



*The City with Spirit*

## NOTICE OF MEETING

Notice is hereby given that a **Planning Authority Committee** meeting of the Devonport City Council will be held in Aberdeen Room, Level 2, parnaple centre, 137 Rooke Street, Devonport, on Monday 6 May 2019, commencing at 5:15pm.

**The meeting will be open to the public at 5:15pm.**

## QUALIFIED PERSONS

In accordance with Section 65 of the *Local Government Act 1993*, I confirm that the reports in this agenda contain advice, information and recommendations given by a person who has the qualifications or experience necessary to give such advice, information or recommendation.

Paul West  
GENERAL MANAGER

**1 May 2019**

**AGENDA FOR A MEETING OF THE PLANNING AUTHORITY COMMITTEE OF  
DEVONPORT CITY COUNCIL HELD ON MONDAY 6 MAY 2019  
IN THE ABERDEEN ROOM, paranaple centre, 137 ROOKE STREET, DEVONPORT AT 5:15PM**

| <b>Item</b>                                                                                                        | <b>Page No.</b> |
|--------------------------------------------------------------------------------------------------------------------|-----------------|
| <b>1.0 APOLOGIES</b> .....                                                                                         | <b>1</b>        |
| <b>2.0 DECLARATIONS OF INTEREST</b> .....                                                                          | <b>1</b>        |
| <b>3.0 DELEGATED APPROVALS</b> .....                                                                               | <b>2</b>        |
| 3.1 Planning Applications approved under Delegated Authority 1 April 2019 - 30 April 2019 ( <b>D577167</b> ) ..... | 2               |
| <b>4.0 DEVELOPMENT REPORTS</b> .....                                                                               | <b>4</b>        |
| 4.1 PA2019.0049 Change of use (church) - 12 Forbes Street Devonport ( <b>D577086</b> ) .....                       | 4               |
| 4.2 PA2019.0045 Residential (14 Multiple Dwellings) - 10-12 Edward Street Devonport ( <b>D577170</b> ) .....       | 24              |
| <b>5.0 CLOSURE</b> .....                                                                                           | <b>55</b>       |

Agenda of a meeting of the Devonport City Council's **Planning Authority Committee** to be held in the Aberdeen Room, paranable centre, 137 Rooke Street, Devonport on Monday 6, May 2019 commencing at 5:15pm.

**PRESENT**

|          |                       | <b>Present</b> | <b>Apology</b> |
|----------|-----------------------|----------------|----------------|
| Chairman | Cr A Rockliff (Mayor) |                |                |
|          | Cr J Alexiou          |                |                |
|          | Cr P Hollister        |                |                |
|          | Cr S Milbourne        |                |                |
|          | Cr L Murphy           |                |                |
|          | Cr L Perry            |                |                |

**IN ATTENDANCE**

All persons in attendance are advised that it is Council policy to record Council Meetings, in accordance with Council's Audio Recording Policy. The audio recording of this meeting will be made available to the public on Council's website for a minimum period of six months.

**1.0 APOLOGIES**

**2.0 DECLARATIONS OF INTEREST**

### **3.0 DELEGATED APPROVALS**

#### **3.1 PLANNING APPLICATIONS APPROVED UNDER DELEGATED AUTHORITY 1 APRIL 2019 - 30 APRIL 2019**

##### **ATTACHMENTS**

- [1.](#) Planning applications approved under delegated authority 1 April 2019 - 30 April 2019

##### **RECOMMENDATION**

That the list of delegated approvals be received.

|           |                                 |              |                              |
|-----------|---------------------------------|--------------|------------------------------|
| Author:   | Jennifer Broomhall              | Endorsed By: | Kylie Lunson                 |
| Position: | Planning Administration Officer | Position:    | Development Services Manager |

| Application No. | Location                            | Description                                                                                                                           | Approval Date |
|-----------------|-------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|---------------|
| PA2018.0180     | 35 Fleetwood Drive, Spreyton        | Subdivision ( 26 Lots )                                                                                                               | 05/04/2019    |
| PA2019.0007     | 99 Cutts Road, Don                  | Subdivision (2 lots)                                                                                                                  | 10/04/2019    |
| PA2019.0008     | 10363 Bass Highway, Lilloo          | Community Meeting and Entertainment (function centre) & Visitor Accommodation                                                         | 01/04/2019    |
| PA2019.0017     | 27 Mcarthur Drive, Spreyton         | Residential (shed extension)                                                                                                          | 01/04/2019    |
| PA2019.0019     | 157 Stony Rise Road, Stony Rise     | Storage                                                                                                                               | 05/04/2019    |
| PA2019.0021     | 22 Swilkin Drive, Spreyton          | Residential (dwelling and shed)                                                                                                       | 03/04/2019    |
| PA2019.0024     | 63 Dana Drive, Devonport            | Residential (multiple dwellings x 2)                                                                                                  | 02/04/2019    |
| PA2019.0028     | 68 North Fenton Street, Devonport   | Business and Professional (office extension)                                                                                          | 11/04/2019    |
| PA2019.0029     | 46 Fleetwood Drive, Spreyton        | Residential (multiple dwellings x 3)                                                                                                  | 01/04/2019    |
| PA2019.0033     | 35 Skyline Drive, East Devonport    | Residential (shed)                                                                                                                    | 15/04/2019    |
| PA2019.0034     | 98 Mersey Main Road, Spreyton       | Residential (alterations and additions)                                                                                               | 11/04/2019    |
| PA2019.0035     | 1 Collins Way, Tugrah               | Residential (shed)                                                                                                                    | 15/04/2019    |
| PA2019.0036     | 26 Dana Drive, Devonport            | Residential (shed)                                                                                                                    | 17/04/2019    |
| PA2019.0038     | 1 Vons Way, Aberdeen                | Residential (dwelling and shed)                                                                                                       | 17/04/2019    |
| PA2019.0040     | 10 Swilkin Drive, Spreyton          | Residential (outbuilding)                                                                                                             | 12/04/2019    |
| PA2019.0041     | 61 Melrose Road, Aberdeen           | Resource development (ancillary structure)                                                                                            | 11/04/2019    |
| PA2019.0042     | 34-44 Lovett Street, Devonport      | Weather shelter and sponsors box                                                                                                      | 17/04/2019    |
| PA2019.0043     | 211 Tugrah Road, Tugrah             | Residential (dwelling and shed)                                                                                                       | 09/04/2019    |
| PA2019.0046     | 146 Durkins Road, Quoiba            | 2 lot subdivision                                                                                                                     | 18/04/2019    |
| PA2019.0047     | 31-49 Mersey Main Road, Spreyton    | Sports and recreation (Gymnasium) - Permitted use<br>Provision for parking - Discretionary consideration for reduced number of spaces | 12/04/2019    |
| PA2019.0048     | 29-31 Stony Rise Road, Quoiba       | Crematoria & Cemeteries (Memorial Pavilion and ash internment)                                                                        | 11/04/2019    |
| PA2019.0050     | 78 Formby Road, Devonport           | Hotel Industry (alterations and additions)                                                                                            | 18/04/2019    |
| PA2019.0053     | 91-93 Wright Street, East Devonport | Storage (marquee & party hire goods)                                                                                                  | 29/04/2019    |
| PA2019.0060     | 1 Collins Way, Tugrah               | Residential (shed)                                                                                                                    | 18/04/2019    |

## 4.0 DEVELOPMENT REPORTS

### 4.1 PA2019.0049 CHANGE OF USE (CHURCH) - 12 FORBES STREET DEVONPORT

File: 36052 D577086

#### RELEVANCE TO COUNCIL'S PLANS & POLICIES

Council's Strategic Plan 2009-2030:

- Strategy 2.1.1 Apply and review the Devonport Interim Planning Scheme as required, to ensure it delivers local community character and appropriate land use
- Strategy 2.1.2 Provide high quality, consistent and responsive development assessment and compliance processes

#### PURPOSE

The purpose of this report is to enable the Planning Authority to make a decision regarding planning application PA2019.0049.

#### BACKGROUND

|                      |                                               |
|----------------------|-----------------------------------------------|
| Planning Instrument: | <i>Devonport Interim Planning Scheme 2013</i> |
| Applicant:           | Lachlan Walsh Design                          |
| Owner:               | The Uniting Church Australia Property Trust   |
| Proposal:            | Change of use (church)                        |
| Existing Use:        | Commercial (retail & service industry)        |
| Decision Due:        | 8/04/2019                                     |

#### SITE DESCRIPTION

The site is situated on the south-west corner of the Forbes Street and Symbister Street intersection. The property has an area of 955m<sup>2</sup> and located on the site is a commercial building and an ancillary storage garage. The commercial building was developed in the 1970s and initially incorporated five separate tenancies. Currently, Blind Design solely operate from the western section of the building and utilise the garage on the southern boundary. The remainder of the building is currently unoccupied. On-site vehicle parking is provided along the northern section of the building adjacent to Symbister Street. The property is immediately surrounded by established residential development. Figure 1 is an aerial image of the site.



**Figure 1 - Aerial image of subject site and surrounding locality  
(Devonport City Council (DCC), 2015)**

**APPLICATION DETAILS**

The applicant is seeking approval to change the use of part of the main building to a church. The church is proposed to encompass a gross floor area of 163.3m<sup>2</sup>, noting the building has a total area of 335m<sup>2</sup>. The existing arrangement of shared amenity facilities between the building occupiers will remain.

Allocation of 15 on-site car parking spaces is provided along the northern frontage of the building adjacent to Symbister Street.

A copy of the site plan submitted by the applicant is reproduced as Figure 2. A full copy of the application documentation is appended as **Attachment 1**.

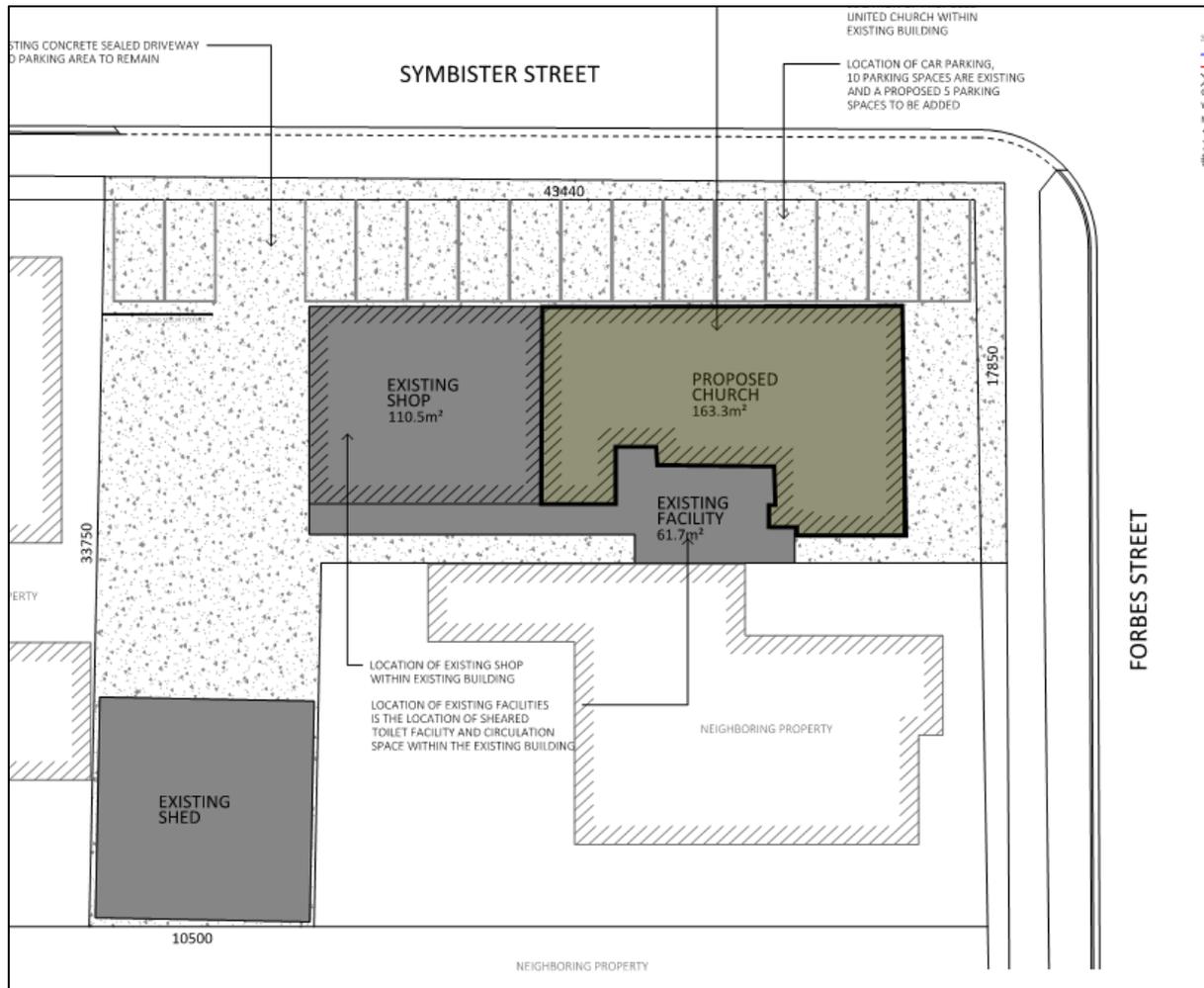


Figure 2 - Site Plan with church location highlighted (Lachlan Walsh Design, 2018)

### PLANNING ISSUES

The land is zoned Local Business under the *Devonport Interim Planning Scheme 2013 (DIPS)*. The purpose of the zone is "to provide for business, professional and retail services which meet the convenience needs of a local area."

The most appropriate use classification for the church is Community meeting and entertainment. This use is defined under the DIPS as:

*"use of land for social, religious and cultural activities, entertainment and meetings. Examples include an art and craft centre, church, cinema, civic centre, function centre, library, museum, public art gallery, public hall and theatre."*

Within the Local Business zone, Community meeting and entertainment is classified as Permitted subject to the qualification that the gross floor area does not exceed 300m<sup>2</sup>. The proposed church has an area of 163.8m<sup>2</sup> and satisfies this qualification.

To determine if the application can be assessed as Permitted, the change of use is required to satisfy the acceptable solutions within Local Business zone and any applicable development Code (including exemptions). The Planning Authority must approve a Permitted development, however conditions on the permit can be applied as necessary.

If a development is Permitted but cannot satisfy the acceptable solutions of a use or development standard prescribed within the DIPS, the Discretionary approval process is invoked. A Discretionary planning application is required to be publicly advertised and the Planning Authority can approve or refuse a Discretionary application. Reliance is placed

on the performance criteria of the particular development standard where the acceptable solution is not satisfied to determine if a permit pathway is achievable.

The change of use has been subject to a thorough assessment against the applicable use and development standards prescribed within the DIPS. Two discretionary matters have been identified which relates to the provision of on-site parking and the circulation of parking, both matters are prescribed under the Traffic Generating Use and Parking Code. The discretions are discussed further below along with evaluation. Lastly, no commentary has been included where the development standards are satisfied at the acceptable solutions level.

