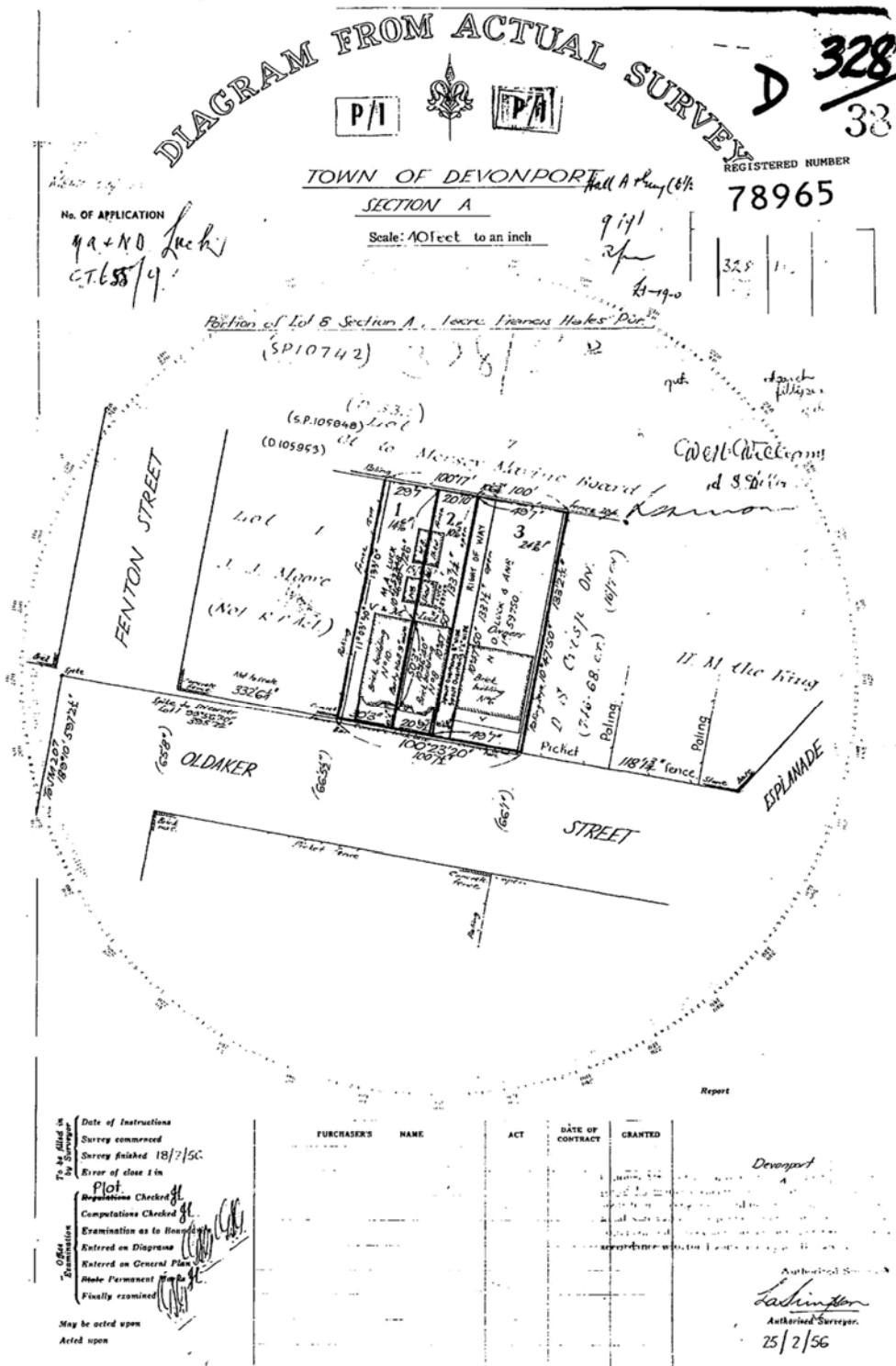
No unregistered dealings or other notations

the List...

FOLIO PLAN

RECORDED OF TITLES

Issued Pursuant to the Land Titles Act 1980



**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 232713	FOLIO 1
EDITION 4	DATE OF ISSUE 27-Jul-2016

SEARCH DATE : 23-Aug-2016

SEARCH TIME : 02.08 PM

DESCRIPTION OF LAND

City of DEVONPORT

Lot 1 on Plan 232713

Derivation : Part of Lot 8 (Section A.) Gtd. to F. Hales.

Prior CT 3122/60

SCHEDULE 1

M579108 TRANSFER to ANDREW PETER STEGMANN Registered
27-Jul-2016 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

the **List...****FOLIO PLAN**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469
TASMANIA
REAL PROPERTY ACT, 1862, as amended
NOTE - REGISTERED FOR OFFICE
CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book

Vol. Fol.

3122 60

Cert. of Title Vol. 746 Fol. 68

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

20 FEB 1985

Recorder of Titles.



DESCRIPTION OF LAND

TOWN OF DEVONPORT
TWENTY THREE PERCHES on the Plan hereon

FIRST SCHEDULE (continued overleaf)

DESMOND STEWART CRISP of Devonport, Clerk.

SECOND SCHEDULE (continued overleaf) *L. O'Keefe*

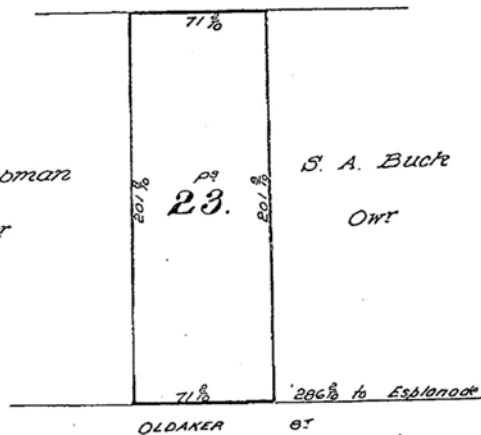
NIL.

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

REGISTERED NUMBER

232713

Sec. A
* RFL
1/2 RFL



Part of Lot 8 Section A.Gtd.to F.Hales.Meas.are in links.

FIRST. Edition. Registered

16/77.N.

Derived from C.T.Vol. 746 Fol. 68 - Transfer A29667 B.S.Carr
and anr.

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 234820	FOLIO 1
EDITION 7	DATE OF ISSUE 21-Jun-2016

SEARCH DATE : 23-Aug-2016

SEARCH TIME : 02.06 PM

DESCRIPTION OF LAND

City of DEVONPORT

Lot 1 on Plan 234820

Derivation : Whole of Lot 36028 Gtd. to The Transport
Commission

Prior CT 3312/94

SCHEDULE 1M576940 TRANSFER to ANDREW PETER STEGMANN Registered
21-Jun-2016 at 12.01 PMSCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

THE **LIST**...

FOLIO PLAN
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ANNEXURE TO CERTIFICATE OF TITLE VOL. 3312 FOL. 94

REGISTERED NUMBER

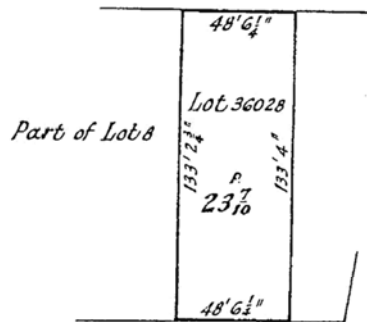
234820

Recorder of Titles



Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

Lot 7 Sec. A



OLDAKER STREET

*Whole of Lot 36028 Gtd to
The Transport Commission
Meas. in Feet & Inches*



Devonport City Council In-principle agreement Roads and Stormwater

Development Address: 2,4 & 6 OLDAKER STREET

Applicant Details: _____ ANDREW STEGMANN

Details of Development: MIXED USE COMMERCIAL AND RESIDENTIAL

In-principle agreement to submit an application for planning is granted under the *Local Government (Highways) Act 1982* and the *Urban Drainage Act 2013* subject to the following conditions:

1. The proposed new access driveway shall be a maximum of 8m wide and be generally constructed in accordance with Tasmanian Standard Drawing TSD R09v1.
2. The existing redundant driveways are to be demolished and reinstated to concrete footpath to match the adjoining footpaths and otherwise in accordance with Tasmanian Standard Drawings TSD R11.
3. In the vicinity of the demolished driveways the existing kerb crossovers are to be replaced with barrier kerb. Saw cut at invert of crossover and install barrier to match existing profile. Joint to be sealed with approved mastic sealer.
4. The proposed connection to the existing Council's stormwater reticulation main is to be generally in accordance with Tasmanian Standard Drawing TSD-S27 and subject to inspection by Council's officers. The minimum size of the proposed connection is to be 150mm dia, but is to otherwise be designed by a suitably qualified engineer or building designer. Council must be contacted prior to backfilling the works.
5. Redundant stormwater service connections are to be located and capped off and subject to inspection by Council officers. Council must be contacted prior to backfilling the works.
6. A permit to work within the road reserve must be sought and granted prior to any works being undertaken within the road reserve.

Please note, this is not a development or building/plumbing permit but must be submitted to Council's planning department in support of your application for planning.

This agreement is valid for a period of 12 months from the date on which it is signed.

Approved by Engineering Development Officer under delegated authority.

Signed

Date

7/9/16

Document Controller	Date	TRIM doc.	Review	Responsible Manager
ENGINEERING DEVELOPMENT OFFICER	AUGUST 2014	D384095	AUGUST 2015	IWM

What does this in-principle agreement mean to you?

In accordance with the *Devonport Interim Planning Scheme 2013* each application for development must be supported by the relevant road or service authority prior to the application being lodged for planning assessment. This in-principle agreement serves as notification that your proposal has been assessed by Council's City Infrastructure Department and has been determined to be permissible in regards to road asset infrastructure, road network safety and stormwater drainage, subject to compliance with any conditions listed.