**Traffic Generating Use and Parking Code (E9)**

The church is proposed to co-locate with the existing office/retail use occurring at the site. In relation to the application of on-site parking numbers, the DIPS prescribes the following guidance within Code E9:

*“If a proposed development contains multiple uses, the parking and loading requirement must be calculated for each component use, added together, and rounded upwards to the nearest whole number.”*

Table 1 below identifies the required amount of car parking for a Community meeting and entertainment use.

| Use Class                         | Minimum Parking Space Requirement                                                                                   | Minimum Loading Area Requirement                                    |
|-----------------------------------|---------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------|
| Community meeting & entertainment | a) 15 x spaces / 100m <sup>2</sup> gross floor area; or<br>b) 1 x space per 3 seats<br><br>whichever is the greater | 1 x >small rigid truck space / 1,500m <sup>2</sup> gross floor area |

**Table 1 – Required parking spaces for Community meeting and entertainment (DIPS, 2013)**

Considering the minimum parking space requirement, the church is required to have a total of 24 parking spaces to satisfy the acceptable solutions. For reference, this number is based on the church having a gross floor area of 163m<sup>2</sup>.

Notwithstanding, the applicable amount of parking spaces for the church does not incorporate the remainder of the commercial building which has a retail/office component of 110.5m<sup>2</sup>. Existing parking arrangements for established uses are not required to be readdressed under the parking table in Code E9, however they need to be in accordance with previous development approvals.

When the building was constructed in the 1970s the plans indicated a total of 14 on-site parking spaces. Subsequent development applications for the site (predominately for change of uses) have not included parking details nor has any planning conditions been prescribed in relation to overall parking numbers for the site. The percentage of the building that will retain the retail/office component is approximately 40% and therefore 6 parking spaces for the retail/office component is determined to be applicable. As a result, the site requires a total of 30 spaces when considering both the proposed church use (24 spaces) and the existing retail/office component (6 spaces).

The applicant has allowed for the provision of 15 on-site parking spaces, which is short 15 spaces of the acceptable amount. To determine if the parking arrangement is adequate the performance criteria for E9.5.1 is required to be assessed. This standard is reproduced along with comment.

**E9.5 Use Standards**

**E9.5.1 Provision for parking**

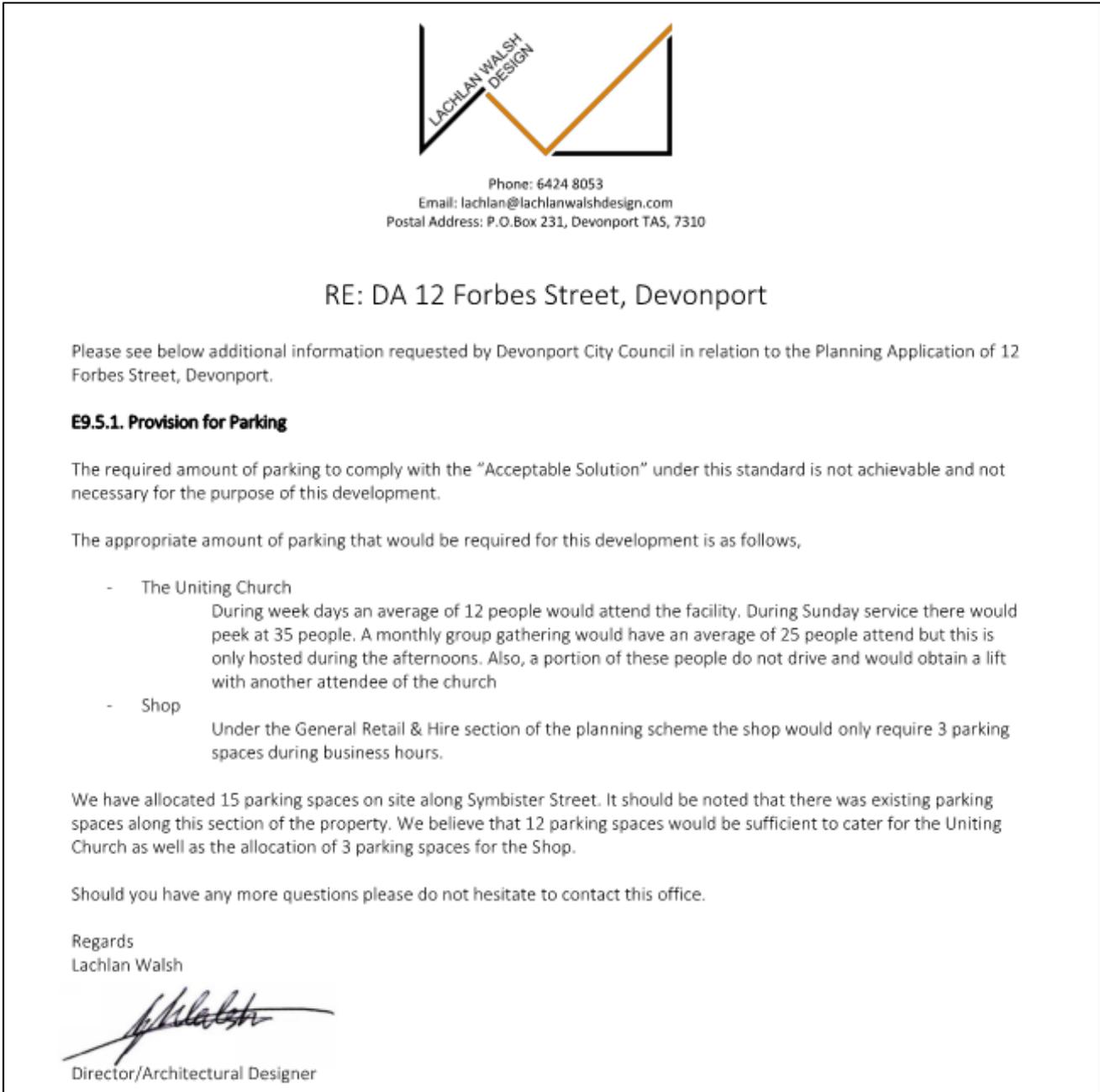
|                                                                                                                                                                                                                               |                             |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------|
| <b>Objective:</b>                                                                                                                                                                                                             |                             |
| Provision is to be made for convenient, accessible, and usable vehicle parking to satisfy requirements for use or development without impact for use or development of other land or for the safety and operation of any road |                             |
| <b>Acceptable Solutions</b>                                                                                                                                                                                                   | <b>Performance Criteria</b> |

|                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>A1</b></p> <p>Provision for parking must be –</p> <p>(a) the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code;</p> | <p><b>P1</b></p> <p>(a) It must be unnecessary or unreasonable to require arrangements for the provision of vehicle parking; or</p> <p>(b) Adequate and appropriate provision must be made for vehicle parking to meet –</p> <p>(i) anticipated requirement for the type, scale, and intensity of the use;</p> <p>(ii) likely needs and requirements of site users; and</p> <p>(iii) likely type, number, frequency, and duration of vehicle parking demand</p> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

In support of the performance criteria, the applicant has provided supporting rationale which is reproduced as Figure 3.

E9.5.1 (a) is not applicable as the provision of car parking is necessary for the church. Therefore (b) (i), (ii) and (iii) are required to be assessed.

Figure 3 identifies that the anticipated congregation of the church is 35 people which is considered to be relatively low. The applicant has outlined that the church will be mostly patronised during their weekly Sunday service with some regular weekly activities and other sporadic events. It is noted on a Sunday that the existing retail/office use observed on the site is not open and the church will have unrestricted access to on-site parking. The provision of the 15 parking spaces for the anticipated congregation of 35 (maximum) during a Sunday service is determined to be appropriate, with some members likely to car pool with another attendee of the church. In addition, during the week it has been observed that the car park is generally greater than 50% vacant which will cater for small weekly gatherings of the church during business hours. Lastly, if the church was to increase in congregation numbers a new property would need to be found as they would exceed their occupancy requirements stipulated under the National Construction Code, taking into account the building footprint being just over 160m<sup>2</sup>. In summary, the performance criteria can be supported for the parking arrangement for the church and the existing retail/office use.



**Figure 3 - Supporting rationale provided by applicant to support car parking (Lachlan Walsh, 2019)**

The location of the car park does not provide sufficient circulation for cars to enter and exit the property in a forward direction and therefore fails to satisfy the acceptable solutions for E9.6.1 - *Design of vehicle parking and loading areas*. The parking is an existing situation and due to the location of the buildings on the site it cannot be re-configured. The layout has been assessed by Council's engineering staff and no concerns have been cited. However, a condition will be included on the permit for the parking bays to be delineated so they are easily visible for people parking at the site.

**REPRESENTATIONS**

One representation was received within the prescribed 14-day public scrutiny process.

The representation received was from a resident along Symbister Street and is reproduced below as Figure 3.

2-4-2019

To the General Manager,

Just writing to you in regards to the church starting up on the corner of Forbes and Symbister street. Our street is always filled up with cars along both sides of the street. <sup>weekdays</sup> This makes it very crowded and no where for visiting people to park.

I am hoping you will read this letter but I'm pretty sure you won't. But as a rates payer I have the right to speak up.

Now we have to put up with more cars on a Sunday.

From a frustrated resident/home owner

Maree Woodberry.

I spoke with the Mayor about my cars having no-where to park. Something has to be done.

**Figure 4 - Representation - Maree Woodberry**

The representation's primary concern is that the car parking for the church use is inadequate which will congest on street parking availability along Symbister Street. The development site and surrounding area is surrounded by various commercial uses and it is agreed that parking availability along Symbister Street and other adjacent streets during business hours is limited. However, the church has identified that the primary patronage of the site will be during their Sunday service when the current occupier of 12 Forbes Street and most other nearby commercial uses are closed. This will allow provision of car parking for the entirety of the site for the church and will likely accommodate the majority of the congregation. During the week the church has stated that it will have limited operations and not too many people are expected at the property. As per previous commentary

recent site visits indicate that the car park at the site is generally less than 50% capacity and it is therefore thought that people utilising the church building during the week will have access to on-site parking. In summary, the car parking layout is considered appropriate and the representation is recommended to be noted by the Planning Authority, but the application is not recommended to be altered or any further conditions included.

### **DISCUSSION**

The application has also been referred to other Council departments with an interest in development applications. Comments received have been included in the final recommendation. One of the notes will encourage the church to incorporate internal sound mitigation measures to reduce the potential of noise pollution to adjacent residential properties. It is noted that if the church is causing a nuisance (ie excessive noise), Council and other authorities have legislative power to take legal action.

### **FINANCIAL IMPLICATIONS**

No financial implications are predicted unless legal costs are incurred due to an Appeal to the Resource Management and Planning Appeal Tribunal.

### **RISK IMPLICATIONS**

Due diligence has been exercised in the preparation of this report and no associated risks are predicted.

### **CONCLUSION**

The application has been assessed as appropriately complying with the requirements of the DIPS and the discretion sought in relation to the provision of on-site car parking. The application is therefore recommended for conditional approval.

### **ATTACHMENTS**

- 1. Application - PA2019.0049 - 12 Forbes Street

### **RECOMMENDATION**

That the Planning Authority pursuant to the provisions of the *Devonport Interim Planning Scheme 2013* and Section 57 of the *Land Use Planning and Approvals Act 1993*, approve application PA2019.0049 and grant a Permit to use and develop land identified as 12 Forbes Street, Devonport for the following purposes:

- Change of Use (church)

Subject to the following conditions:

#### **Planning Conditions**

1. The use and development is to proceed in accordance with the plans referenced as Proposed Alterations (Project No. 18-472), dated 11/12/18 by Lachlan Walsh Design, copies of which are attached and endorsed as documents forming part of this Planning Permit.
2. During the use of these facilities all measures are to be taken to prevent nuisance. Noise pollution matters are subject to provisions of the *Environmental Management and Pollution Control Act 1994*.

**Infrastructure & Works Conditions**

3. The existing stormwater connection is to be used for the purposes of the proposed development.
4. Concentrated stormwater is to be discharged in accordance with the National Construction Code.
5. The existing access is to be used for the purposes of this development.
6. The proposed car parking is to be delineated in accordance with AS2890.1 Parking Facilities – Off Street Car Parking.

Note: The following is provided for information purposes.

**THIS IS NOT A BUILDING OR PLUMBING PERMIT.**

Prior to commencing any building or plumbing work you are required to:

Contact a Tasmanian registered Building Surveyor to determine the category of building approval required, and

Contact the Council Permit Authority to determine the category of plumbing approval required.

In regard to condition 2, the developer is to incorporate appropriate acoustic materials and finishes to the building.

If food is to be provided to the public, the Council must be contacted so that applicable food approvals are attained.

Any existing Council infrastructure impacted by the works is to be reinstated in accordance with the relevant standards.

A permit to work within the road reserve must be sought and granted prior to any works being undertaken within the road reserve.

In regard to conditions 3-6 the applicant should contact Council's Infrastructure & Works Department – Ph 6424 0511 with any enquiries.

General enquires regarding the planning permit can be directed to Council's Planning Department - Ph 6424 0511 with any enquiries.

|           |                  |              |                              |
|-----------|------------------|--------------|------------------------------|
| Author:   | Alex Mountney    | Endorsed By: | Kylie Lunson                 |
| Position: | Planning Officer | Position:    | Development Services Manager |



Phone: 6424 8053  
Email: lachlan@lachlanwalshdesign.com  
Postal Address: P.O.Box 231, Devonport TAS, 7310

## RE: DA 12 Forbes Street, Devonport

Please see below additional information requested by Devonport City Council in relation to the Planning Application of 12 Forbes Street, Devonport.

### E9.5.1. Provision for Parking

The required amount of parking to comply with the "Acceptable Solution" under this standard is not achievable and not necessary for the purpose of this development.

The appropriate amount of parking that would be required for this development is as follows,

- The Uniting Church  
During week days an average of 12 people would attend the facility. During Sunday service there would peak at 35 people. A monthly group gathering would have an average of 25 people attend but this is only hosted during the afternoons. Also, a portion of these people do not drive and would obtain a lift with another attendee of the church
- Shop  
Under the General Retail & Hire section of the planning scheme the shop would only require 3 parking spaces during business hours.

We have allocated 15 parking spaces on site along Symbister Street. It should be noted that there was existing parking spaces along this section of the property. We believe that 12 parking spaces would be sufficient to cater for the Uniting Church as well as the allocation of 3 parking spaces for the Shop.

Should you have any more questions please do not hesitate to contact this office.

Regards  
Lachlan Walsh

Director/Architectural Designer

**RESULT OF SEARCH**

DEPUTY RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

|                 |                              |
|-----------------|------------------------------|
| VOLUME<br>10996 | FOLIO<br>1                   |
| EDITION<br>3    | DATE OF ISSUE<br>17-Oct-2018 |

SEARCH DATE : 25-Mar-2019

SEARCH TIME : 10.45 AM

DESCRIPTION OF LAND

City of DEVONPORT  
 Lot 1 on Diagram 10996  
 Derivation : Part of Lot 282 500 Acres Charles Stanhope Thomas  
 pur.  
 Prior CT 3637/45

SCHEDULE 1

M720697 TRANSFER to THE UNITING CHURCH IN AUSTRALIA PROPERTY  
 TRUST (TAS) Registered 17-Oct-2018 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

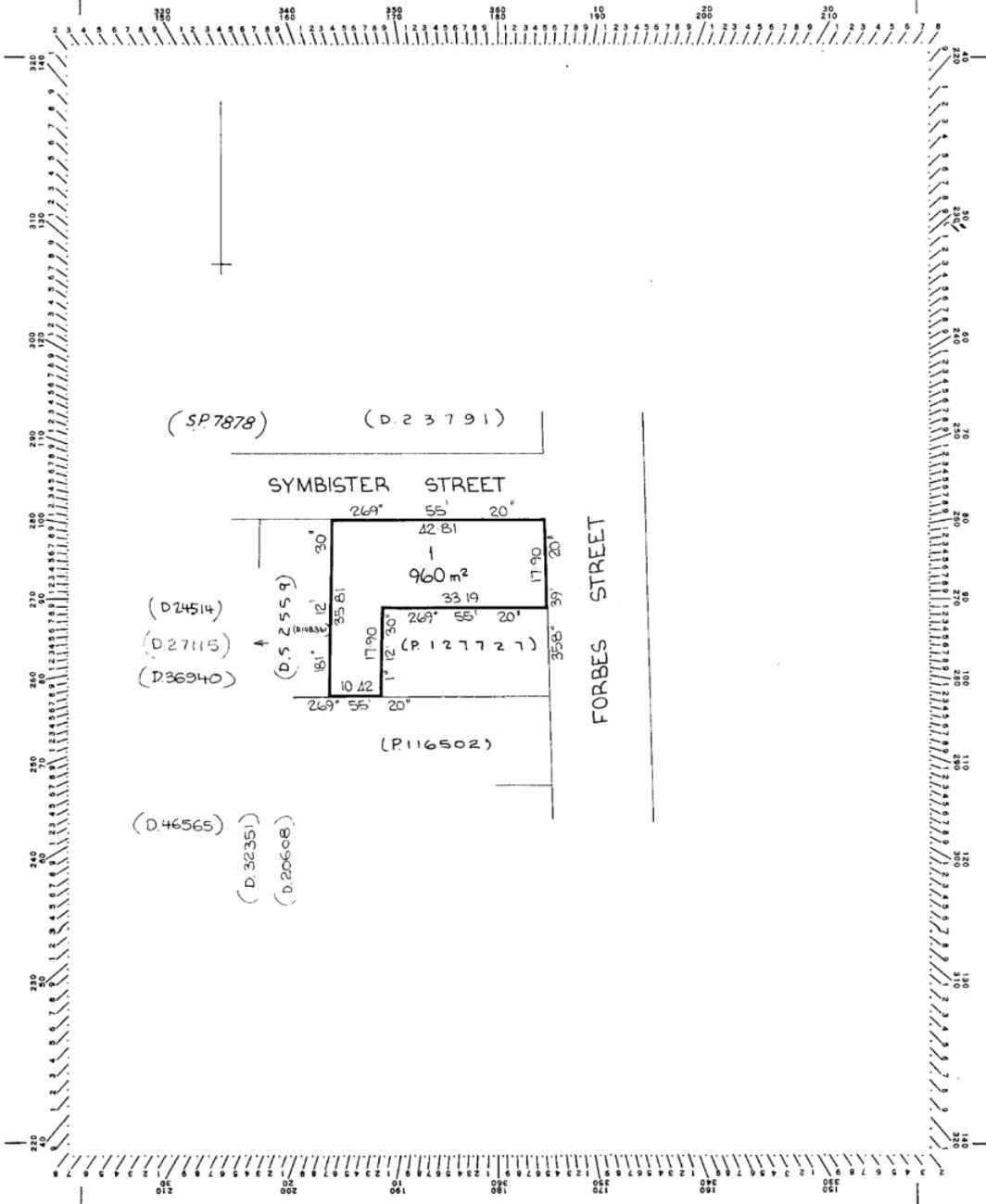
DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



APP. 6068 CT.

|                                                                              |                                                                                        |                                                                                               |
|------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------|
| <b>Owner:</b><br>Planit Homes Pty. Ltd.                                      | <b>PLAN OF SURVEY</b><br>by Surveyor <u>MR. R.P. FRANKS</u><br>of land situated in the | <b>Registered Number:</b><br><b>D10996</b>                                                    |
| <b>Title Reference:</b><br>Conv. 48/5862                                     | <b>TOWN OF DEVONPORT</b>                                                               | Approved: <u>21 APR 1978</u><br><i>[Signature]</i><br><b>ACTING DEPUTY</b> Recorder of titles |
| <b>Grantee:</b><br>Part of Lot 282, 500 Ac.<br>Charles Stanhope Thomas, pur. | Scale 1:800 Measurements in metres.                                                    |                                                                                               |





**LACHLAN WALSH DESIGN**  
Tasmania Accreditation Number: CC 6162 E  
ABN: 94 660 558 746  
PO Box 231, Devonport TAS, 7310  
E: lachlan@lachlanwalshdesign.com | P: 6424 8053

## INDEX

| REV. | PAGE NO. | CONTENT                    |
|------|----------|----------------------------|
| A    | 100      | COVER PAGE                 |
| A    | 101      | SITE PLAN                  |
| A    | 102      | DEMOLITION PLAN            |
| A    | 103      | DRAINAGE PLAN              |
| A    | 104      | FLOOR PLAN                 |
| A    | 105      | ELECTRICAL & CEILING PLAN  |
| A    | 106      | FRAMING PLAN               |
| A    | 107      | SCHEDULES, BAL & NCC NOTES |

## GENERAL INFORMATION

|                                |                |
|--------------------------------|----------------|
| LAND TITLE REF. NUMBER         | 10996 / 1      |
| PROPERTY ZONE                  | LOCAL BUSINESS |
| DESIGN WIND CATEGORY (AS 4055) | -              |
| SOIL CLASSIFICATION (AS 2870)  | -              |
| CLIMATE ZONE (BCA 3.12)        | -              |
| BAL RATING (AS 3959)           | -              |

## OTHER CONSULTANTS

|                          |   |
|--------------------------|---|
| INTERIOR DESIGNER        | - |
| STRUCTURAL ENGINEER      | - |
| GEOLOGICAL REPORT (SOIL) | - |
| ENERGY ASSESSMENT        | - |
| WASTEWATER REPORT        | - |
| BUSH FIRE ASSESSMENT     | - |
| CIVIL ENGINEER           | - |
| MECHANICAL ENGINEER      | - |
| ELECTRICAL ENGINEER      | - |
| SITE SURVEYOR            | - |

## NOTES

- DO NOT SCALE DRAWINGS, IF ANY DIMENSION NEEDS TO BE CLARIFIED OR RE ASSESSED PLEASE CONTACT LACHLAN WALSH DESIGN
- ALL PRODUCTS NOTED IN THIS DRAWINGS SET TO BE CONFIRMED BY CLIENT AND/OR SUPERINTENDENT OF THE PROJECT BEFORE PURCHASING AND/OR INSTALLING OF PRODUCT
- QUANTITIES INDICATED IN THIS DRAWINGS SET ARE A GUIDE ONLY, CONTRACTOR TO CALCULATE AND CONFIRM QUANTITY AMOUNTS BEFORE PURCHASING

## © COPYRIGHT

CONDITIONS OF USE: This document may only be used by LWD's clients (and any other person who LWD has agreed can use this document) for the purpose for which it was prepared and must not be used by any other person or replicated for any other purpose.

FILE PRINTED FROM:-

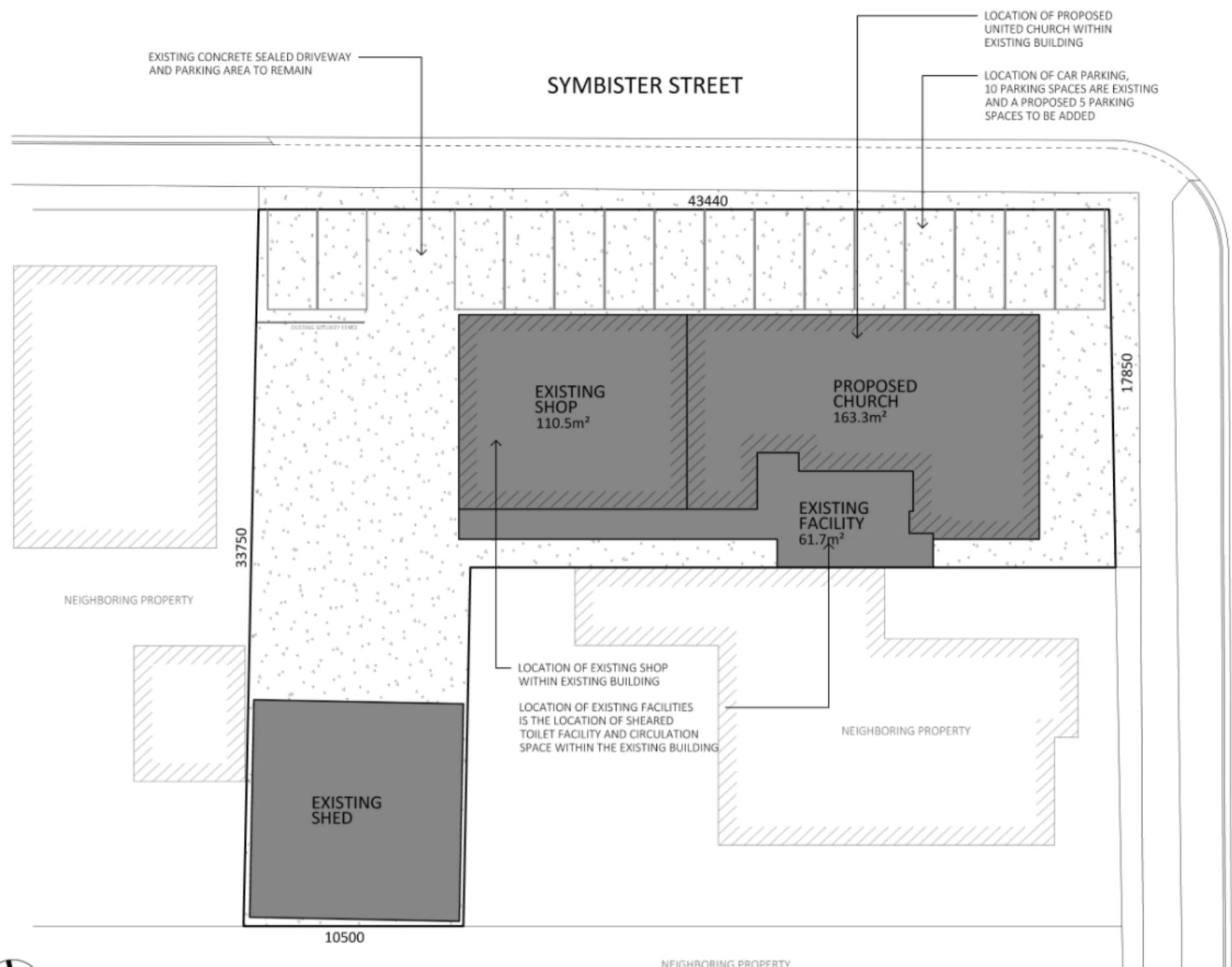
DATE PLOT:-

# PROJECT NUMBER: 18 - 472

# PROPOSED ALTERATIONS

## 12 FORBES STREET, DEVONPORT

### DEVONPORT UNITING CHURCH



- NOTES AND SYMBOLS**
- 31m --- CONTOUR LINE
  - SW PIPE LINE (S.W.)
  - S PIPE LINE (S.)
  - TASWATER & COUNCIL MAINS (S.W. / S. / W.M.)
  - G.D. GRATED DRAIN
  - W.M. WATER METER LOCATION
  - M.H.C. MAN HOLE COVER
  - ▽ R.L. & F.F.L. LEVELS
  - ⊗ INVERT LEVEL INDICATOR
  - ⊗ VEGETATION

ALL FLOOR TO FINISHED GROUND LEVELS HEIGHTS AND SITE CONTOURS NEED TO BE CONFIRMED ON SITE BEFORE START OF CONSTRUCTION, AS SHOWN ARE A GUIDE ONLY.

ALL PLUMBING WORK TO BE DONE MUST BE COMPLETED BY A LICENSED PLUMBER.

**AREA SCHEDULE**

| LOCATION          | AREA                          |
|-------------------|-------------------------------|
| SITE              | 960 m <sup>2</sup>            |
| EXISTING BUILDING | 335 m <sup>2</sup> (36.05 Sq) |
| EXISTING SHED     | 113 m <sup>2</sup> (12.165sq) |

**SOIL & WATER MANAGEMENT**

DOWN PIPES TO BE CONNECTED INTO COUNCIL STORM WATER OR TO SITE STORM WATER DISCHARGE AREA AS SOON AS ROOF IS INSTALLED.

EXCAVATED MATERIAL TO HAVE SEDIMENT CONTROL BARRIER TO BE INSTALLED DOWN-SLOPE. EXCAVATED MATERIAL TO BE REMOVED AT COMPLETION OF BUILDING WORKS AND/OR USED AS FILL ON SITE FOR ANY LOW POINTS.

CRUSHED ROCK TO BE APPLIED AT ENTRY TO SITE FOR SEDIMENT CONTROL AND TO PREVENT TRANSFERRING DEBRIS ONTO STREET. REAPPLY CRUSHED ROCK TO ENTRY IF EXCESSIVE SEDIMENT BUILD-UP OCCURS.



|                                                                                                                                                                                                  |                                                                |                                                                                                                                                   |                                            |                                        |                                 |                              |                                   |                     |                                                                                                                                                                                                                                                               |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------|----------------------------------------|---------------------------------|------------------------------|-----------------------------------|---------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>LACHLAN WALSH DESIGN</b><br/>Tasmania Accreditation Number: CC 6162 E<br/>ABN: 94 660 558 746<br/>PO Box 231, Devonport TAS, 7310<br/>E: lachlan@lachlanwalshdesign.com   P: 6424 8053</p> | <p><b>TITLE</b><br/><b>SITE PLAN</b><br/><br/>SCALE: 1:200</p> | <p><b>PROJECT</b><br/>PROPOSED ALTERATIONS<br/><b>LOCATION</b><br/>12 FORBES STREET, DEVONPORT<br/><b>CLIENT</b><br/>DEVONPORT UNITING CHURCH</p> | <p><b>DATE</b><br/>11th December, 2018</p> | <p><b>APPROVED</b><br/>L.J. WALSH</p>  | <p><b>NO.</b></p>               | <p><b>DATE</b></p>           | <p><b>REVISION</b></p>            | <p><b>BY</b></p>    | <p>DO NOT SCALE DRAWINGS<br/>CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.<br/>IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.<br/>© COPYRIGHT</p> |
|                                                                                                                                                                                                  |                                                                |                                                                                                                                                   | <p><b>DRAWN BY</b><br/>LJW</p>             | <p><b>PROJECT NO.</b><br/>18 - 472</p> | <p><b>PAGE SCALE</b><br/>A3</p> | <p><b>REV. NO.</b><br/>A</p> | <p><b>DRAWING NO.</b><br/>101</p> | <p>DATE PLOT: -</p> |                                                                                                                                                                                                                                                               |

**NOTES AND SYMBOLS**

- — — — — EXISTING INTERNAL & EXTERNAL WALL, TYPE AS NOTED
- - - - - WALLS OR OBJECTS TO BE REMOVED OR DEMOLISHED

DEMOLITION IS NOT TO COMMENCE UNTIL DEMOLITION CONTRACTOR HAS BEEN ADVISED THAT ALL ELECTRICAL SUPPLIES HAVE BEEN DISCONNECTED AND ISOLATED.