This in-principle agreement must be submitted as supporting information with your documentation for planning approval and will subsequently form part of your conditional approval, should it be granted.

Does this in-principle agreement allow me to start work?

No, prior to undertaking any works you will need to be granted approval from Council's permit authority, once this obtained you may need to seek approval to undertake works within the road reserve, please speak with Council officers to confirm which permits may be applicable to your works.

Under what power is this in-principle agreement issued?

This in-principle agreement is issued under the delegated authority of the *Local Government (Highways) Act 1982*, and the *Urban Drainage Act 2013*. Failure to comply with the conditions of this agreement may result in legal action.

What if I don't agree with the conditions of this in-principle agreement?

If you have any concerns, queries or disagreements with the conditions applied to this in-principle agreement please contact Council's City Infrastructure department to discuss your concerns prior to submission of your planning application.

How long does this in-principle agreement last?

This in-principle agreement will expire 12 months from the date it is signed, if this period elapses prior to submission of your planning application you will need to re-submit your plans to Council's City Infrastructure department for further assessment.

Document Controller	Date	TRIM doc.	Review	Responsible Manager
ENGINEERING DEVELOPMENT OFFICER	AUGUST 2014	D384095	AUGUST 2015	IWM



Submission to Planning Authority Notice

Council Planning Permit No.	PA2016.0120	Council notice date	14/09/2016
TasWater details			
TasWater Reference No.	TWDA 2016/01320-DCC	Date of response	20/09/2016
TasWater Contact	Phil Papps Scott James (Trade Waste)	Phone No.	(03) 6237 8246 (03) 6345 6425
Response issued to			
Council name	DEVONPORT COUNCIL		
Contact details	council@devonport.tas.gov.au		
Development details			
Address	2 OLDAKER ST, DEVONPORT	Property ID (PID)	6304291
Description of development	Demolition & mixed use development - retail & residential		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
DHK Architecture	Site Plan / A-246 / 03	--	29/06/2016
Conditions			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> 1. A suitably sized metered water connection must be provided to service the development in accordance with TasWater standards. 2. A suitably sized sewerage connection must be provided to service the development in accordance with TasWater standards. 3. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. <p>TRADE WASTE</p> <ol style="list-style-type: none"> 4. Prior to the commencement of operation the developer/property owner must obtain consent to discharge Liquid Trade Waste from TasWater. 5. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to Discharge. 6. Prior to any Building and/or Plumbing work being undertaken, an application must be made to TasWater for a Certificate for Certifiable Work (Building and/or Plumbing) (CCW). This certificate is to accompany all documents submitted to the Permit Authority (Council). The application for the (CCW) must contain documentation which includes a floor and site plan detailing: <ol style="list-style-type: none"> a. Drainage and location of all Liquid Trade Waste Pre-treatment devices i.e. Grease Arrestors, Dry Basket Arrestors etc and include the location of accessible sampling points in accordance with the TasWater Trade Waste Flow Meter and Sampling Specifications for sampling discharge. b. Specification (size and type) of all Liquid Trade Waste pre-treatment devices. 			



7. The developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent.

DEVELOPMENT ASSESSMENT FEES

8. The applicant or landowner as the case may be, must pay a development assessment fee of \$335.18 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date it is paid to TasWater.

Advice

- A. At the time of submitting the Certificate for Certifiable Work (Building and/or Plumbing) a completed Trade Waste Application form should be included.
- B. If the nature of the business changes or the property is sold, TasWater is to be notified in order that the suitability of the pre-treatment may be reassessed.

The application forms are available at <http://www.taswater.com.au/Customers/Liquid-Trade-waste/Commercial>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au



26th April 2016
Devonport City Council – Planning Department
PO Box 604
Devonport
TAS 7310

Re: Proposed Demolition of Existing Dwelling at 4 Oldaker Street, Devonport
PID: 6304304 CT: 232713/1

Dear

In regard to the above application, we wish to submit the following for consideration:

The property in question is listed on the local heritage register and is identified in the Devonport Heritage and Environs Study (ID 325). The study dates the house as c.1900 and describes it as *'A good and intact example of a single storey, bay fronted Victorian domestic building'*.

After an extensive site investigation at 4 Oldaker Street it is clear that the DHES report on this property does not reflect it's current state. The later addition to the north end is not mentioned in the report.

The following photos highlight alterations that detract from the appeal of the original Victorian architecture, and subsequently diminish its historic integrity.



Photo 1. Street elevation shows the original bullnose verandah roof replaced with a straight hipped roof with clipped eaves. The lacework and detailed bargeboard timber remains intact. Original galvanised roof and gutters have been replaced.



Photo 2. East window closest to street has been a later addition and does not match original window configuration. New addition begins at break in weatherboards and concrete block foundations.



Photo 3. Original timber verandah deck has been replaced with concrete

LOOP ARCHITECTURE PTY LTD
 L1 / 164 Macquarie Street Hobart TAS 7000 P 03 6224 9504
 L1 / 57 George St Launceston TAS 7250 P 03 6331 8488
 422 Burnley St Richmond VIC 3121 P 03 9429 4600
 www.looparch.com.au
 ABN 26 107 167 742





Photo 4. Entire northern end of the property is taken up by the late addition.



Photo 5. Doorway from new addition into existing hallway. Most finishes and fittings have been replaced with modern versions. Original front door has been replaced and existing mantle pieces removed for installation of joinery over fireplaces.

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 L1 / 57 George St Launceston TAS 7250 P 03 6331 8488
 422 Burnley St Richmond VIC 3121 P 03 9429 4600
www.looparch.com.au
 ABN 26 107 167 742



**Responses to the Devonport Interim Planning Scheme 2013
Local Heritage Code Development Standards E5.6**

The special provisions of **Demolition E - 5.6.2** would appear to be satisfied by the following:

P1 b) 'demolition is needed to secure the long term future of a building, area or other place through renovation, reconstruction, rebuilding or rehabilitation'. The property in question is slotted between two automotive businesses with no architectural merit. The three properties are located on the fringe of the proposed Living City Masterplan and opposite the Roundhouse Park and offer great opportunities for future development, and potential to enhance streetscape patterns. This is only possible with the demolition of the existing building at 4 Oldaker Street.

P1 d) 'the building is non-contributory within a conservation area identified in the Table to this Code'. 4 Oldaker Street is not located within any of the conservation areas identified within the Table to the code. It is situated amongst modern commercial / industrial buildings with the exception of 8-10 Oldaker street (a good example of Federation Queen Anne, listed with Heritage Tasmania), and does not significantly contribute to the subject streetscape due to lack of Victorian cottages or historical context.

Conclusion

The numerous alterations and additions to the subject property reduce its heritage value in respect of archetypal turn of the century Victorian cottage of which there are many good local examples in identified conservation areas.

The perceived adverse impact of removal of the subject premises has not been considered lightly and will undoubtedly be exonerated by subsequent development of a new building of appropriate character and form, commensurate with the significance of the existing site and locale. Adequate recording of existing fabric, in addition to appropriate adaptive re-use of salvageable material off-site, is also recommended if this application is successful.

Regards,



Charlie Ellis
BA Env.Des. B.Arch
Registered Architect (TAS)

For and on behalf of
Loop Architecture Pty Ltd



Proposed mixed use development
2, 4 & 6 Oldaker Street, Devonport

CLIENT: A. Stegmann
PROJECT: Mixed use commercial and residential
ADDRESS: 2, 4 & 6 Oldaker Street, Devonport

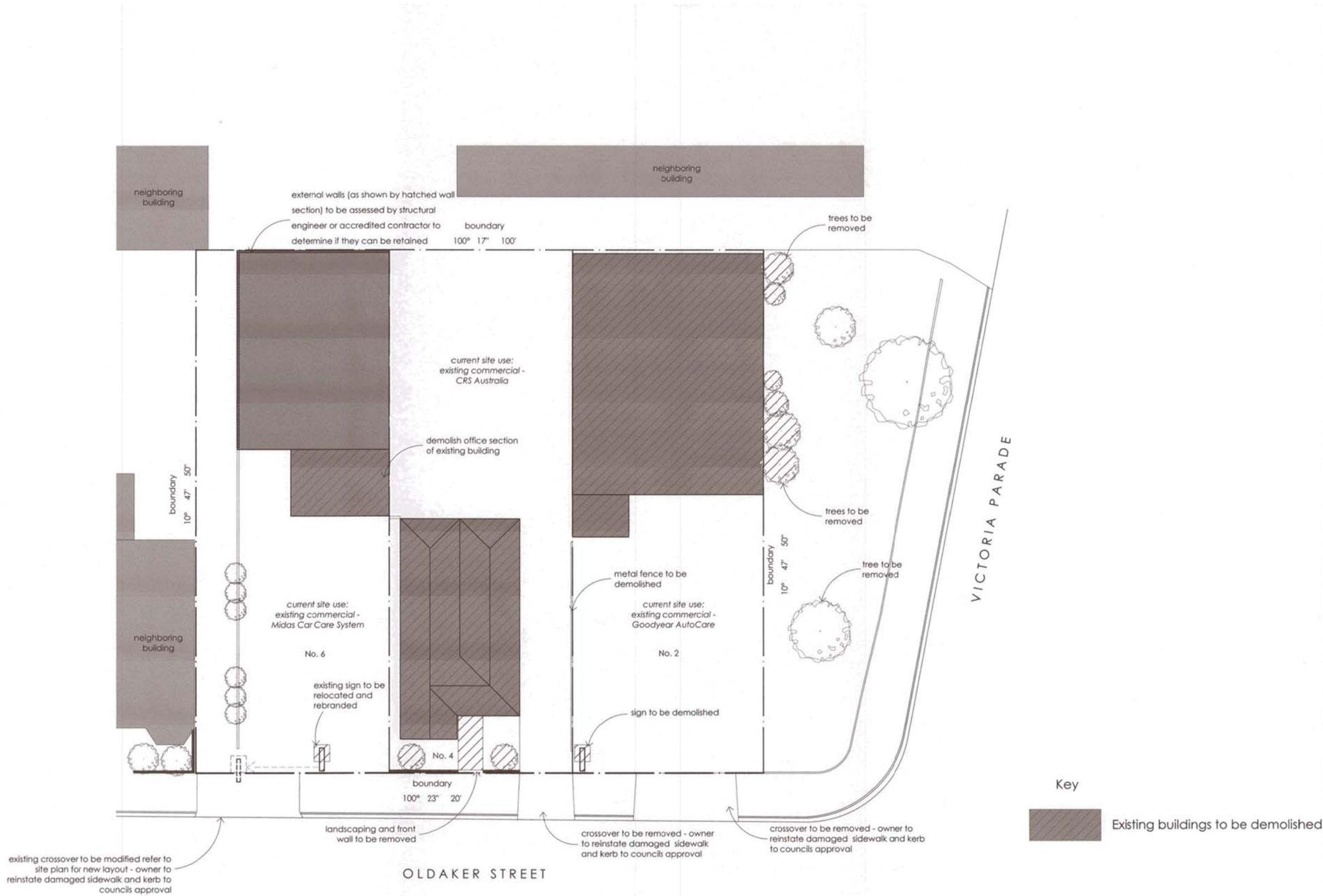
dhk DHK ARCHITECTURE
215 Elizabeth Street, Hobart
p: (03) 6286 8440
e: admin@dhkarchitecture.com