ALL DEMOLITION IS TO BE CARRIED OUT IN A SAFE AND WORKMAN LIKE MANNER.

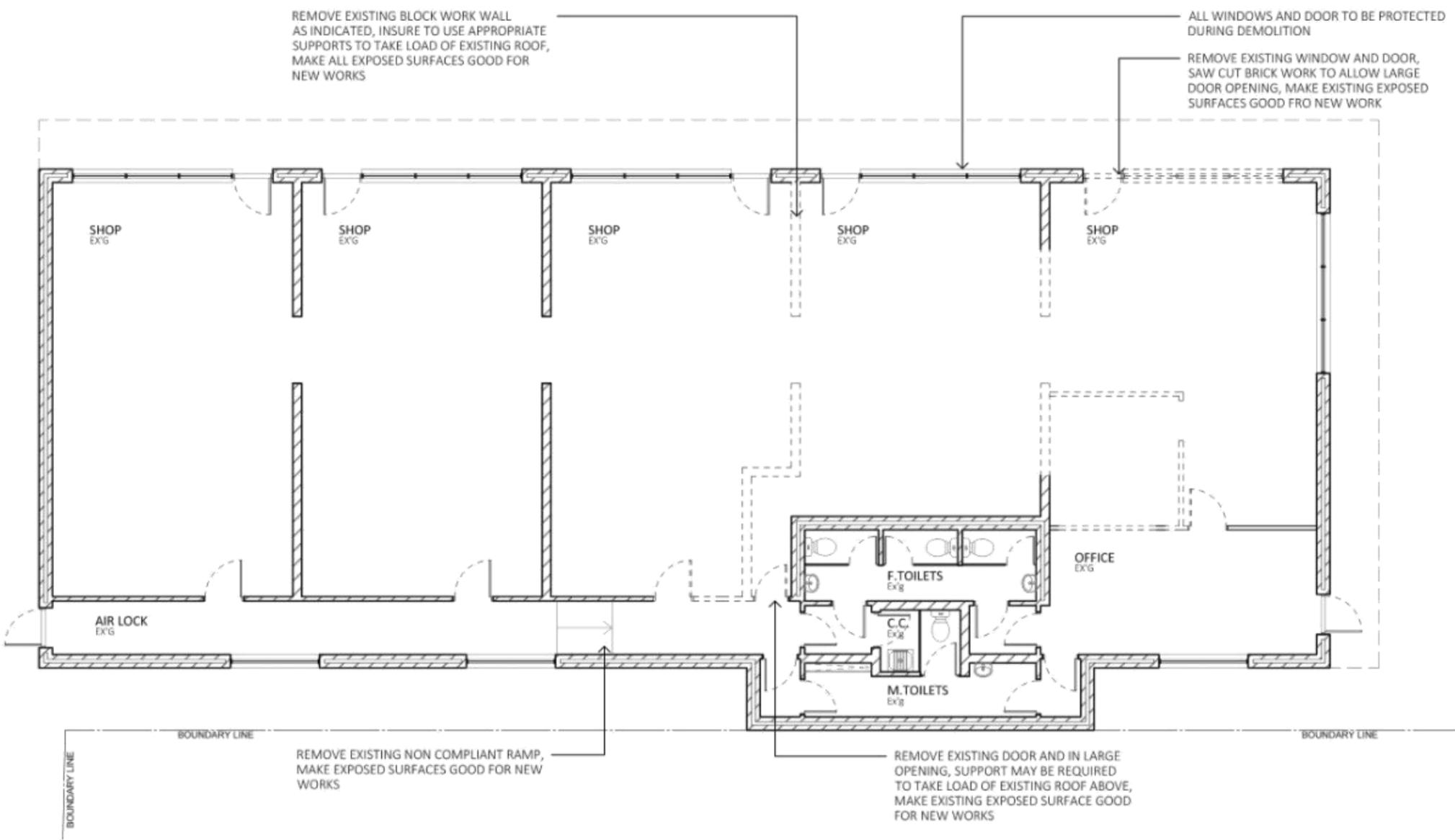
IT IS THE DEMOLITION CONTRACTORS RESPONSIBILITY TO PROVIDE SUFFICIENT PROPS, STAYS & THE LIKE TO PROTECT REMAINING STRUCTURE, IF IN DOUBT SEEK ADVICE FROM A STRUCTURAL ENGINEER.

THE DEMOLISHER IS TO PREVENT BUILDING MATERIAL AND DEBRIS FROM FALLING ONTO OR INTO ADJACENT STREETS AND PROPERTIES.

CAP ALL REDUNDANT SERVICES, REMOVE PIPEWORK WHERE PRACTICAL & LOCATE AND MARK POSITIONS OF PIPEWORK/SERVICES REQUIRED FOR USE IN NEW WORKS.

ALL ASBESTOS MATERIAL FOUND IS TO BE CONTROLLED AND REMOVED FROM SITE IN ACCORDANCE WITH ALL REGULATORY AUTHORITIES HAVING JURISDICTION OF THESE WORKS BEFORE COMMENCING FURTHER WORKS.

IT IS THE BUILDERS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO COMMENCING ANY EXCAVATIONS.



ITEM 4.1

 **DEMOLITION PLAN**  
SCALE: 1:100

|                                                                                                                                                                                                                                                                           |                                        |                                                                                                                                       |                     |             |            |          |             |    |                                                                                                                                                                                                                                                    |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|---------------------|-------------|------------|----------|-------------|----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <b>LACHLAN WALSH DESIGN</b><br>Tasmania Accreditation Number: CC 6162 E<br>ABN: 94 660 558 746<br>PO Box 231, Devonport TAS, 7310<br>E: lachlan@lachlanwalshdesign.com   P: 6424 8053 | <b>DEMOLITION PLAN</b><br>SCALE: 1:100 | PROJECT<br><b>PROPOSED ALTERATIONS</b><br>LOCATION<br><b>12 FORBES STREET, DEVONPORT</b><br>CLIENT<br><b>DEVONPORT UNITING CHURCH</b> | DATE                | APPROVED    | NO.        | DATE     | REVISION    | BY | DO NOT SCALE DRAWINGS<br>CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.<br>IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.<br>© COPYRIGHT |
|                                                                                                                                                                                                                                                                           |                                        |                                                                                                                                       | 11th December, 2018 | L.J. WALSH  |            |          |             |    |                                                                                                                                                                                                                                                    |
| FILE PRINTED FROM:                                                                                                                                                                                                                                                        |                                        |                                                                                                                                       | DRAWN BY            | PROJECT NO. | PAGE SCALE | REV. NO. | DRAWING NO. |    |                                                                                                                                                                                                                                                    |
|                                                                                                                                                                                                                                                                           |                                        |                                                                                                                                       | LJW                 | 18 - 472    | A3         | A        | 102         |    |                                                                                                                                                                                                                                                    |

**NOTES AND SYMBOLS**

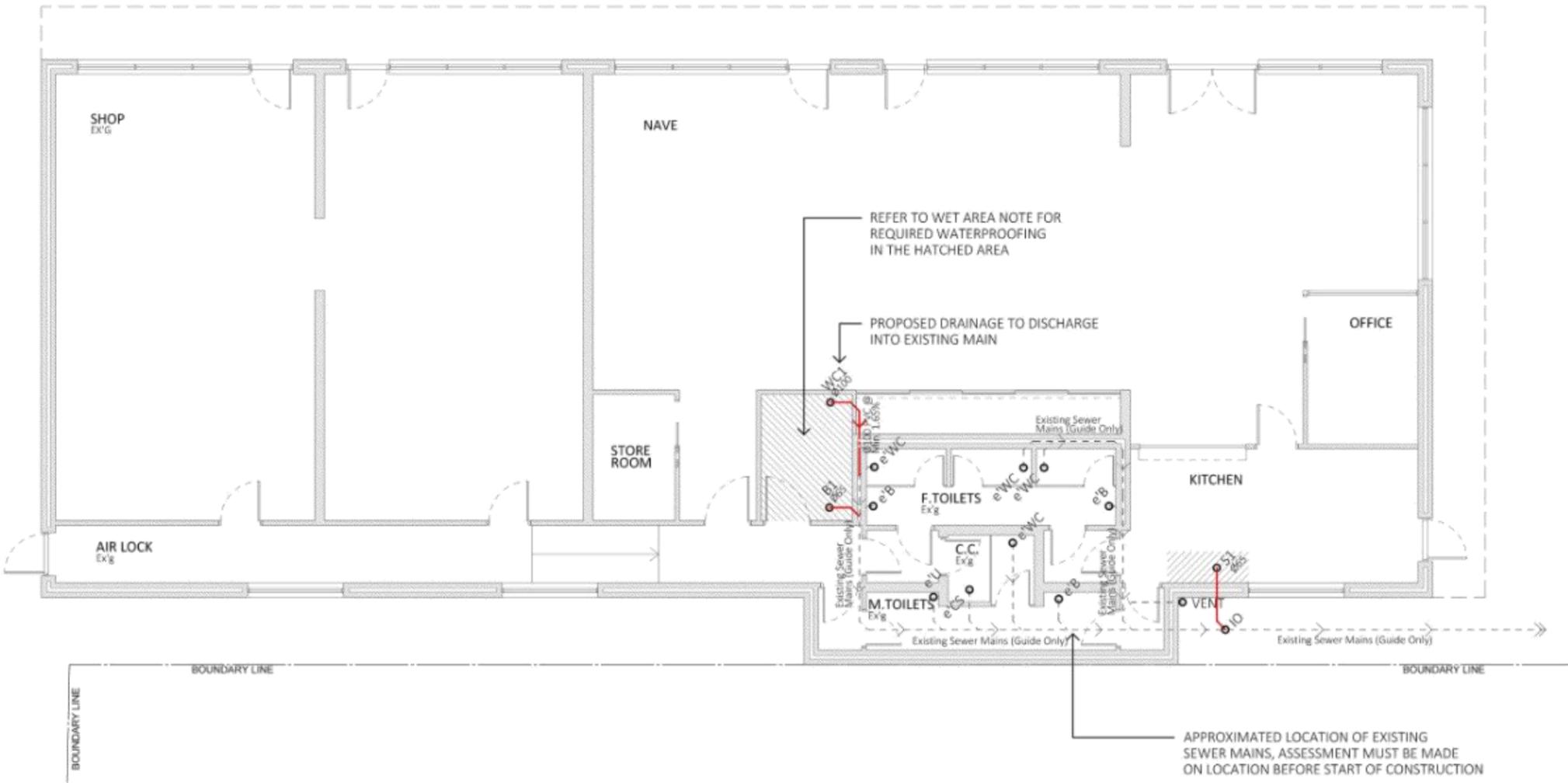
—S— SEWER LINE (SIZE AS NOTED)  
 —e'S— EXISTING SEWER LINE (SIZE AS NOTED)

ALL PLUMBING WORK TO BE DONE MUST BE COMPLETED BY A LICENSED PLUMBER.  
 INSTALL INSPECTION OPENINGS WHERE REQUIRED.  
 ALL PLUMBING & DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS 3500, COUNCIL AND TAS WATER REQUIREMENTS.  
 HEATED WATER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH PART B2 OF NCC VOLUME THREE - PLUMBING CODE OF AUSTRALIA.  
 LIAISE WITH INSTALLER OF THE A/C UNIT TO INSTALL CONDENSER INTO STORM WATER MAIN.

**PLUMBING FIXTURES**

|                                                                                                                   | QTY. |
|-------------------------------------------------------------------------------------------------------------------|------|
| B1 (Ø65) BASINS - Caroma Care 500 wall basin, acrylic Care basin mixer (Or Similar Approved)                      | 1    |
| S1 (Ø65) SINK - Clark Advance 930mm model 1503 single bowl, RH, Posh Bristol MK2 Sink mixer (Or Similar Approved) | 1    |
| WC1 (Ø100) TOILET - Caroma Care V2 Connectore Suite - White (Or Similar Approved)                                 | 1    |

| WET AREAS (Comply with BCA 3.8.1.2 & AS 3740)                                                                                                       |                                   |                        |                                                                                                                                                                  |                                                                       |                        |                                                                                    |
|-----------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------|------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------|------------------------|------------------------------------------------------------------------------------|
| LOCATION                                                                                                                                            | VESSEL OR AREA OF INSTALLED       | VERT. & HORZ. SURFACES | WALLS                                                                                                                                                            | WALL JUNCTIONS & JOINTS                                               | WALL / FLOOR JUNCTIONS | PENETRATIONS                                                                       |
| Other Areas                                                                                                                                         | Laundries & W.C.                  | Tiles                  | N.A.                                                                                                                                                             | N.A.                                                                  | Mb-2 & Tile Skirting   | N.A.                                                                               |
| Other Areas                                                                                                                                         | Walls adjoining Sink, Basin & Tub | N.A.                   | 150mm min. high tile splashback, extent of vessel, where vessel is within 75mm of wall.                                                                          | Waterproof wall junction where vessel is fixed to wall with silicone. | N.A.                   | Waterproof tap & spout penetration (Splashback) with 'Waterbar' flange & silicone. |
| Mb-1: Dunlop (or similar) shower waterproofing kit with reinforcing mat, primer, neutral cure silicone & membrane to manufacturers recommendations. |                                   |                        | Mb-2: Dunlop (or similar) water base acrylic polyurethane membrane applied by either brush or roller in a consistent thickness to manufacturers recommendations. |                                                                       |                        |                                                                                    |



**DRAINAGE PLAN**  
 SCALE: 1:100

| <p><b>LACHLAN WALSH DESIGN</b><br/>                 Tasmania Accreditation Number: CC 6162 E<br/>                 ABN: 94 660 558 746<br/>                 PO Box 231, Devonport TAS, 7310<br/>                 E: lachlan@lachlanwalshdesign.com   P: 6424 8053</p> | <p><b>TITLE</b><br/>                 DRAINAGE PLAN<br/>                 SCALE: 1:100</p> | <p><b>PROJECT</b><br/>                 PROPOSED ALTERATIONS<br/>                 12 FORBES STREET, DEVONPORT<br/>                 DEVONPORT UNITING CHURCH</p> | <p><b>DATE</b><br/>                 11th December, 2018</p> | <p><b>APPROVED</b><br/>                 L.J. WALSH</p> | <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> </tbody> </table> | NO. | DATE | REVISION | BY | - | - | - | - | <p>DO NOT SCALE DRAWINGS<br/>                 CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.<br/>                 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.<br/>                 © COPYRIGHT</p> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|--------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|------|----------|----|---|---|---|---|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                      |                                                                                          |                                                                                                                                                                | NO.                                                         | DATE                                                   | REVISION                                                                                                                                                                                 | BY  |      |          |    |   |   |   |   |                                                                                                                                                                                                                                                                                                                  |
| -                                                                                                                                                                                                                                                                    | -                                                                                        | -                                                                                                                                                              | -                                                           |                                                        |                                                                                                                                                                                          |     |      |          |    |   |   |   |   |                                                                                                                                                                                                                                                                                                                  |
| <p><b>DRAWN BY</b><br/>                 LJW</p>                                                                                                                                                                                                                      | <p><b>PROJECT NO.</b><br/>                 18 - 472</p>                                  | <p><b>PAGE SCALE</b><br/>                 A3</p>                                                                                                               | <p><b>REV. NO.</b><br/>                 A</p>               | <p><b>DRAWING NO.</b><br/>                 103</p>     | <p>DATE PLOT: -</p>                                                                                                                                                                      |     |      |          |    |   |   |   |   |                                                                                                                                                                                                                                                                                                                  |

**NOTES AND SYMBOLS**

- 90mm STUD WALLS, 10mm PLASTERBOARD LINING ON ALL UNLESS NOTED OTHER
- EXISTING WALLS
- 20.01 BLOCK WORK, PAINTED FINISH
- WINDOW No. (REFER TO SCHEDULE)
- DOOR No. (REFER TO SCHEDULE)
- VF VINYL FLOORING (REFER TO FINISHES SCHEDULE)
- Cp CARPET (REFER TO FINISHES SCHEDULE)

ALL JOINERY DESIGNED AND DOCUMENTS BY OTHER. ALL APPLIANCES TO BE SELECTED BY CLIENT AND/OR SUPERINTENDENT.

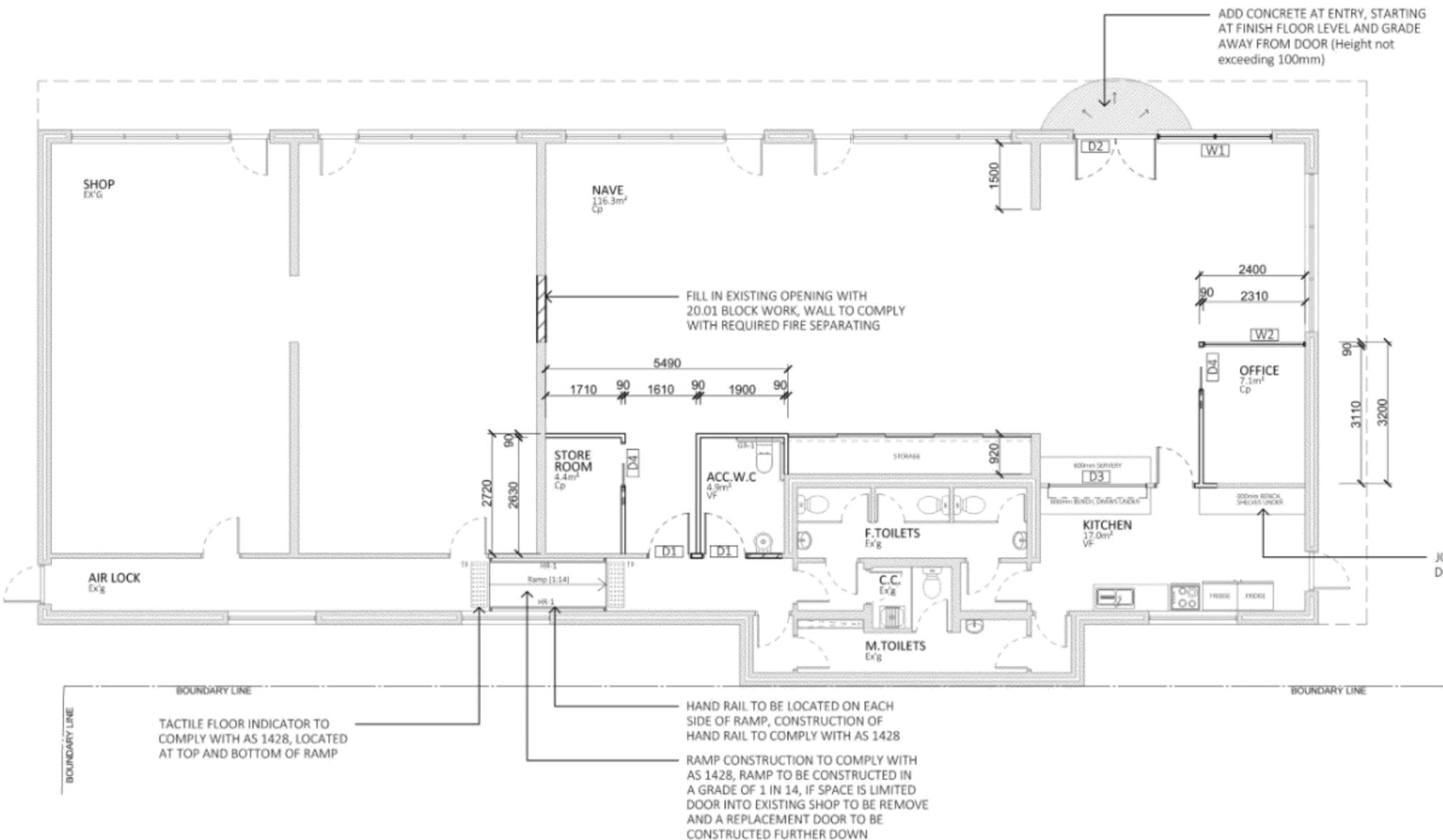
ALL GLAZED WINDOW AND DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS 1288

FLYSCREENS TO BE FITTED TO ALL OPENABLE WINDOWS AND DOORS.

ALL PRODUCTS & MATERIALS NOTED OR SPECIFIED BY CLIENT AND/OR SUPERINTENDENT ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS, INSTRUCTIONS AND SPECIFICATIONS.

**ACCESSORIES**

- GR-1 GRAB RAIL - Bradley Combination grab rail with integrated backrest, Type 304 S.S. rail with Hygienic Seal CP end cover & No.12 X 40mm stainless steel screw fixings.
- HR-1 HAND RAIL
- TF TACTILE FLOOR INDICATOR - Rubber tactile indicator pads "Black", installed using 2 part adhesive



**FLOOR PLAN**  
SCALE: 1:100

|  |                                                                                                                                                                                       |                                                                        |                                                                                                                                       |                                    |                                |                         |                                                                                                                                                                                                                                                     |
|--|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|------------------------------------|--------------------------------|-------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | <b>LACHLAN WALSH DESIGN</b><br>Tasmania Accreditation Number: CC 6162 E<br>ABN: 94 660 558 746<br>PO Box 231, Devonport TAS, 7310<br>E: lachlan@lachlanwalshdesign.com   P: 6424 8053 | <b>TITLE</b><br><h2 style="margin: 0;">FLOOR PLAN</h2><br>SCALE: 1:100 | <b>PROJECT</b><br>PROPOSED ALTERATIONS<br><b>LOCATION</b><br>12 FORBES STREET, DEVONPORT<br><b>CLIENT</b><br>DEVONPORT UNITING CHURCH | <b>DATE</b><br>11th December, 2018 | <b>APPROVED</b><br>L.J. WALSH  | NO. DATE REVISION BY    | DO NOT SCALE DRAWINGS<br>CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.<br>IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.<br>© COPYRIGHT |
|  |                                                                                                                                                                                       |                                                                        |                                                                                                                                       | <b>DRAWN BY</b><br>LJW             | <b>PROJECT NO.</b><br>18 - 472 | <b>PAGE SCALE</b><br>A3 |                                                                                                                                                                                                                                                     |

FILE PRINTED FROM:

DATE PLOT:

**NOTES AND SYMBOLS**

- E.F. EXHAUST FAN ONLY
- CEILING MOUNTED LIGHTS
- S.A. SMOKE ALARM LOCATION
- R.H. RANGE HOOD
- EAVE VENTS (TYP)
- EXISTING LIGHTING
- POWER POINTS (SINGLE)
- POWER POINTS (DOUBLE)
- SWITCH, SINGLE
- CH: 2400 CEILING HEIGHT INDICATOR

**LIGHT SCHEDULE**

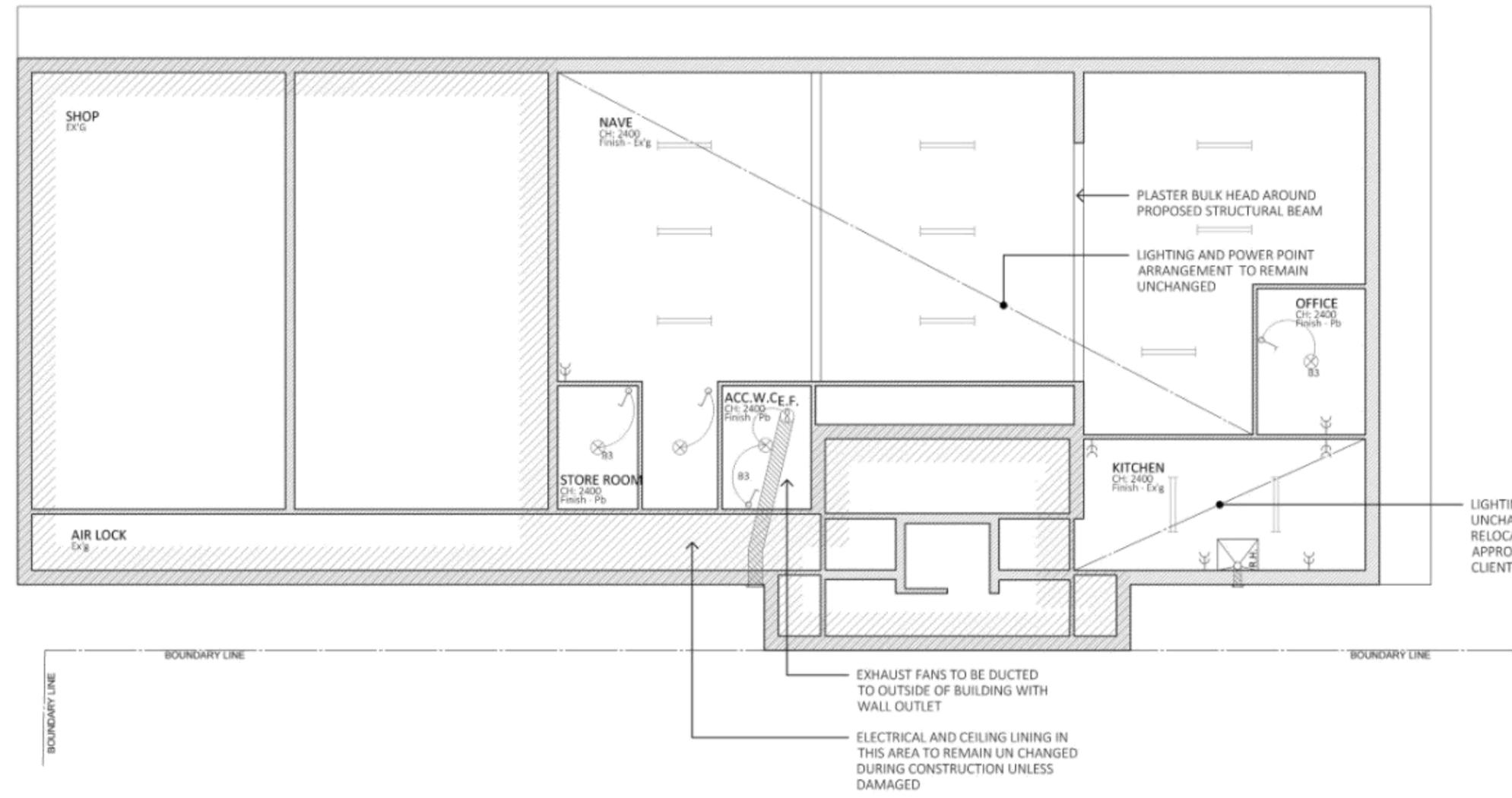
THIS LIGHTING SCHEDULE IS TO BE ACCOMMODATED WITH THE 2014 NCC LIGHTING CALCULATOR

|     |                              |
|-----|------------------------------|
| B1  | 100W ILLUMINATION POWER LOAD |
| B2  | 65W ILLUMINATION POWER LOAD  |
| B3  | 25W ILLUMINATION POWER LOAD  |
| F/L | 25W ILLUMINATION POWER LOAD  |

ALL LIGHT FITTINGS MUST BE INSTALLED AS SHOWN ON CURRENT DRAWING. ANY LIGHTS FITTINGS THAT ARE CHANGED FROM THAT SPECIFIED MAY COMPROMISE THE ENERGY EFFICIENCY RATING OF THE BUILDING. IF CHANGED, ENERGY RATING MUST BE REASSESSED.

**FINISHES SCHEDULE**

|    |                                                      |
|----|------------------------------------------------------|
| Pb | 10mm PLASTERBOARD LINING, PAINTED IN SELECTED COLOUR |
|----|------------------------------------------------------|



**ELECTRICAL & CEILING PLAN**  
SCALE: 1:100

**LACHLAN WALSH DESIGN**  
Tasmania Accreditation Number: CC 6162 E  
ABN: 94 660 558 746  
PO Box 231, Devonport TAS, 7310  
E: lachlan@lachlanwalshdesign.com | P: 6424 8053

**ELECTRICAL & CEILING PLAN**  
SCALE: 1:100

PROJECT: PROPOSED ALTERATIONS  
LOCATION: 12 FORBES STREET, DEVONPORT  
CLIENT: DEVONPORT UNITING CHURCH

|             |                     |             |            |
|-------------|---------------------|-------------|------------|
| DATE        | 11th December, 2018 | APPROVED    | L.J. WALSH |
| DRAWN BY    | LJW                 | REV. NO.    | A          |
| PROJECT NO. | 18 - 472            | DRAWING NO. | 105        |
| PAGE SCALE  | A3                  |             |            |

| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
| -   | -    | -        | -  |
| -   | -    | -        | -  |
| -   | -    | -        | -  |

DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.  
© COPYRIGHT

**NOTES AND SYMBOLS**

ROOF BATTENS TYPICALLY 70 x 35 MGP12 @ 900crs. UNLESS OTHERWISE NOTED.

ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1684.2 (RESIDENTIAL TIMBER FRAMED CONSTRUCTION) AND BCA.

ROOF RAFTERS & TRUSS LAYOUT IS A GUIDE ONLY. MANUFACTURERS AND ENGINEERS LAYOUT TAKES PRECEDENCE OVER THIS PLAN.

ENGINEER SELECTED LINTELS AND BEAMS TAKE PRECEDENCE OVER THIS PLAN.