General Information	Revisions			DATE OF ORIGINAL PRINT: 11/08/2016
	Rev	Date	Amendment	
Project description: 3 Storey mixed use building Project Address: 2,4 & 6 Oldaker Street, Devonport, 7310 Owner Name: A. Stegmann Land titles: Volumes: 2 Oldaker St: 234820 4 Oldaker St: 232713 6 Oldaker St: 78965	--	--	--	
Index: A01 - Cover page A02 - Demolition plan A03 - Site plan A04 - Ground floor plan A05 - First floor plan A06 - Second floor plan A07 - Roof plan A08 - Plumbing plan A09 - South & West elevations A10 - North & East elevations				
Site Information Design Wind Speed: -- Wind Classification: -- Soil Classification: -- Climate Zone: 7 Bushfire attack level (BAL): N/A Alpine Area: No Corrosion Environment: HIGH Other Site hazards: No				
Proposed developed area Total building footprint: 1138m ² Concrete paving: 81m ² Sealed carparking: 400m ² TOTAL : 1619m²				



Site location plan

Proposed development at 2, 4 & 6
Oldaker Street - 3 storey mixed use
development commercial & residential



DEMOLITION PLAN
scale 1:200

* Removable deck - X

GENERAL NOTES:
Contractors shall verify all dimensions and levels on site before commencement of any work.
Contractors shall clarify any discrepancies before commencement of any work.
Drawings must not be scaled.
Contractors shall submit samples and shop drawings before commencing work.
All works shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.
These designs, plans, specifications and the copyright herein are the property of DHK Architects and must not be used, reproduced or copied wholly or in part without the written permission of DHK Architects.

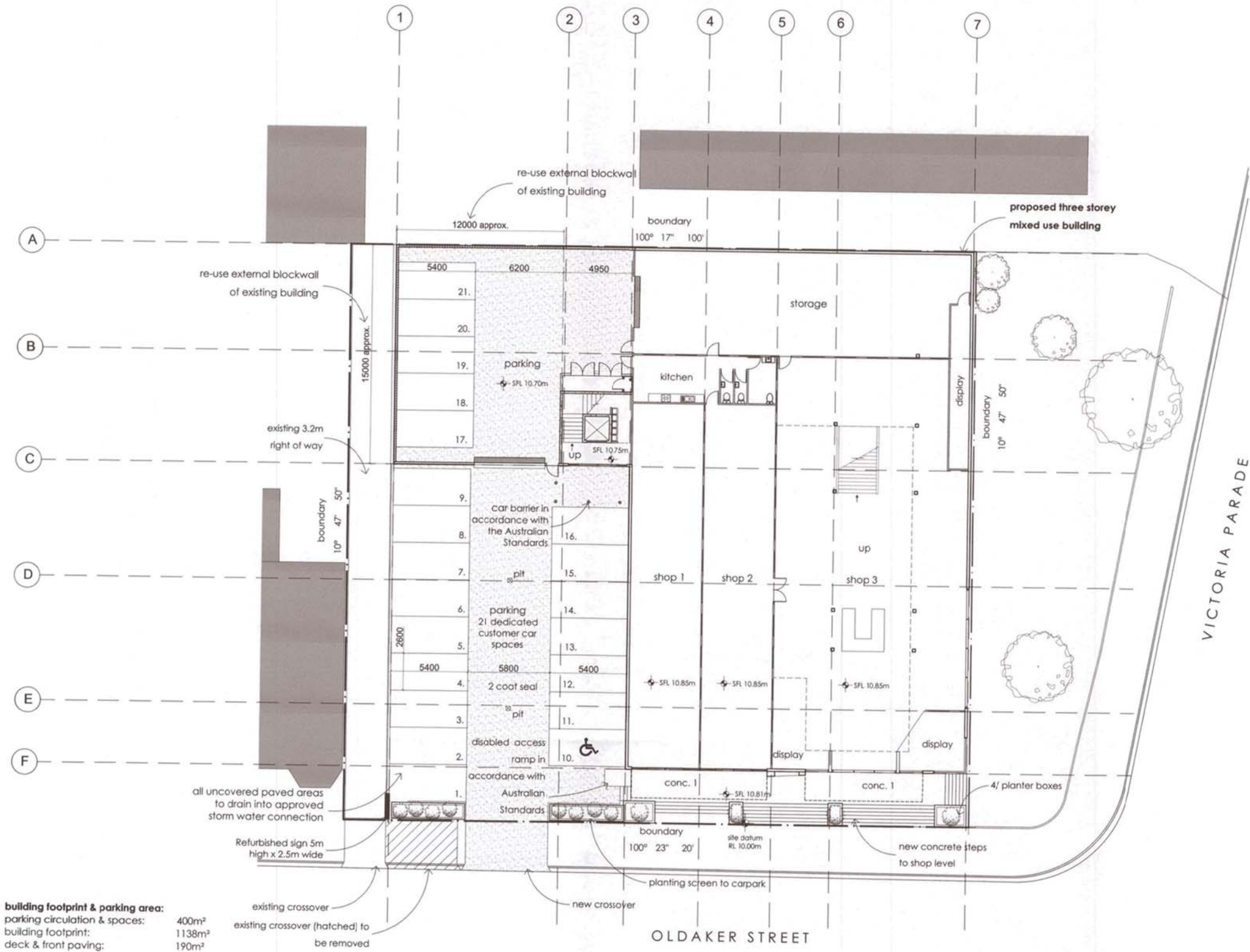
REV.	DATE	AMENDMENT
--	--	--



PROJECT: Mixed use building
ADDRESS: 2, 4 & 6 Oldaker Street, Devonport
CLIENT: Stegmann
DRAWING: Demolition plan

PLOT DATE: 29/06/2016
REFERENCE: A - 246
DRAWN: Hill, A
DRAWING NO: 02
REV. --

DHK ARCHITECTURE
215 Elizabeth Street, Hobart
p: (03) 6286 8440
e: alexander@dhkarchitecture.com
Acc. No: CC6540



SITE PLAN
scale 1:200

GENERAL NOTES:
Contractors shall verify all dimensions and levels on site before commencement of any work.
Contractors shall clarify any discrepancies before commencement of any work.
Drawings must not be scaled.
Contractors shall submit samples and shop drawings before commencing work.
All works shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.
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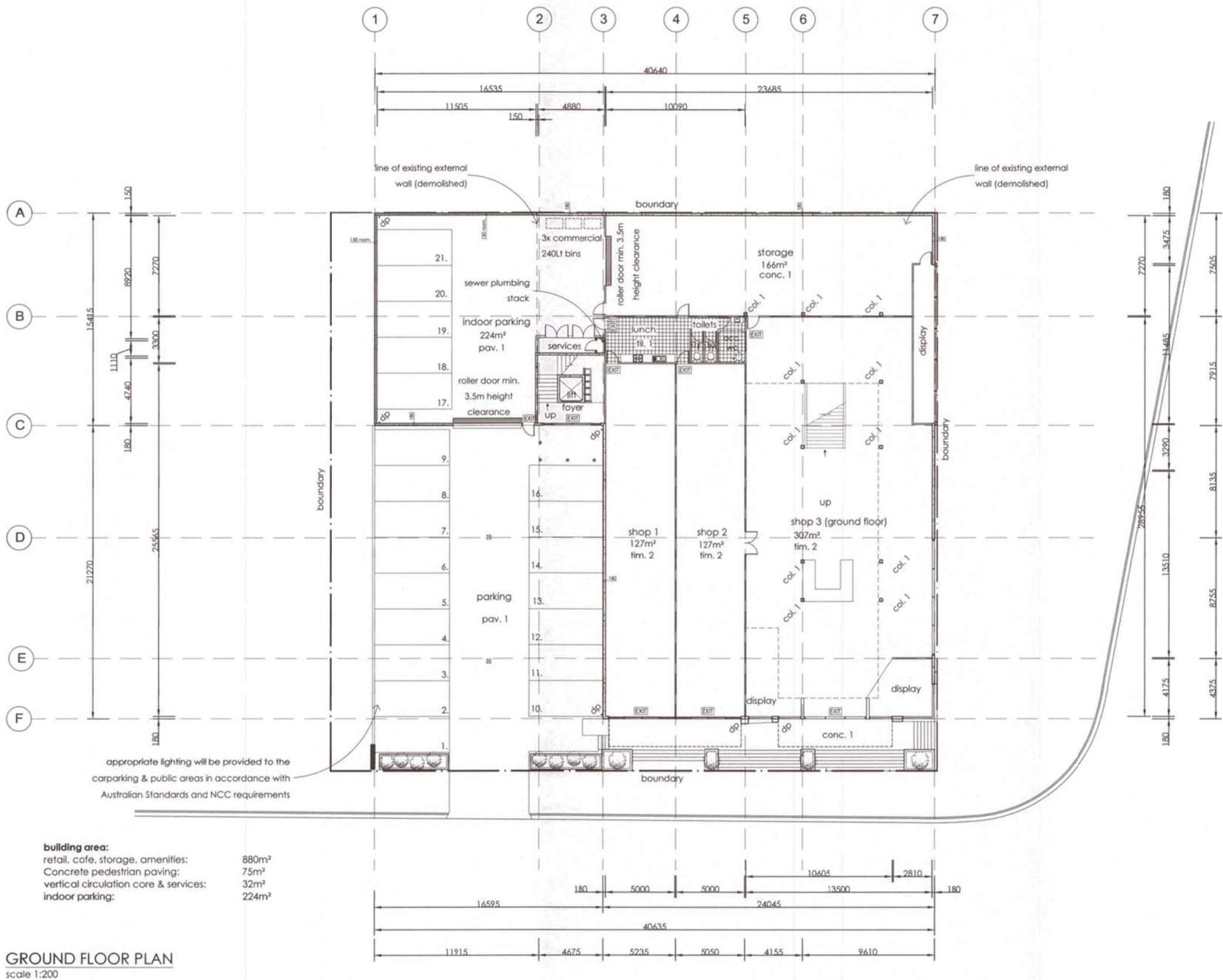
REV.	DATE	AMENDMENT
--	--	--