ALL NAILS USED FOR FRAMING ANCHORS & STRAPS SHALL BE CORROSION PROTECTED FLAT HEAD CONNECTOR NAILS. (GALVANISED CLOUTS CAN BE USED FOR THIS PURPOSE)

**WALL FRAMING**

WALL FRAMING TO BE MIN. MGP10 RADIATA PINE.

|                        |                   |
|------------------------|-------------------|
| COMMON STUDS           | 90 x 35 @ 450 crs |
| STUDS AROUND WET AREAS | 90 x 45 @ 450 crs |
| NOGGINGS               | 90 x 35           |
| OPEN STUDS             | 90 x 35           |
| TOP & BOTTOM PLATES    | 90 x 45           |

**LINTEL SCHEDULE**

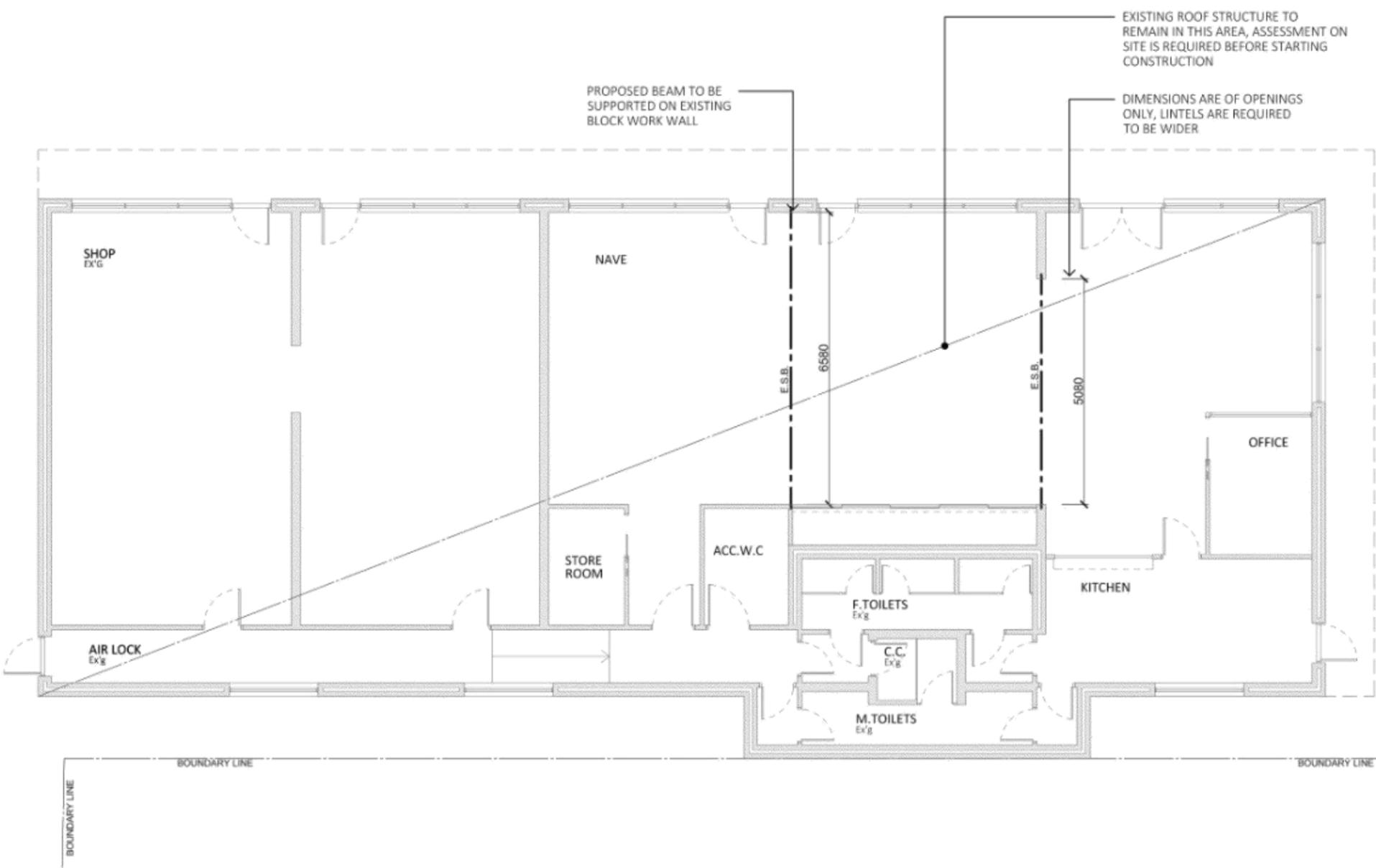
E.S.B. ENGINEER SELECTED LINTEL OR BEAM, Refer to Engineer drawings for lintel size & type

**BRACING**

REFER TO THE ENGINEER DRAWINGS FOR BRACING INFORMATION.

**TIEDOWNS (REFER TO AS1684.4)**

|                                |                                                                                                                                                                                                                                                      |
|--------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| BOTTOM PLATE TO SLAB           | CHEMICAL, EXPANSION OR FIRED PROPRIETARY FASTENERS TO MANUFACTURER'S RECOMMENDATIONS OR 1-M10 BOLT AT 1200 crs. MAX. GENERALLY.                                                                                                                      |
| TOP AND BOTTOM PLATES TO STUDS | 30 x 0.8mm G.I. STRAP @ 900 crs. MAX. 6/30 x 2.8mm Ø NAILS EACH END OF STRAP                                                                                                                                                                         |
| LINTELS TO STUDS               | 1800mm SPAN MAX. 30 x 0.8mm G.I. STRAP 4/30 x 2.8mm Ø NAILSEACH END<br>6000mm SPAN MAX. 2/30 x 0.8mm G.I. STRAP 6/30 x 2.8mm Ø NAILS EACH END                                                                                                        |
| ROOF TRUSS TO TOP PLATE        | 30 x 0.8mm G.I. STRAP 4/30 x 2.8mm Ø NAILS EACH END OR TWO FRAMING ANCHORS                                                                                                                                                                           |
| ROOF BATTENS TO TRUSS          | WITHIN 1200mm OF ANY EDGE: 2/75 x 3.05mm Ø DEFORMED SHANK NAILS OR 75 LONG - No. 14 TYPE 17 SCREW OR 1 FRAMING ANCHOR 4-2.8mmØ NAILS EACH LEG<br>GENERAL AREA: MORE THAN 1200mm OF ANY EDGE 2/75 x 3.05mm Ø DEFORMED SHANK NAILS @ 900 crs. EACH WAY |



**FRAMING PLAN**  
SCALE: 1:100

**LACHLAN WALSH DESIGN**  
Tasmania Accreditation Number: CC 6162 E  
ABN: 94 660 558 746  
PO Box 231, Devonport TAS, 7310  
E: lachlan@lachlanwalshdesign.com | P: 6424 8053

**FRAMING PLAN**  
SCALE: 1:100

PROJECT: **PROPOSED ALTERATIONS**  
LOCATION: **12 FORBES STREET, DEVONPORT**  
CLIENT: **DEVONPORT UNITING CHURCH**

|          |                     |            |          |             |  |
|----------|---------------------|------------|----------|-------------|--|
| DATE     | 11th December, 2018 |            | APPROVED | L.J. WALSH  |  |
| DRAWN BY | PROJECT NO.         | PAGE SCALE | REV. NO. | DRAWING NO. |  |
| LJW      | 18 - 472            | A3         | A        | 106         |  |

| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
| -   | -    | -        | -  |
| -   | -    | -        | -  |
| -   | -    | -        | -  |

DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.  
© COPYRIGHT

# SCHEDULES

| WINDOW SCHEDULE |                      |         |           |            |                |         |      | WINDOW NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |        |         |         |      |               |                    |      |      |
|-----------------|----------------------|---------|-----------|------------|----------------|---------|------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------|---------|---------|------|---------------|--------------------|------|------|
| No              | SIZE (H x W)         | HEAD    | SASH TYPE | FRAME TYPE | GLAZING TYPE   | OPENING | Qty. |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |        |         |         |      |               |                    |      |      |
| W1              | Fit Existing Opening | -       | FIXED     | Type 1     | Type 1 - CLEAR | ?m²     | 1    | <b>FRAME TYPE</b><br>TYPE 1 - ALUMINIUM WINDOW FRAME, POWDER COATED IN SELECTED COLOR, PRE PRIMED TIMBER REVEAL<br><br><b>GLAZING TYPE</b><br>GLAZING REQUIREMENTS AS OUTLINED IN THE ATTACHED GLAZING CALCULATOR OR ENERGY ASSESSMENT. BELOW ARE A GUIDE ONLY, GLAZING CALCULATOR OR ENERGY ASSESSMENT TAKE PRECEDENCE.<br><br><table border="1"> <tr> <td>TYPE 1</td> <td>GLAZING</td> <td>U-VALUE</td> <td>SHGC</td> </tr> <tr> <td>Double Glazed</td> <td>4Clr / 10Ar / 4Clr</td> <td>4.32</td> <td>0.55</td> </tr> </table> | TYPE 1 | GLAZING | U-VALUE | SHGC | Double Glazed | 4Clr / 10Ar / 4Clr | 4.32 | 0.55 |
| TYPE 1          | GLAZING              | U-VALUE | SHGC      |            |                |         |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |        |         |         |      |               |                    |      |      |
| Double Glazed   | 4Clr / 10Ar / 4Clr   | 4.32    | 0.55      |            |                |         |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |        |         |         |      |               |                    |      |      |
| W2              | 1200 x 2310          | 2100    | FIXED     | Type 1     | Type 1 - CLEAR | 2.77m²  | 1    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |        |         |         |      |               |                    |      |      |

| DOOR SCHEDULE |              |                            |           |            |              |      | DOOR NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|---------------|--------------|----------------------------|-----------|------------|--------------|------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| No            | SIZE (H x W) | OPEN TYPE                  | DOOR TYPE | FRAME TYPE | GLAZING TYPE | Qty. |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| D1            | 2040 x 920   | HINGED                     | Type 1    | Type 1     | -            | 2    | <b>DOOR TYPE</b><br>TYPE 1 - HUME TIMBER HONEYCOMB INTERNAL DOOR, PRE PRIMED, 35mm, PAINTED FINISH TO SELECTED COLOR<br><br>TYPE 2 - ROLL-A-DOOR, POWDER COATED IN SELECTED COLOR<br><br>TYPE 3 - ALUMINIUM GLASS HINGED DOOR, POWDER COATED TO SELECTED FINISH, VISUAL INDICATORS TO SELECTED DESIGN<br><br><b>FRAME TYPE</b><br>TYPE 1 - HUME (MDF) TIMBER FRAME, PRE PRIMED, PAINTED FINISH TO SELECTED COLOR<br><br>TYPE 2 - ALUMINIUM DOOR FRAME, POWDER COATED IN SELECTED COLOR |
| D2            | 2100 x 1840  | HINGED SIDE WINDOW         | Type 3    | Type 2     | -            | 1    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| D3            | 1200 x 2200  | ROLL-A-DOOR SERVERY WINDOW | Type 2    | Type 2     | -            | 1    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| D4            | 2040 x 920   | CAVITY SLIDING             | Type 1    | Type 1     | -            | 2    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |

| NOTES                                                                                                                                                                      |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ALL GLAZED WINDOW AND DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS 1288                                                     |
| FLYSCREENS TO BE FITTED TO ALL OPENABLE WINDOWS AND DOORS                                                                                                                  |
| ALL EXTERNAL OPENINGS TO BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS 2904                                                                                    |
| WINDOWS TO BEDROOMS WHERE THE FALL HEIGHT IS 2 METERS OR GREATER MUST BE PERMANENTLY RESTRICTED TO OPEN A MAXIMUM OF 125mm OR HAVE A NON-REMOVABLE ROBUST SCREEN INSTALLED |

## BAL ASSESSMENT CHECKLIST AS 3959

|                        | NORTH WEST | SOUTH EAST | NORTH EAST | SOUTH WEST |
|------------------------|------------|------------|------------|------------|
| FIRE INDEX             | 50         | 50         | 50         | 50         |
| VEGETATION DISTANCE OF | -          | -          | -          | -          |
| TYPE VEGETATION        | -          | -          | -          | -          |
| DOWNSLOPE UP OR        | -          | -          | -          | -          |
| LEVEL ATTACK BUSHFIRE  | -          | -          | -          | -          |

| MAP                                       |
|-------------------------------------------|
| REFER TO BAL REPORT BY TAMMY SMITH ENERGY |

# NCC COMPLIANCE NOTES

**SITWORKS**  
 Excavation and filling of site to be in accordance with BCA Part 3.1 and AS 2870.  
 Drainage works to be in accordance with BCA Part 3.1. & AS/NZS 3500.3.2.  
 Surface drainage - finished ground to fall away from building 50mm in 1000mm.  
 Finished slab level to be - 150 above finished ground.  
 - 50 above paved surfaces.  
 Prevent ponding of water under suspended floors.

**FOOTINGS AND SLABS**  
 Generally to be in accordance with AS 2870 .  
 Preparation for placement of concrete and reinforcement to be to AS 2870.  
 Concrete & steel reinforcement to be in accordance with AS 2870 & AS 3500.  
 The site classification to be in accordance with AS 2870.  
 Alternatively footings & slabs to be in accordance with Structural Engineers design & specification.

**MASONRY**  
 Generally masonry walls to be constructed in accordance with BCA 3.3 & AS 3700.  
 Un-reinforced masonry to BCA 3.3.1.  
 reinforced masonry to BCA 3.3.2.  
 masonry accessories to BCA 3.3.3.  
 weatherproofing of masonry to BCA 3.3.4.

**FRAMING**  
 Timber framing to be in accordance with AS 1684.  
 Manufactured timber members to be in accordance with prescribed framing manual.  
 Sub floor ventilation in accordance with BCA 3.4.1. Sub floor area to be clear of organic materials & rubbish. Provide vent openings in substructure walls at a rate of 7300mm2 / m of wall length, with vents not more than 600 mm from corners.  
 150 mm clearance required to underside of floor framing members unless specified otherwise by flooring material specification.  
 Tie down and bracing of frame to be in accordance with AS 1684 & AS 4055.  
 Structural steel framing to be in accordance with BCA 3.4.4, AS 1250, AS 4100 & structural engineers design & specification.

**ROOF AND WALL CLADDING**  
 Generally to be in accordance with BCA 3.5.  
 Roof cladding to be in accordance with BCA 3.5.1. and; Roof tiles AS2049 & AS 2050  
 Metal sheet roofing AS 1562.1  
 Plastic sheet roofing AS/NZS 4256.1, 2, 3 & 5 & AS 1562.3.  
 Gutters and downpipes, generally to be in accordance with BCA 3.5.2 & AS/NZS 3500.3.2. & The Tasmanian Plumbing Code.  
 Eaves, internal and valley guttering to have cross sectional area of 6500mm2.  
 Downpipes to be 90 dia. or 100\*50 rectangular section at max. 12 000 crs and to be within 1000 of internal/ valley gutter.  
 Wall cladding to be installed in accordance with BCA 3.5.3. & Manufacturer's specification.  
 Flashings to BCA 3.5.3.6.

**GLAZING**  
 Generally glazing to be in accordance with AS 1288.  
 Refer to window legend for sizes and type.

**FIRE SAFETY**  
 Generally to be in accordance with BCA 3.7.  
 Fire separation to be in accordance with BCA 3.7.1.  
 External walls and gable ends constructed within 900 of boundary are to extend to underside of non combustible roofing/ eaves & are to be constructed of a masonry skin 90 thick with an FRL of 60/60/60.  
 Sarking to have a flammability index less than 5.  
 Roof lights not to be placed closer than 900 from boundary.  
 Smoke alarm installation to be in accordance with BCA 3.7.2. Locations indicated on floor plan.  
 Installation locations  
 ceilings - 300 away from wall junction.  
 cathedral ceiling - 500 down from apex.  
 walls - 300 down from ceiling junction.  
 Heating appliances generally to be in compliance with BCA 3.7.3 & AS 2918  
 Fireplace - extend hearth 150 to side of opening. 400 in front of opening  
 Freestanding - extend hearth 400 beyond unit.  
 Freestanding appliance to be 1200 from combustible wall surface. 50 from masonry wall. Heat shield - 90 masonry with 25 air gap to combustible wall, extend 600 above unit.  
 Flue installation to BCA 3.7.3.4.  
 Top of chimney/flue to terminate 600 above ridge line.  
 Construction in Bush Fire Area to be in accordance with BCA 3.7.4 & AS 3959.

**HEALTH AND AMENITY**  
 Generally wet area waterproofing to be in accordance with AS 3740 and BCA 3.8.1.  
 Waterproofing of surfaces adjacent to open shower, including shower over bath, to extend 1.5 from a vertical line projected from shower rose, to a height 1.8 above finished floor. Wall surfaces adjacent to plumbing fixtures, bath etc. to be protected to a height of 150 above fixture.  
 Ceiling heights to be in accordance with BCA 3.8.2.

**FACILITIES**  
 Generally to be in accordance with BCA 3.8.3.  
 Required facilities in accordance with 3.8.3.2. Refer to plan for locations.  
 Sanitary compartment to be in accordance with BCA 3.8.3.3. Refer to plan for detail.  
 Provision of natural light to be in accordance with BCA 3.8.4.2.  
 Windows / rooflights to provide light transmission area equal to 10% of floor area of room.  
 Ventilation to be in accordance with BCA 3.8.5. or AS 1668.2 for mechanical ventilation. Exhaust fan from bathroom / wc to be vented to outside for steel roof and to roof space for tile roof.  
 Natural ventilation to be provided at a rate of 5% of room floor area, in accordance with BCA 3.8.5.2.

**STAIR CONSTRUCTION**  
 Generally to be in accordance with 3.9.1.  
 Stairs.  
 Maximum of 18 risers to each flight.  
 Riser opening to be less than 125.  
 Treads to have non slip surface or nosing.  
 Riser - min. 115, max. 190.  
 Tread - min 240, max. 355.  
 Balustrade.  
 Generally in accordance with BCA 3.9.2..  
 Balustrade required where area is not bounded by a wall or where level exceeds 1000 above floor level to final ground level.  
 865 high on stairs, measured from line of stair nosing.  
 1000 high above floor or landing.  
 Openings between balusters / infill members to be constructed so as not to allow 125 sphere to pass between members. Where floor level exceeds 4000 above lower level, infill members between 150 and 760 above floor level, to be constructed so as to restrict climbing.

**ENERGY EFFICIENCY**  
 Generally in accordance with BCA 3.12  
 Climate Zone 7 applicable to Tasmania (Zone 8 applicable to Alpine areas)

**BUILDING FABRIC**  
 Generally in accordance with BCA 3.12.1  
**BUILDING FABRIC INSULATION**  
 Insulation to be fitted to form continuous barrier to roof/ceiling, walls and floors.  
**REFLECTIVE BUILDING MEMBRANE**  
 Installed to form 20mm airspace between reflective face and external lining / cladding, fitted closely up to penetrations / openings, adequately supported and joints to be lapped min. 150  
**BULK INSULATION**  
 To maintain thickness and position after installation  
 Continuous cover without voids except around services / fittings.  
**ROOF INSULATION**  
 Roof construction to achieve minimum Total R Value of R4.0  
 Roof lights to comply with BCA 3.12.1.3  
**EXTERNAL WALLS**  
 External wall construction to achieve minimum Total R Value of R2.0  
 Wall surface density minimum - 220kg/m2  
**FLOORS**  
 Generally in accordance with BCA 3.12.1.5  
 Suspended floor with an unenclosed perimeter required to achieve a minimum Total R Value of R1.0.  
 Concrete slab on ground with an in slab heating system to be insulated to R1.0 around vertical edge of slab perimeter.  
**ATTACHED CLASS 10a BUILDING**  
 External wall or separating wall between class 1 building required to achieve minimum Total R Value of 2.0

**EXTERNAL GLAZING**  
 Generally in accordance with BCA 3.12.2

**BUILDING SEALING**  
 Generally in accordance with BCA 3.12.3  
 Chimneys or flues to be fitted with sealing damper or flap.  
 Roof lights to habitable rooms to be fitted with operable or permanent seal to minimize air leakage.  
 External windows & doors to habitable rooms / conditioned spaces to be fitted with air seal to restrict air infiltration.  
 Exhaust fans to habitable rooms / conditioned spaces to be fitted with self closing damper or filter  
 Building envelope to be constructed to minimize air leakage.  
 Construction joints and junctions of adjoining surfaces to be tight fitting and sealed by caulking, skirting, architraves and cornices.

**AIR MOVEMENT**  
 Generally in accordance with BCA 3.12.4

**SERVICES**  
 Generally in accordance with BCA 3.12.5  
 Hot water supply system designed and installed in accordance with AS/NZS 3500

**LACHLAN WALSH DESIGN**  
 Tasmania Accreditation Number: CC 6162 E  
 ABN: 94 660 558 746  
 PO Box 231, Devonport TAS, 7310  
 E: lachlan@lachlanwalshdesign.com | P: 6424 8053

**SCHEDULES & NCC NOTES**  
 SCALE: N.A.

**PROJECT**  
 PROPOSED ALTERATIONS  
 LOCATION  
 12 FORBES STREET, DEVONPORT  
 CLIENT  
 DEVONPORT UNITING CHURCH

|             |                     |             |           |
|-------------|---------------------|-------------|-----------|
| DATE        | 11th December, 2018 | APPROVED    | L.J.WALSH |
| DRAWN BY    | LJW                 | PROJECT NO. | 18 - 472  |
| PAGE SCALE  | A3                  | REV. NO.    | A         |
| DRAWING NO. | 107                 |             |           |

| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
| -   | -    | -        | -  |
| -   | -    | -        | -  |
| -   | -    | -        | -  |

DO NOT SCALE DRAWINGS  
 CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.  
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.  
 © COPYRIGHT

## 4.2 PA2019.0045 RESIDENTIAL (14 MULTIPLE DWELLINGS) - 10-12 EDWARD STREET DEVONPORT

File: 36041 D577170

### RELEVANCE TO COUNCIL'S PLANS & POLICIES

Council's Strategic Plan 2009-2030:

- Strategy 2.1.1 Apply and review the Devonport Interim Planning Scheme as required, to ensure it delivers local community character and appropriate land use
- Strategy 2.1.2 Provide high quality, consistent and responsive development assessment and compliance processes

### PURPOSE

The purpose of this report is to enable the Planning Authority to make a decision regarding planning application PA2019.0045.

### BACKGROUND

|                      |                                               |
|----------------------|-----------------------------------------------|
| Planning Instrument: | <i>Devonport Interim Planning Scheme 2013</i> |
| Applicant:           | Emma Riley and Associates                     |
| Owner:               | Sitnb Pty Ltd                                 |
| Proposal:            | Residential (14 Multiple Dwellings)           |
| Existing Use:        | Retail outlet                                 |
| Zoning:              | Central Business                              |
| Decision Due:        | 10/05/2019                                    |

### SITE DESCRIPTION

The subject site is located on the eastern side of Edward Street and the existing 70-year-old single storey building has 100% site coverage over the land. The building has had a mix of activities spanning many years from an amusement arcade and bus depot to its most recent activity as a retail outlet.

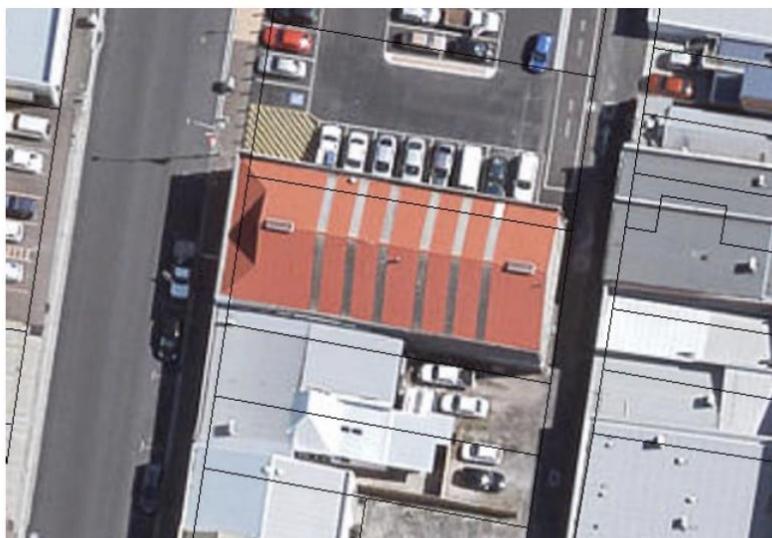


Figure 1: The subject site is shown with the red roof. It sits to the south of an existing Council carpark (source THELIST, accessed 6 February 2019).

The property is also accessed from Rooke Lane to the east. A public carpark adjoins the land to the north as evident by Figure 1.

### APPLICATION DETAILS

The applicant is seeking to repurpose the property by converting the building to fourteen single bedroom apartments. Each occupancy will be over two levels and it has been submitted that each apartment will have a kitchen and living area on the ground floor and a bedroom and bathroom on the second level. A small balcony on the second level from each apartment opens into an internal shared communal space that also acts as a light well to allow sunlight to enter the building through a translucent roof overhead. Each apartment is approximately 40m<sup>2</sup> in area.

The plans and supporting information are appended to this report as **Attachment 1**.

The land is zoned Central Business under the *Devonport Interim Planning Scheme 2013* (the Planning Scheme). The purpose of the zone is primarily to provide for business, civic and cultural, food, hotel and tourist functions within a major centre servicing the region. Within this zone the use of land for Residential (multiple dwellings) is discretionary with no qualifications specified.

Without providing solid reasoning the previous planning scheme (*Devonport and Environs Planning Scheme 1984*) discouraged adaptive reuse of buildings for residential. The Planning Scheme now provides opportunity to do so at the discretion of the Planning Authority. The introduced Use Standards and Development Standards for 'Residential' include a varied range of Acceptable Solutions (AS) and Performance Criteria (PC) to allow an applicant to demonstrate that the proposed residential activity is appropriate.

The applicant has provided a concise summary to how the proposal satisfies the Use Standards, and this can be accepted.

The Development Standards are more quantitative but not as comprehensive in comparison with similar residential development in a residential zone. A Development Standard of significance under clause 22.4.3 is 'Visual and acoustic privacy for residential use'. The objective is quite clear in its approach and the AS reflect the proximity issues and means of compliance to achieve that. In the event that the AS cannot be satisfied then reliance on the subjective PC can be considered to offer an alternative solution by appropriate design treatments.

The applicant has submitted that 22.4.3 A1 (a), (b) and (c) do not apply because there are no adjacent dwellings to the subject site. This is not an accurate interpretation because the proposal contains 14 dwellings adjacent to each other, not whether there are adjoining dwellings on other sites.

It has been submitted that windows on the western elevation that face Edward Street will have frosted glass, but nothing has been indicated to mitigate the effects of undesirable acoustics from other dwellings within the site. More specifically nothing has been submitted to demonstrate how the negative effects of visual and acoustic issues are alleviated from the windows that face internally into the communal area.

This is reinforced by the PC that indicates the following:

*Likelihood for overlooking from a door or window in a habitable room or from any part of a balcony, deck, roof garden, parking space or carport must be minimised by -*

- (a) *Physical separation from the door, window balcony, deck or roof garden in an adjacent dwelling;*
- (b) *Off-set from a door or window to a habitable room in an adjacent dwelling;*

- (c) *Effective use of screening other than vegetation; or*
- (d) *effect of topography and natural features*

Either of these four tests can be used to demonstrate an alternative means of achieving the objective. However, the applicant's contention is that the 14 dwellings are not 'adjacent' to each other and therefore didn't require a proper assessment. Although the application can fail for this very reason it seems reasonable to consider conditioning any permit to require appropriate glazing and insulation to assist in providing reasonable amenity to the residents.

The remaining Development Standard is concerned with reasonable expectation that any residential development will have satisfactory private open space to meet the needs of the residents for garden, recreation, service and storage purposes. The AS prescribe a compliant standard under clause 22.4.4 A1 (b) as follows:

*Each dwelling must provide private open space provided as a private balcony, deck or terrace –*

- (i) *of area not less than 25m<sup>2</sup>*
- (ii) *minimum dimension of 2.0m; and*
- (iii) *accessible from the dwelling*

The submitted plans cannot satisfy the AS and consequently the PC must be relied upon to demonstrate an alternative solution. These state the following:

*Private open space must –*

- (a) *have size and dimensions appropriate for the projected requirements of the residents of the dwelling; and*
- (b) *be useable taking into account –*
  - (i) *the effect of shape, orientation and topography of the site;*
  - (ii) *the availability, accessibility, purpose and characteristics of -*
    - a. *any other recreation and service area within the site;*
    - b. *any external communal open space area; and*
    - c. *public open space*

The second level balcony is the means proposed to demonstrate compliance with the PC. The applicant has submitted several reasons in support of these criteria based upon occupancy, design and communal space to satisfy the reasonable private and communal need of the residents.

An observation of the Scheme reveals that when considering the repurposing of a building to a residential use in this zone some private open space must be included in the design. This can be extremely difficult to achieve when many of the original commercial buildings have 100% site coverage. Unfortunately, the same requirements have not been adjusted in the Tasmanian Planning Scheme and any proposal to gentrify the business zones in this manner will be difficult if not impossible to achieve if private open space of some useable dimensions is mandated.

## **REPRESENTATIONS**

The representations received are primarily focussed on the building design and the associated unreasonable amenity afforded the future occupants due to inadequate light, ventilation and privacy. These are genuine concerns that need to satisfy the amenity provisions of the National Construction Code but they are not matters subject to the discretion of the Planning Authority in consideration of this planning application.

These matters have to be taken into account by the developer's building surveyor and other experts in the related building fields to ensure that the matters indicated in the representations and any fire isolation/protection requirements are compliant.

The specific matter of the purported inadequate communal space proposed is linked to the performance and practicality of the sub-minimum private open space assigned as the second level balconies on the plans. If the Planning Authority contend that the balconies are unusable it is imperative if support is to be given by them to determine that the proposed 81m<sup>2</sup> communal area is satisfactory in terms of availability, purpose and characteristics for use by the occupants of the dwellings.

It is clear that the Acceptable Solutions cannot be satisfied. The applicant is placing reliance on the assigned communal open space to be considered as an alternative. If it is considered that this is not an appropriate alternative, then the application cannot be approved. The representations are appended to this report as **Attachment 2**.