PROJECT: Mixed use building
ADDRESS: 2, 4 & 6 Oldaker Street, Devonport
CLIENT: Stegmann
DRAWING: Site plan

PLOT DATE: 29/06/2016
REFERENCE: A - 246
DRAWN: HILL, A
DRAWING NO: 03
REV. --

dhk DHK ARCHITECTURE
215 Elizabeth Street, Hobart
p: (03) 6286 8440
e: alexander@dhkarchitecture.com
Acc. No: CC6540



GROUND FLOOR PLAN
scale 1:200

GENERAL NOTES:
Contractors shall verify all dimensions and levels on site before commencement of any work.
Contractors shall clarify any discrepancies before commencement of any work.
Drawings must not be scaled.
Contractors shall submit samples and shop drawings before commencing work.
All works shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.
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REV.	DATE	AMENDMENT
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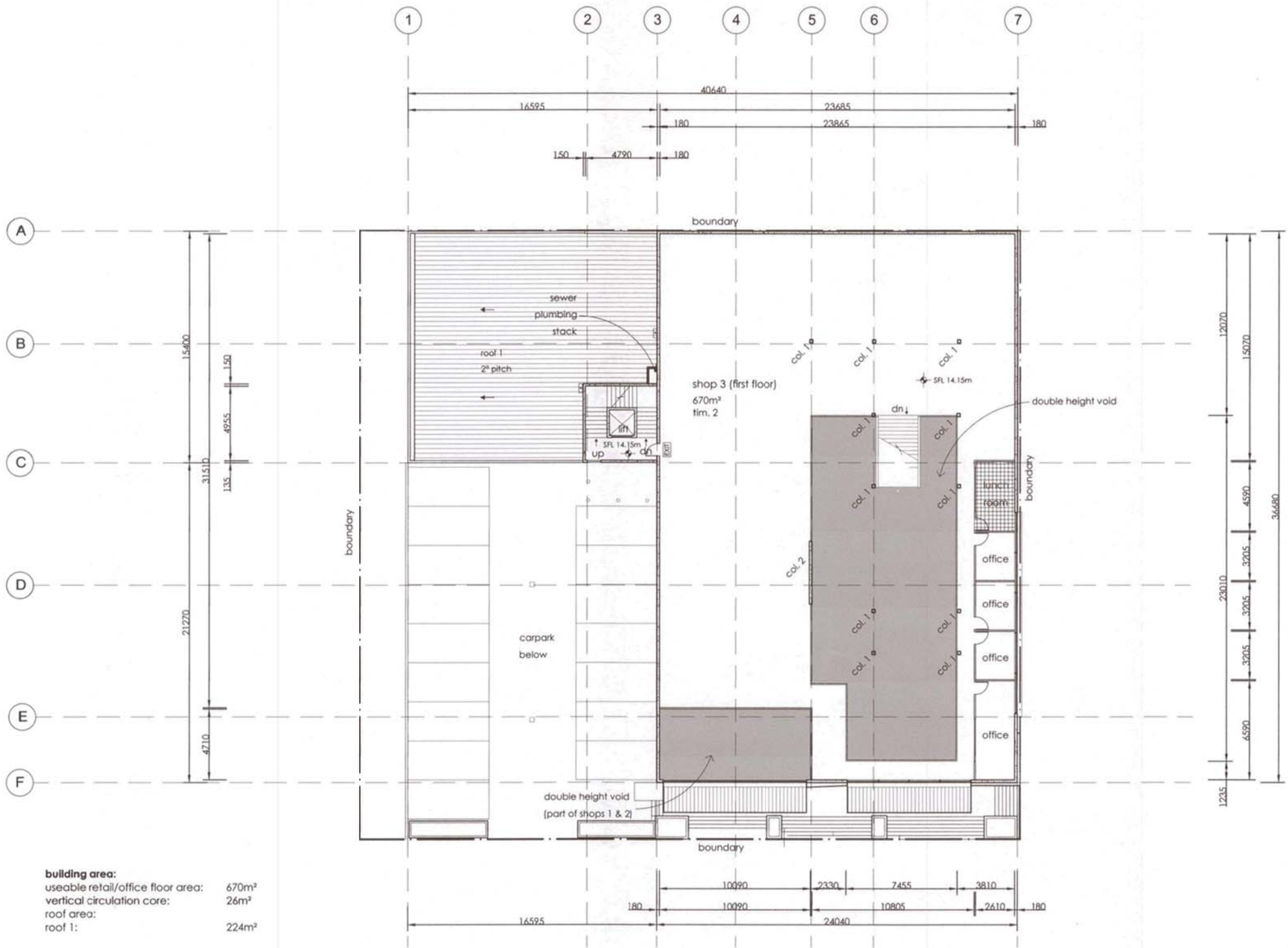
REV.	DATE	AMENDMENT
--	--	--



PROJECT: Mixed use building
ADDRESS: 2, 4 & 6 Oldaker Street, Devonport
CLIENT: Stegmann
DRAWING: Ground level floor plan

PLOT DATE: 29/06/2016
REFERENCE: A - 246
DRAWN: HILL A
DRAWING NO: 04
REV. --

DHK ARCHITECTURE
215 Elizabeth Street, Hobart
p: (03) 6286 8440
e: alexander@dhkarchitecture.com
Acc. No: CC6540



building area:
useable retail/office floor area: 670m²
vertical circulation core: 26m²
roof area: 224m²
roof 1: 224m²

FIRST LEVEL FLOOR PLAN
scale 1:200

GENERAL NOTES:
Contractors shall verify all dimensions and levels on site before commencement of any work.
Contractors shall clarify any discrepancies before commencement of any work.
Drawings must not be scaled.
Contractors shall submit samples and shop drawings before commencing work.
All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.
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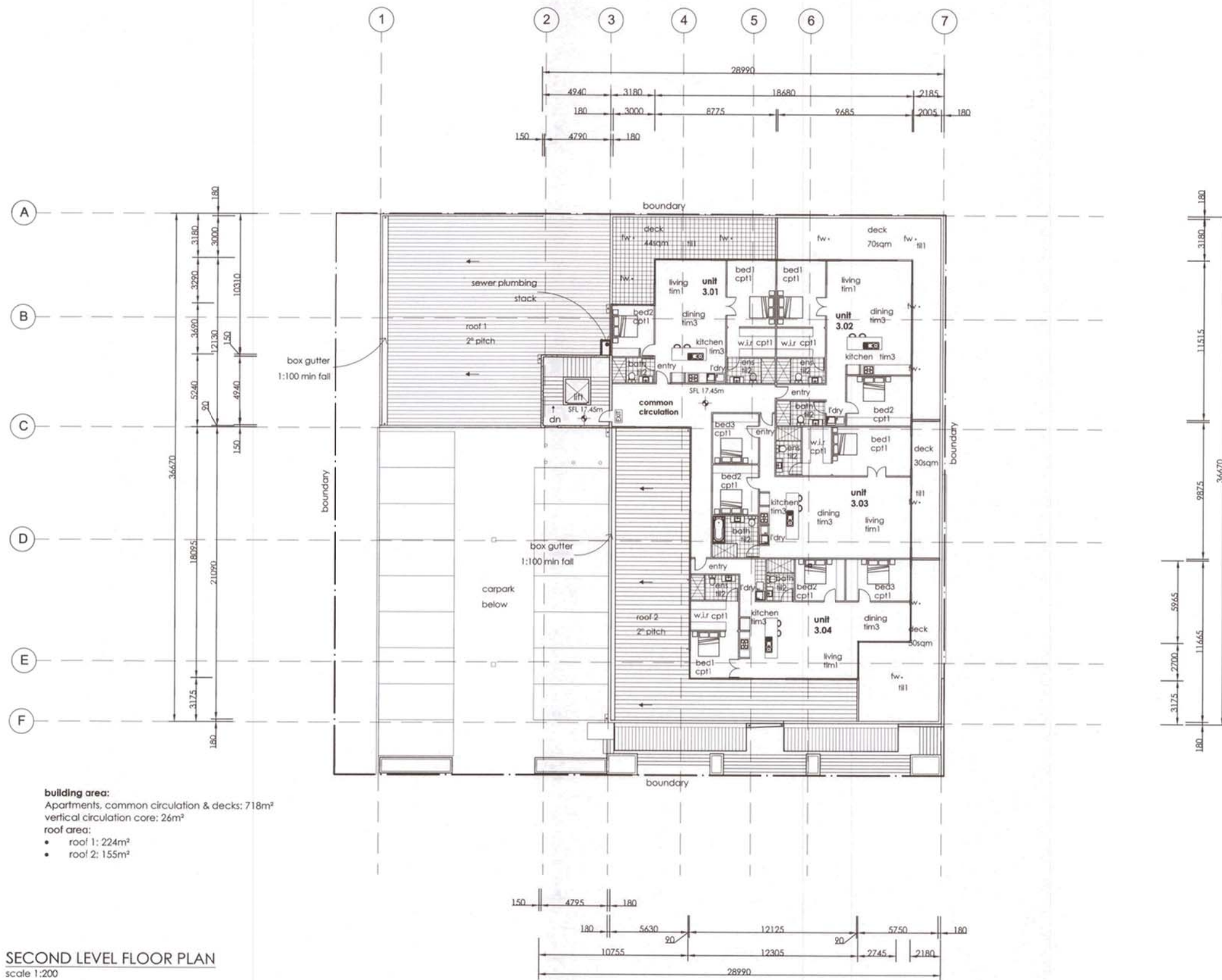
REV.	DATE	AMENDMENT
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PROJECT: Mixed use building
ADDRESS: 2, 4 & 6 Oldaker Street, Devonport
CLIENT: Stegmann
DRAWING: First level floor plan

PLOT DATE: 29/06/2016
REFERENCE: A - 246
DRAWN: HILL, A
DRAWING NO: 05
REV: --

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215 Elizabeth Street, Hobart
p: (03) 6286 8440
e: alexander@dhkarchitecture.com
Acc. No: CC6540



GENERAL NOTES:
Contractors shall verify all dimensions and levels on site before commencement of any work.
Contractors shall clarify any discrepancies before commencement of any work.
Drawings must not be scaled.
Contractors shall submit samples and shop drawings before commencing work.
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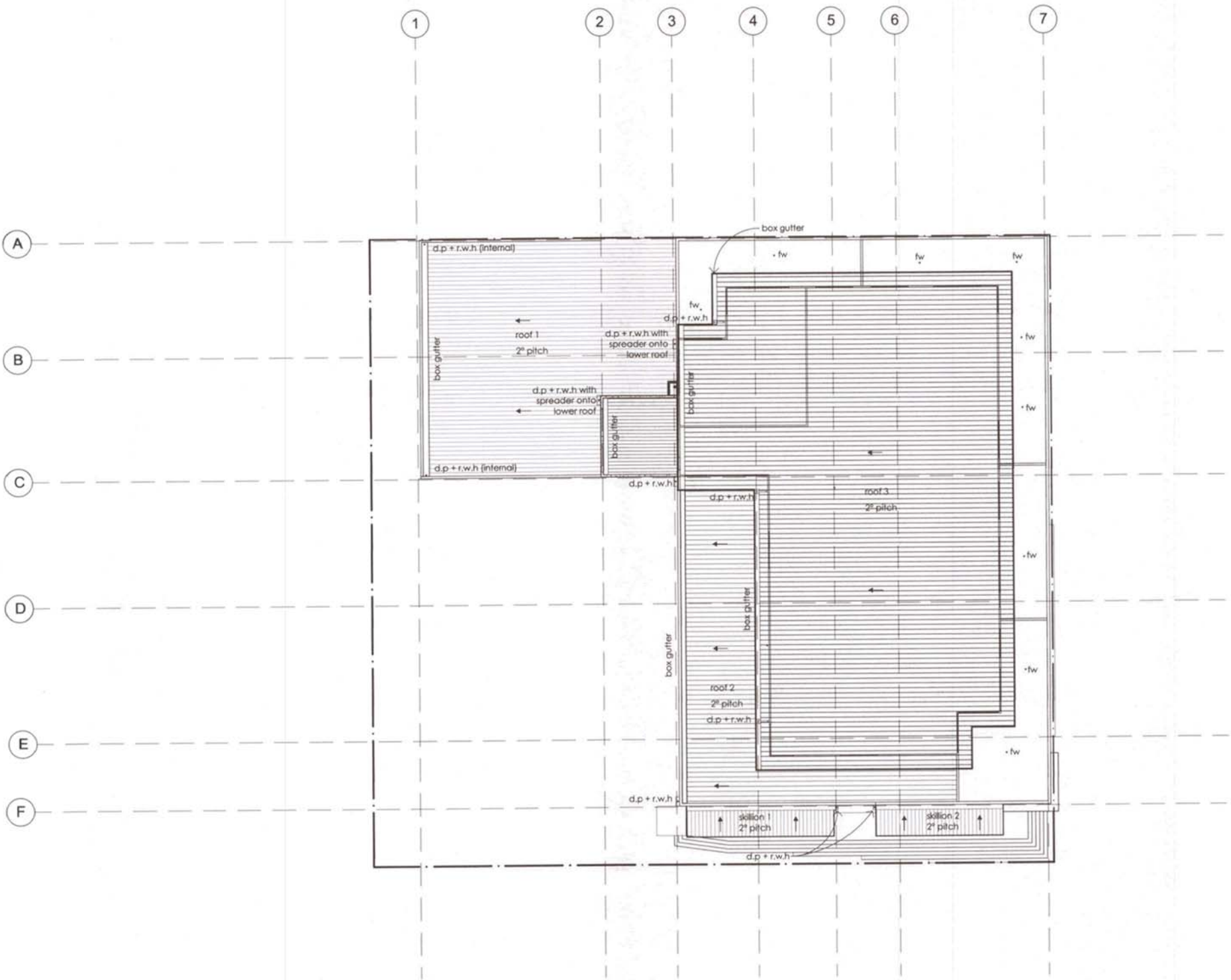
REV.	DATE	AMENDMENT
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PROJECT: Mixed use building
ADDRESS: 2, 4 & 6 Oldaker Street, Devonport
CLIENT: Stegmann
DRAWING: Second level floor plan

PLOT DATE: 29/06/2016
REFERENCE: A - 246
DRAWN: HILL, A
DRAWING NO: 06
REV: --

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ROOF PLAN
scale 1:200

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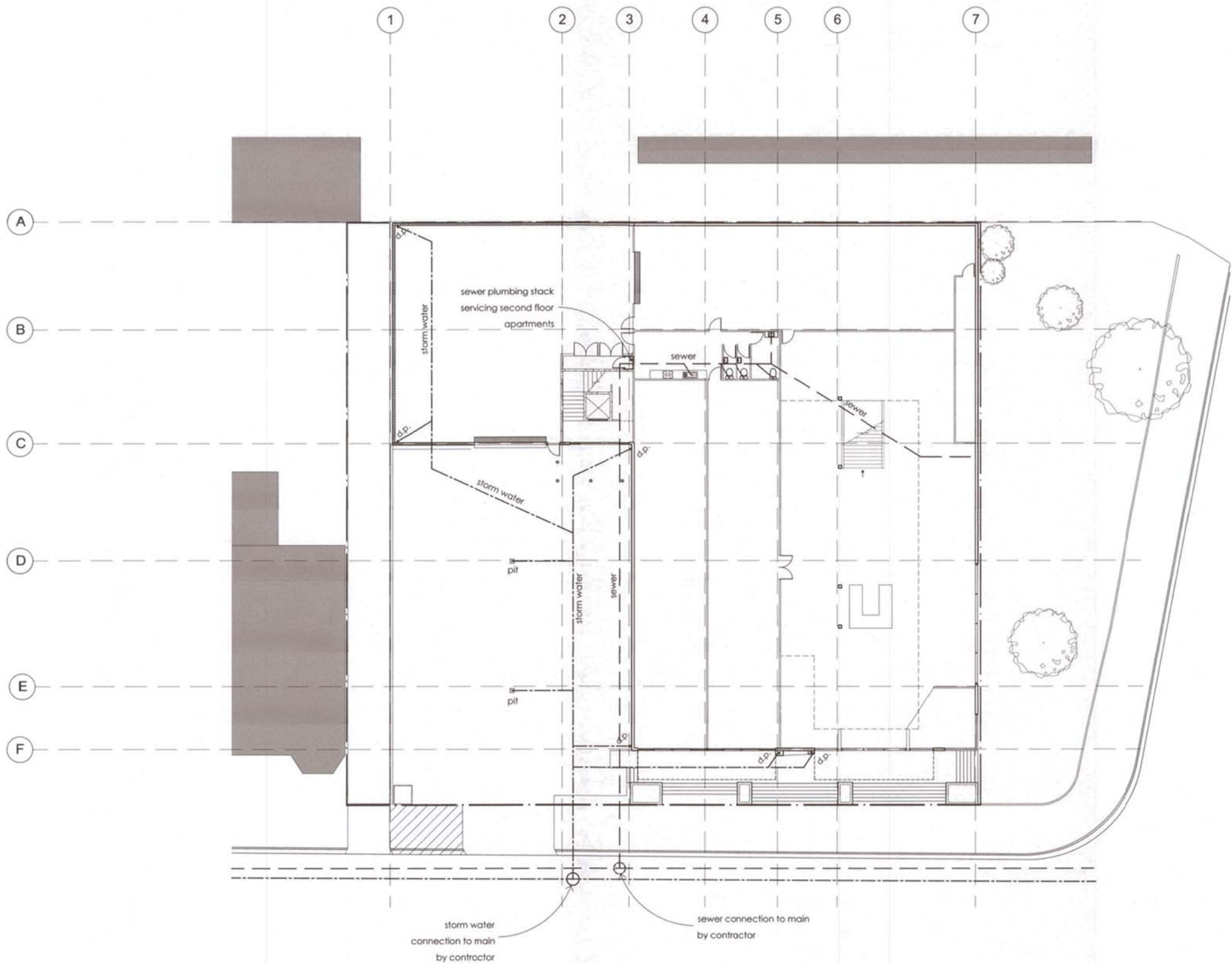
REV.	DATE	AMENDMENT
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PROJECT: Mixed use building
ADDRESS: 2, 4 & 6 Oldaker Street, Devonport
CLIENT: Stegmann
DRAWING: Roof plan

PLOT DATE: 29/06/2016
REFERENCE: A - 246
DRAWN: HILL, A
DRAWING NO: 07
REV. -

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LEGEND & NOTES

SEWER LINE (100mm UPVC) typ.

STORM WATER LINE (100mm UPVC) typ.

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

ALL PLUMBING & DRAINAGE TO BE IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

SERVICES

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF NCC VOLUME THREE - PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:

A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND

B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING; AND

C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

1. INTERNAL PIPING

A) ALL FLOW AND RETURN INTERNAL PIPING THAT IS -

I) WITHIN AN UNVENTILATED WALL SPACE

II) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR

III) BETWEEN CEILING INSULATION AND A CEILING

MUST HAVE A MINIMUM R-VALUE OF 0.2 (IE 9MM OF CLOSED CELL POLYMER INSULATION)

2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE

A) ALL FLOW AND RETURN PIPING

B) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500MM OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM

MUST HAVE A MINIMUM R-VALUE OF 0.45 (IE 19MM OF CLOSED CELL POLYMER INSULATION)

3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB-FLOOR OR ROOF SPACE

A) ALL FLOW AND RETURN PIPING

B) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500MM OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM

MUST HAVE A MINIMUM R-VALUE OF 0.6 (IE 25MM OF CLOSED CELL POLYMER INSULATION)

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

PLUMBING PLAN
scale 1:200

GENERAL NOTES:
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REV.	DATE	AMENDMENT
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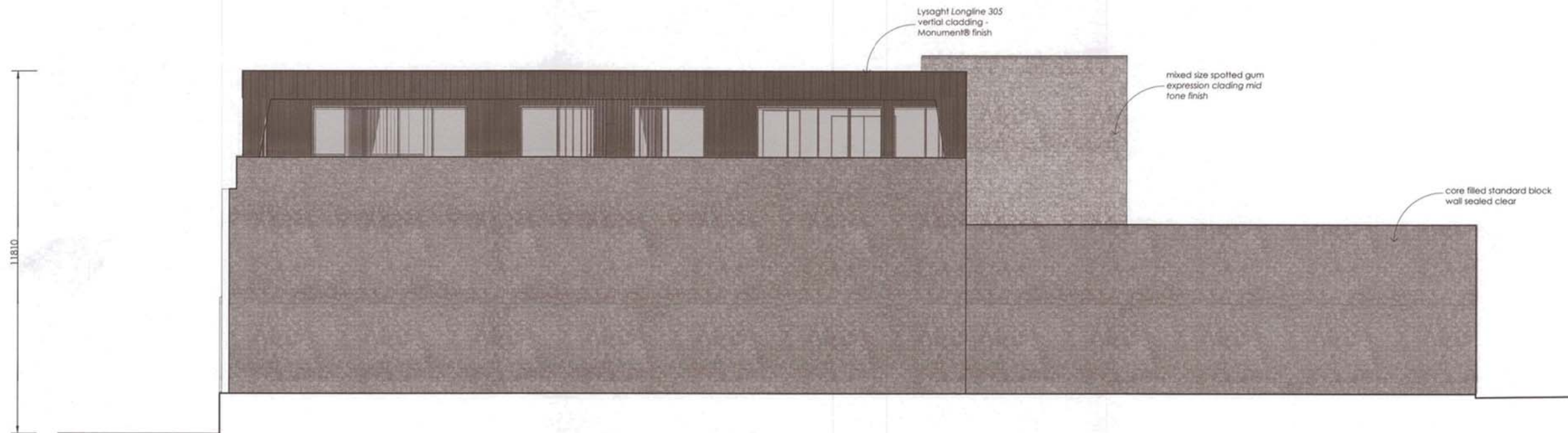
PROJECT: Mixed use building
ADDRESS: 2, 4 & 6 Oldaker Street, Devonport
CLIENT: Stegmann
DRAWING: Plumbing plan

PLOT DATE: 29/06/2016
REFERENCE: A - 246
DRAWN: HILL, A
DRAWING NO: 08
REV. --

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WEST ELEVATION
scale 1:100



NORTH ELEVATION
scale 1:100

GENERAL NOTES:
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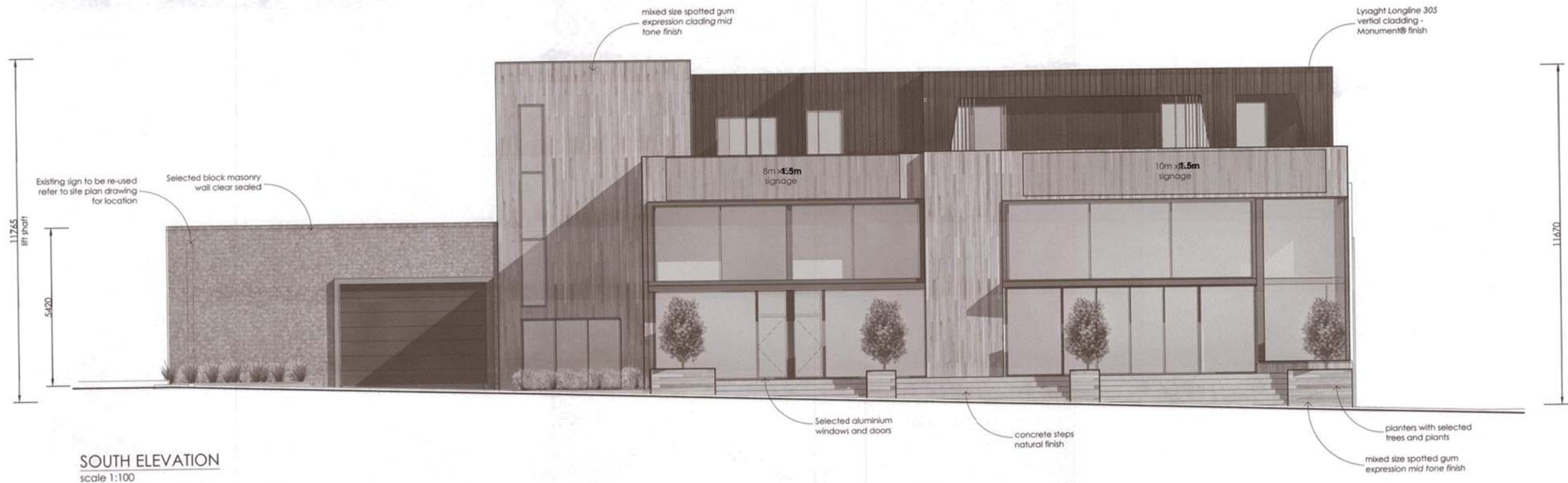
REV.	DATE	AMENDMENT
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PROJECT: Mixed use building
ADDRESS: 2, 4 & 6 Oldaker Street, Devonport
CLIENT: Stegmann
DRAWING: South elevation

PLOT DATE: 29/06/2016
REFERENCE: A - 246
DRAWN: HBL A
DRAWING NO: 10
REV. ---

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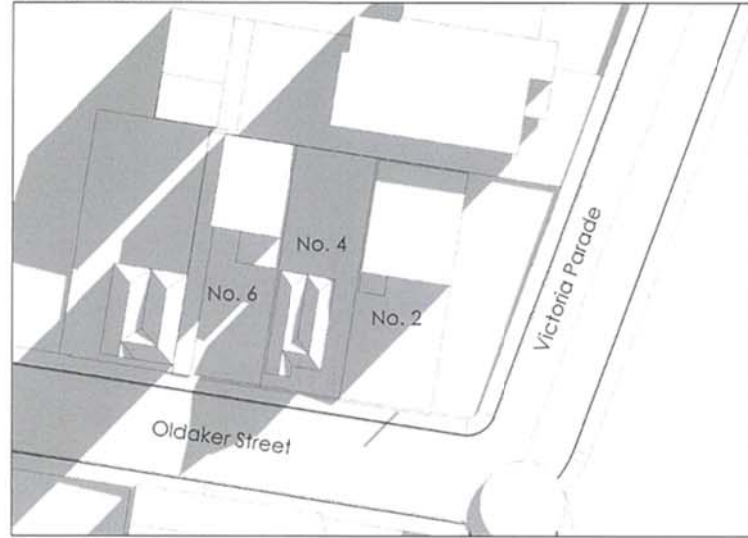
SOUTH ELEVATION
scale 1:100



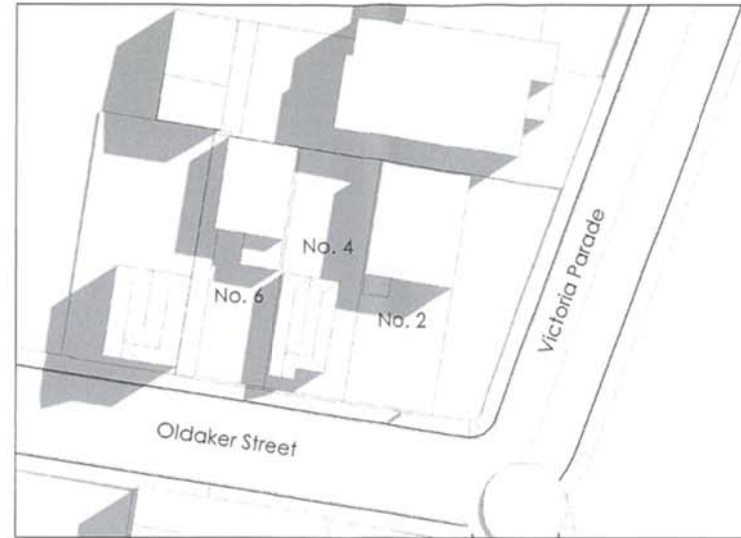
EAST ELEVATION
scale 1:100

GENERAL NOTES: Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be scaled. Contractors shall submit samples and shop drawings before commencing work. All works shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These designs, plans, specifications and the copyright herein are the property of DHK Architects and must not be used, reproduced or copied wholly or in part without the written permission of DHK Architects.	REV.	DATE	AMENDMENT	<div>NORTH</div>	PROJECT: Mixed use building ADDRESS: 2, 4 & 6 Oldaker Street, Devonport CLIENT: Stegmann DRAWING: South & West elevations	PLOT DATE: 29/06/2016 REFERENCE: A - 246 DRAWN: HBL A DRAWING NO: 09 REV. --	 215 Elizabeth Street, Hobart p: (03) 6286 8440 e: alexander@dhkarchitecture.com Acc. No: CC6540
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Sun study
2, 4 & 6 Oldaker Street, Devonport
Pre-development

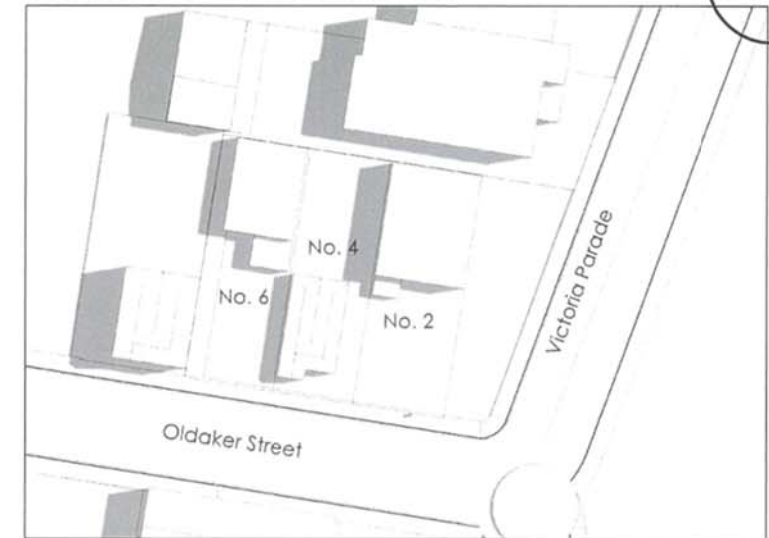


9am winter solstice

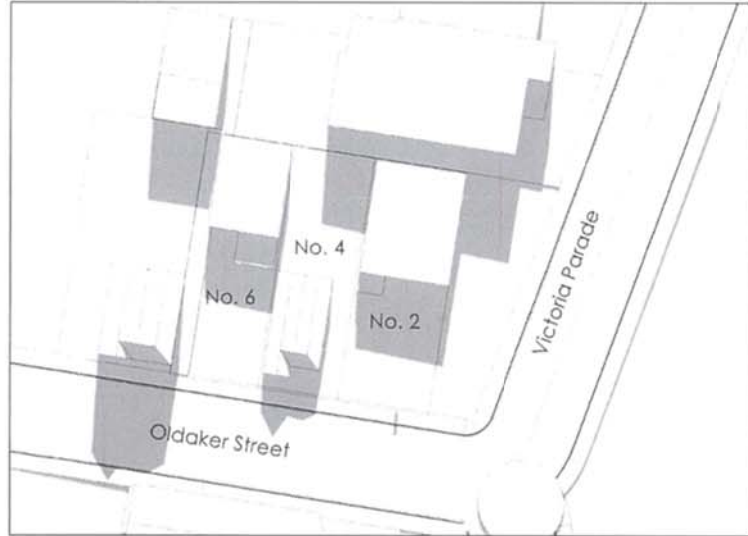


9am equinox

Sun study diagrams shall supplement the architectural plans for the proposed development at 2,4 & 6 Oldaker Street, Devonport. D.A. plans by DHK Architecture reference A-246.



9am summer solstice



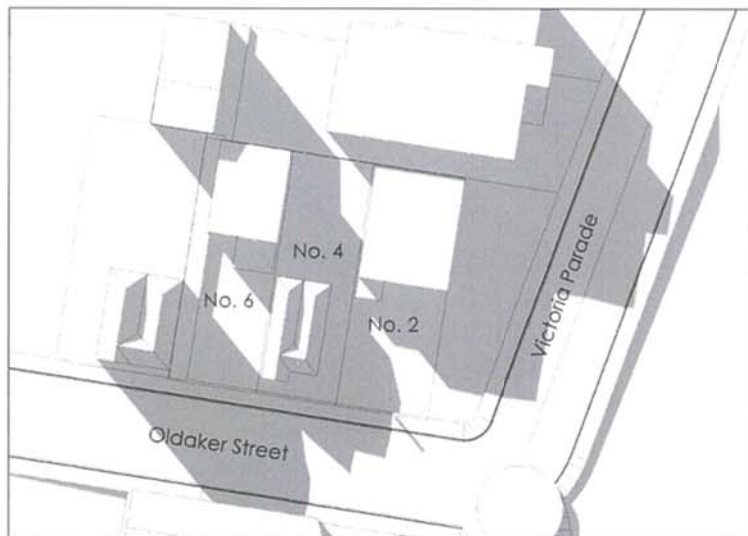
12pm winter solstice



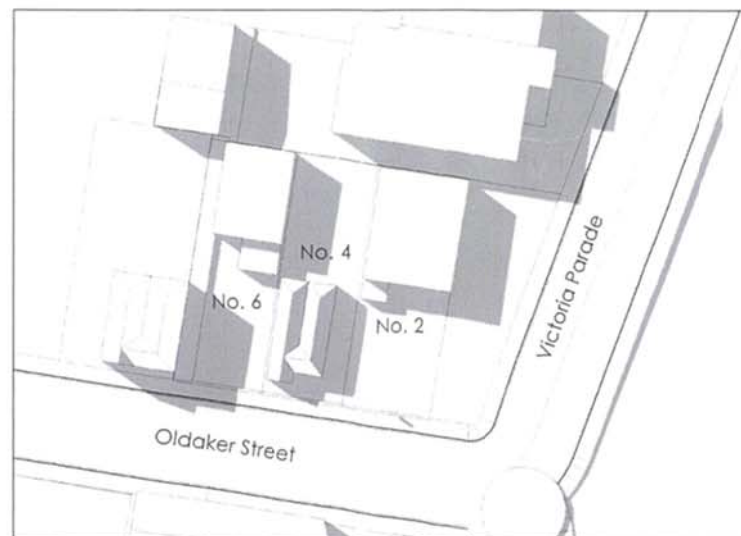
12pm equinox



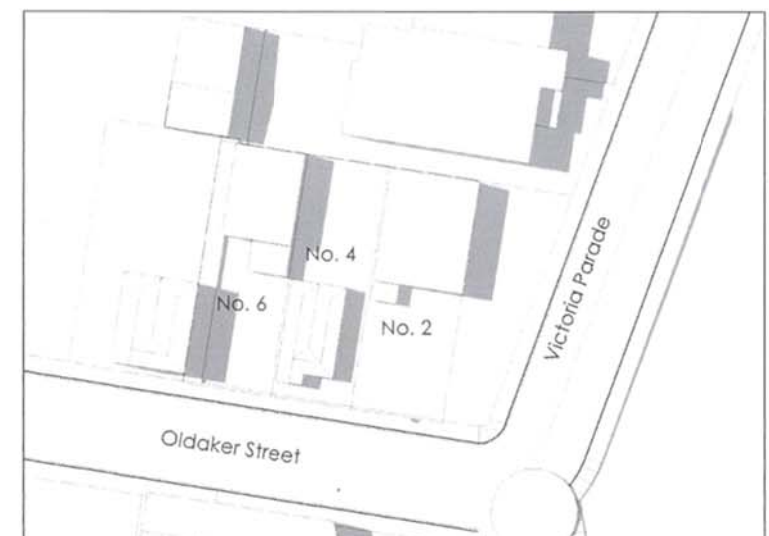
12pm summer solstice



3pm winter solstice

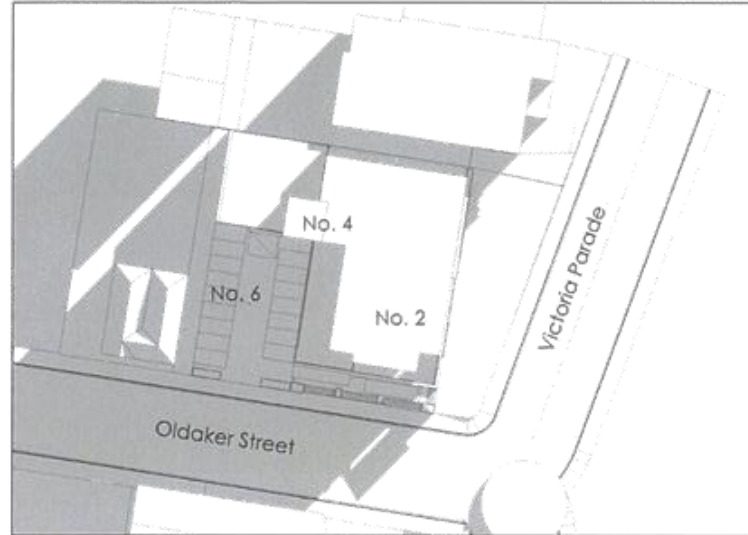


3pm equinox

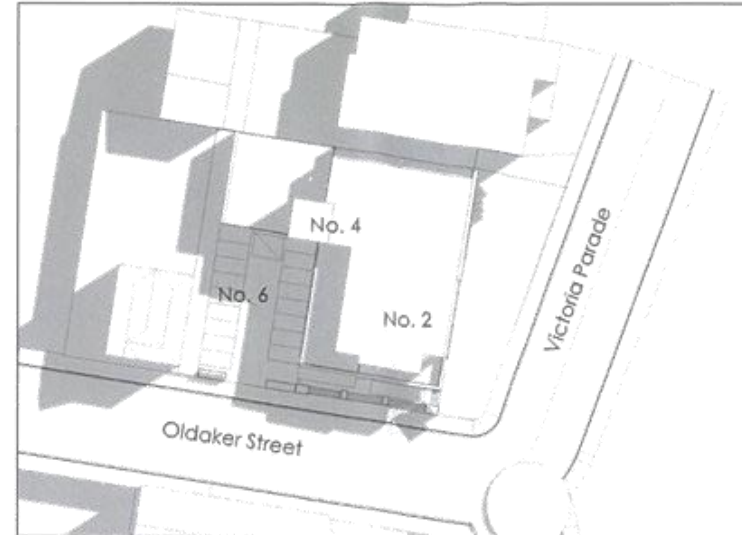


3pm summer solstice

Sun study
2, 4 & 6 Oldaker Street, Devonport
Post-development

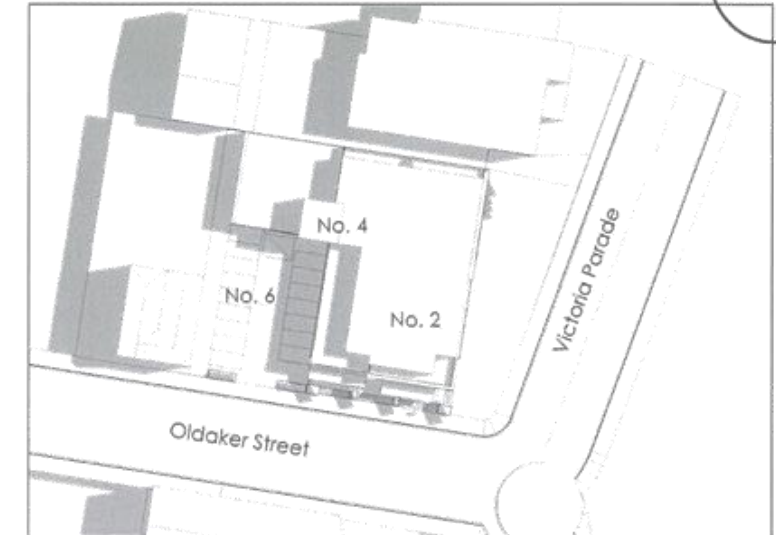


9am winter solstice

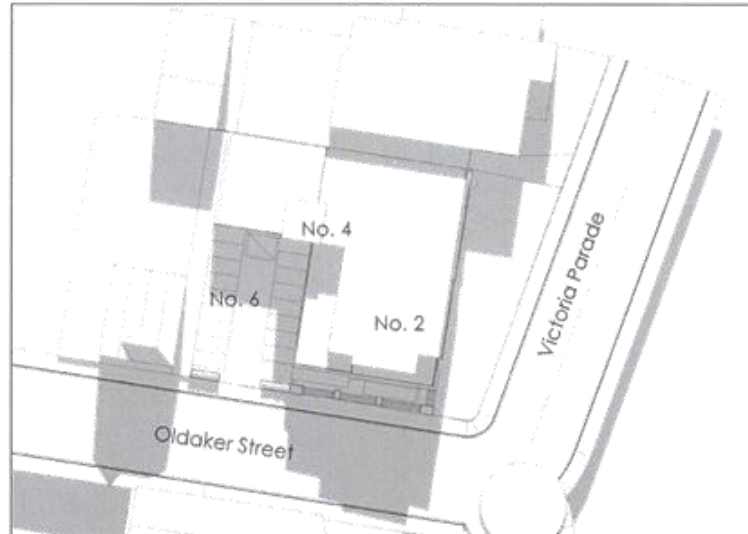


9am equinox

Sun study diagrams shall supplement the architectural plans for the proposed development at 2, 4 & 6 Oldaker Street, Devonport. D.A. plans by DHK Architecture reference A-246.



9am summer solstice



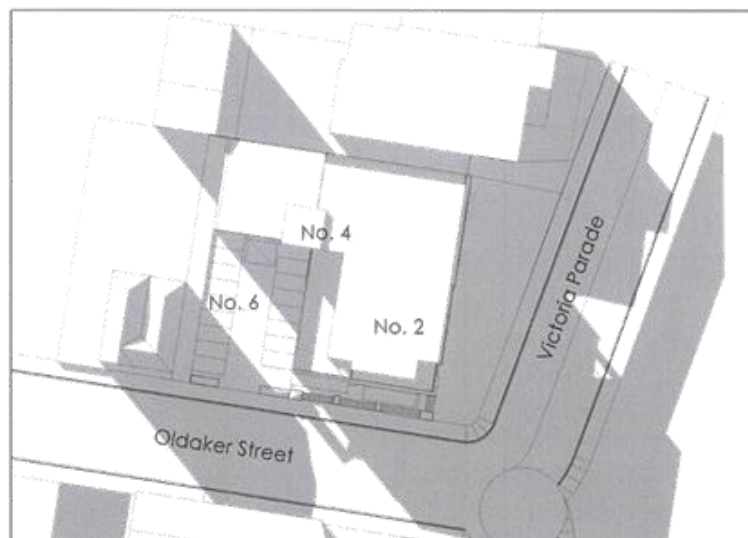
12pm winter solstice



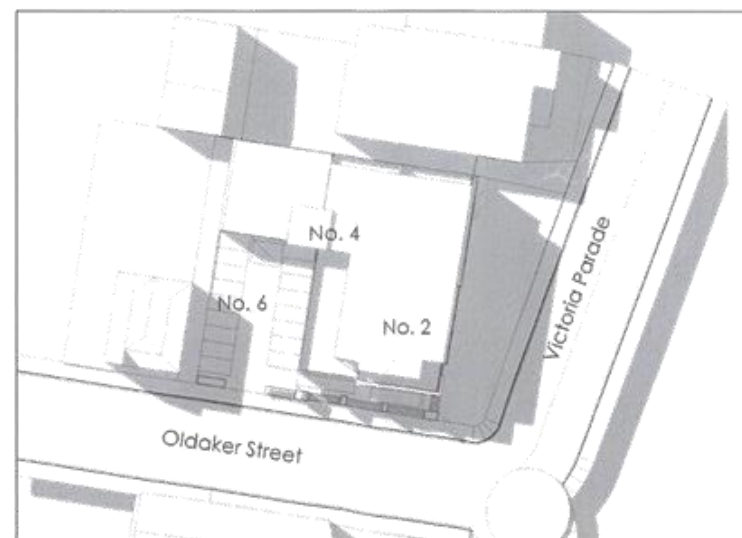
12pm equinox



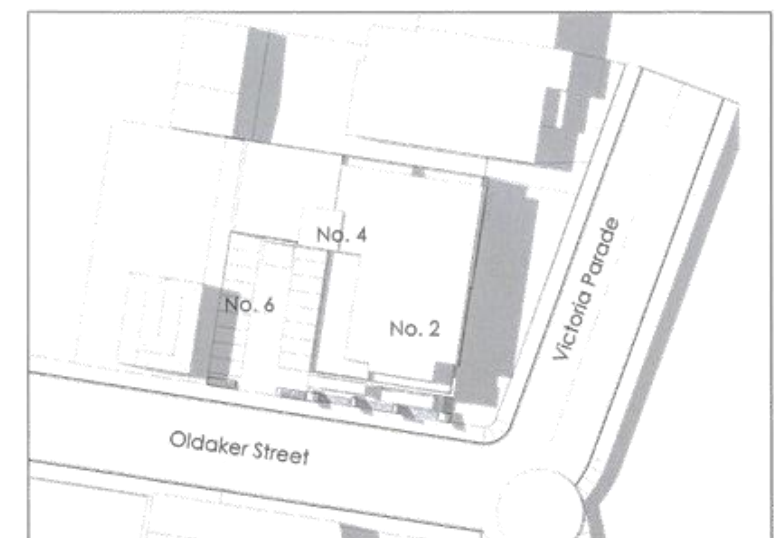
12pm summer solstice



3pm winter solstice



3pm equinox



3pm summer solstice

4 Bellevue CRT
Amble side 73

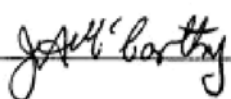
To the Warden + Councilors.

I STRONGLY object to the
demolition of 4 Oldaker Street Devonport
as this house is heritage listed.

Our heritage listed buildings
should be protected as they are the
history of our city, as well as adding charm.
This house is very well maintained.

The Block Rooke, Oldaker, Best St
and Fentonway is torn up and looking
a mess, there are many empty shops
in town so I fail to see what is
to be achieved by pulling down more
buildings to add to this.

Application no. PA 2016.0120

yours Julie McCarthy


5.0 CLOSURE

There being no further business the Chairman declared the meeting closed at <insert time> pm.