### **DISCUSSION**

If the Planning Authority determines that a lesser number of dwellings may alleviate the concerns, then the application also cannot proceed to a determination and must be refused. This may appear extreme but until details of a lesser number are known and assessed the merit cannot be judged. A new application would need to be submitted with the required information that either satisfies the relevant Acceptable Solutions or demonstrates that the alternative Performance Criteria provide a reasonable alternative.

As stated previously the applicant has submitted that the sub clauses to 22.4.3 do not apply because there are no residential properties adjacent to the subject site. However it is submitted that this clause does apply. In effect it is similar in principle to the development standards in the General Residential zone that recognise the location of a multiple dwelling regardless of title boundaries.

Whether this affects the application and is detrimental to the outcome is open to interpretation. In general terms the subjectivity of the PC are to be examined and assessed on their merits not just based on information presented in the submission. In this regard the project has been subjected to input by the developers, their designers and their planning consultant. Although some development standards can influence design the final decision on whether the amenity provisions can satisfy the National Construction Code are matters for the Building Surveyor to examine.

If examination by the Developer's Building Surveyor determines that the design is flawed due to issues such as fire isolation and separation it is fundamentally important that any redesign includes either the compliant private open space per dwelling or sufficient reasons to demonstrate that the Performance Criteria offer an alternative solution.

The assessment of the application has determined that the application has demonstrated sufficient merit and should be supported with conditions to address the Alternative Solutions for occupancy, design and communal space to satisfy the reasonable private and communal need of the residents from a planning perspective.

### **FINANCIAL IMPLICATIONS**

No financial implications are predicted unless legal costs are incurred due to an Appeal to the Resource Management and Planning Appeal Tribunal.

### **RISK IMPLICATIONS**

Due diligence has been exercised in the preparation of this report and no associated risks are predicted.

## CONCLUSION

In conclusion, sufficient merit has been demonstrated to warrant a positive recommendation. The application has been referred to others with an interest in the outcome and their responses form part of the final recommended list of permit conditions and notes.

## ATTACHMENTS

- [1.](#) Supporting information and plans - PA2019.0045 - 10-12 Edward Street
- [2.](#) Representations - PA2019.0045 - 10-12 Edward Street

## RECOMMENDATION

That the Planning Authority, pursuant to the provisions of the *Devonport Interim Planning Scheme 2013* and Section 57 of the *Land Use Planning and Approvals Act 1993*, approve application PA2019.0045 and grant a Permit to use and develop identified as 10-12 Edward Street, Devonport for the following purposes:

- Residential (14 multiple dwellings)

Subject to the following conditions:

1. Unless requiring modification by subsequent conditions of this permit the Use and Development is to be undertaken and proceed generally in accordance with the submitted plans referenced as Redevelopment to 14 self-contained 2 storey apartment dwellings project no. 0219 – 20, dated 7 February 2019 by Tas Laughlin copies of which are attached and endorsed as documents forming part of this Planning Permit.
2. The developer is to comply with the conditions contained in the Submission to Planning Authority Notice which TasWater has required to be included in the planning permit, pursuant to section 56P(1) of the Water and Sewerage Industry Act 2008.
3. Prior to or at the time of lodgement of the building application, the developer is to submit amended drawings showing further design controls that will be implemented to minimise the likelihood of overlooking from habitable rooms and balconies of dwellings onto other dwellings on the same site. The revised drawings are to be approved in writing by Council's Development Services Manager.

Note: The following is provided for information purposes.

The development is to comply with the requirements of the current National Construction Code. The developer is to obtain the necessary building and plumbing approvals and provide the required notifications in accordance with the *Building Act 2016* prior to commencing building or plumbing work.

The means of waste storage for general and recycled waste prior to collection is not a planning consideration for residential development in this zone.

To comply with AS/NZS 4819.2011 Rural and urban addressing the following is submitted:

- Unit 1 on the Plans is to be Unit 1, 10-12 Edward Street
- Unit 2 on the Plans is to be Unit 2, 10-12 Edward Street
- Unit 3 on the Plans is to be Unit 3, 10-12 Edward Street
- Unit 4 on the Plans is to be Unit 4, 10-12 Edward Street

Report to Planning Authority Committee meeting on 6 May 2019

---

- Unit 5 on the Plans is to be Unit 5, 10-12 Edward Street
- Unit 6 on the Plans is to be Unit 6, 10-12 Edward Street
- Unit 7 on the Plans is to be Unit 7, 10-12 Edward Street
- Unit 8 on the Plans is to be Unit 8, 10-12 Edward Street
- Unit 9 on the Plans is to be Unit 9, 10-12 Edward Street
- Unit 10 on the Plans is to be Unit 10, 10-12 Edward Street
- Unit 11 on the Plans is to be Unit 11, 10-12 Edward Street
- Unit 12 on the Plans is to be Unit 12, 10-12 Edward Street
- Unit 13 on the Plans is to be Unit 13, 10-12 Edward Street
- Unit 14 on the Plans is to be Unit 14, 10-12 Edward Street

In relation to condition 3, the developer is to note that further planning approval may be required if the building design is to be altered due to National Construction Code requirements.

|           |                      |              |                              |
|-----------|----------------------|--------------|------------------------------|
| Author:   | Shane Warren         | Endorsed By: | Kylie Lunson                 |
| Position: | Planning Coordinator | Position:    | Development Services Manager |

## 10-12 Edward Street, Devonport

Supporting Planning Report for a  
Redevelopment and Change of Use  
to Residential

March 2019



# Contents

|            |                                                |    |
|------------|------------------------------------------------|----|
| 1.         | Introduction                                   | 2  |
| 1.1        | Purpose of the Report                          | 2  |
| 1.2        | Statutory References                           | 2  |
| 1.3        | Title Information                              | 2  |
| 2.         | Subject Site                                   | 3  |
| 2.1        | The Subject Land                               | 3  |
| 2.2        | Description of Area                            | 3  |
| 2.3        | Servicing                                      | 4  |
| 3.         | Assessment of Development Application          | 5  |
| 3.1        | Devonport Interim Planning Scheme 2013 – Zones | 5  |
| 3.2        | Airport Impact Management Code                 | 9  |
| 3.3        | Traffic Generating Use and Parking Code        | 10 |
| 4.         | Conclusion                                     | 11 |
| Appendices |                                                |    |
| A          | <b>Titles</b>                                  |    |
| B          | Proposal Plans                                 |    |

NOTE

References in this document to the provisions of the *Land Use Planning and Approvals Act 1993* are references to the former provisions of the Act as defined in Section 2 of Schedule 6 – Savings and transitional provisions of the Act.

# 1. Introduction

## 1.1 Purpose of the Report

Emma Riley and Associates (ERA) have been engaged by SITNB Pty Ltd to provide a supporting planning submission for a redevelopment of an existing warehouse within the Central Business District of Devonport.

The redevelopment will see the change of use of the existing warehouse to fourteen one-bedroom apartments. Each of the units will have a kitchen and living area on the ground floor and a bedroom with a bathroom on the upper floor. There will also be a small balcony for each unit on the upper level. Each will have a floor area of 34.06m<sup>2</sup> comprising ground level and upper level.

As part of the design, the existing building will be opened up through the centre to provide for some communal open space which will also act as a lightwell for access to sunlight from the proposed translucent roof for better solar access.

Enquiries relating to this request can be directed to:

Emma Riley  
 Director and Principal Planner  
 Emma Riley & Associates Pty Ltd  
 183 Macquarie Street  
 HOBART TAS 7000  
 M: 0409 787 715  
 E: [emma@erassociates.com.au](mailto:emma@erassociates.com.au)

## 1.2 Statutory References

### 1.2.1 Name of Planning Instrument

The subject of the proposed amendment is the *Devonport Interim Planning Scheme 2013* (hence forth referred to as the Interim Planning Scheme).

### 1.2.2 Name of Planning Authority

The Planning Authority is the **Devonport City Council**.

## 1.3 Title Information

The details for this property are shown below.

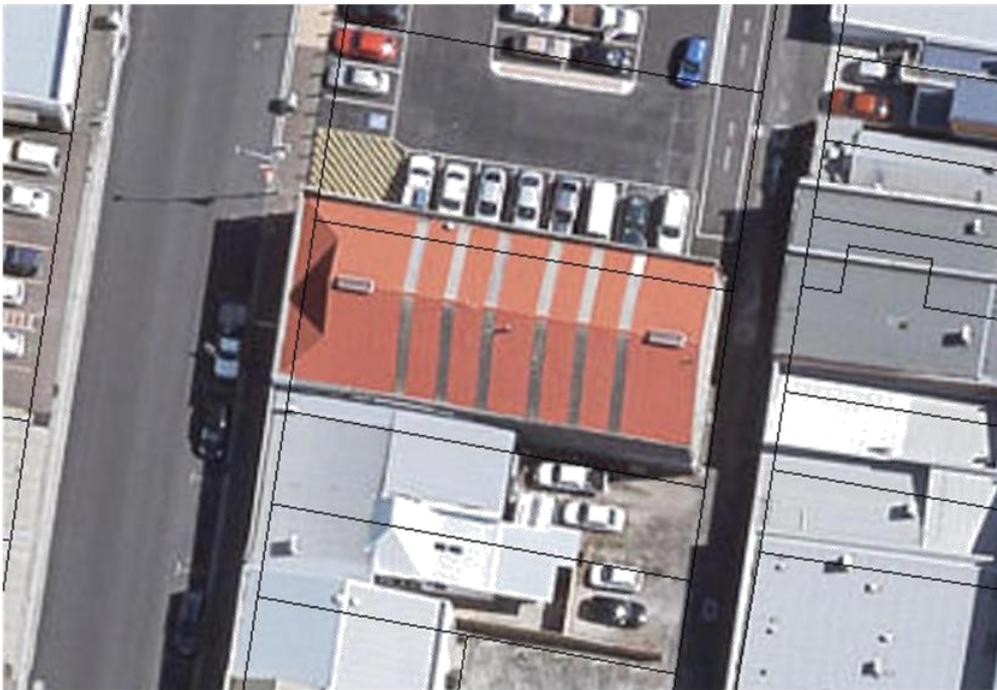
| Address             | Owner(s)      | Title Reference | Land Area         |
|---------------------|---------------|-----------------|-------------------|
| 10-12 Edward Street | Sitnb Pty Ltd | 59910/16        | 438m <sup>2</sup> |

The Certificates of Title can be found in **Appendix A**. Our client is the owner of the property under the Sitnb Pty Ltd.

## 2. Subject Site

### 2.1 The Subject Land

The subject site has a warehouse constructed from boundary to boundary. The development will see the works occurring within the walls of this warehouse, in what represents an adaptive reuse of the existing building.



*Figure 1: The subject site is shown with the red roof. It sits to the south of an existing Council carpark (source THELIST, accessed 6 February 2019).*

### 2.2 Description of Area

The site has frontage to Edward Street to the west and Rooke Lane to the east. The main entry to the building will be from the west although there will be a service entryway to the east. The building is a masonry structure with windows on the street elevations, but none on either side. It has been used as a shop and warehouse for many years.

The immediately surrounding area includes a range of commercial buildings with varying uses such as gyms, specialist services, offices and general retail and hire. The site immediately north is a Council carpark.



*Photo 1: The frontage of the building as it faces Edward Street (Source: Google images)*

### 2.3 Servicing

The subject site has full reticulated services.

## 3. Assessment of Development Application

### 3.1 Devonport Interim Planning Scheme 2013 - Zones

The property is zoned Central Business within the *Devonport Interim Planning Scheme 2013*.

The proposed uses fall under residential use class, being 14 multiple dwellings.

The residential use is discretionary within the zone.

The following standards within the Central Business Zone require consideration.

#### 3.1.1 Discretionary Permit Use

Clause 22.3.1 is a use standard relating to discretionary permit uses. There is no acceptable solution for this standard and as such the performance criteria must be considered which states:

*Discretionary permit use must -*

- (a) *Be consistent with local area objectives;*
- (b) *Be consistent with any applicable desired future character statement for the zone; and*
- (c) *Be required to service requirements of the local, municipal or regional resident and visitor population.*

The relevant local area objectives and desired future character statements for this zone are:

##### 22.1.2 Local Area Objectives

- (a) *Provide a large-scale activity centre offering a comprehensive mix of services of a type and range to meet the routine needs of local residents, and the specialist needs of a local, district, regional or sub-regional population and visitors to the Cradle Coast Region;*
- (b) *Central business areas make efficient use of land and optimise available infrastructure through a priority for infill and redevelopment and adaptive re-use of existing sites and buildings; and*
- (c) *Central business areas offer a significantly wider range of general and specialist merchandise and services, including refreshment and entertainment options, civic and cultural functions, and employment opportunities, than are available in a local or district centre.*

##### 22.1.3 Desired Future Character Statements

*Use or development for central business purposes -*

- (a) *support function as a regional focus for the majority of specialist retail, business, professional, community, personal, entertainment, hospitality, civic, cultural and visitor service activity;*
- (b) *provide convenient arrangements for pedestrian and vehicular access and circulation;*

- (c) *is not required to be comparable with use or development on adjacent land in another zone;*
- (d) *has a potential to transition abruptly at the boundary with an adjoining zone; and*
- (e) *is likely to impact on the amenity of use or development on adjacent land through factors associated with the operational characteristics of permitted use, including higher traffic volume, duration and frequency of activity, the type, form and scale of buildings, provision for vehicle parking, the presence and movement of people, extended or intermittent hours of operation, and a readily apparent visual or functional presence within an urban setting.*

The proposed development for multiple dwelling residence will assist in activating the city area which will provide for a more vibrant central business area. In effect, having residential uses within the CBD supports the function of the area and does not inhibit its ongoing use. The proposed residential use is unlikely to introduce conflicts with adjoining zones.

### **3.1.2 Suitability of a site or lot for use or development**

Clause 22.4.1 outlines five standards relating to the suitability of a site. The proposal complies with each acceptable solution.

### **3.1.3 Location and configuration of development**

Clause 22.4.2 outlines requirements relating to building height and external car parking. A1 of Clause 22.4.2 states:

*Building height must –*

- (a) *Not be more than 25m; or*
- (b) *Not be more than 10m on land within Area "A".*

All works will be within the existing building which has a maximum height of 9.049m, and accordingly the development complies with this requirement.

A2 states:

*An external car parking and loading area, and any area for the display, handling, or storage of goods, materials or waste, must be located behind the primary frontage elevation of a building.*

There is no requirement to provide carparking within this zone, and there will be no external carparking area or areas set aside for display, handling or storage of goods. The development complies with this requirement.

### **3.1.4 Visual and acoustic privacy for residential use**

Clause 22.4.3 outlines requirements relating to visual and acoustic privacy for residential uses. A1 states:

*A door or window to a habitable room, or any part of a balcony, deck, roof garden, parking space or carport must –*

- (a) Be not less than 3.0m from a side boundary and 4.0m from a rear boundary to land in a zone for residential purposes;*
- (b) Be not less than 6.0m from any door, window, balcony deck or roof garden in an adjacent dwelling;*
- (c) Be off-set by not less than 1.5m from the edge of any door or window in an adjacent dwelling;*
- (d) Have a window sill height of not less than 1.8m above finished floor level;*
- (e) Have fixed and durable glazing or screening with a uniform transparency of not more than 25% in that part of a door or window less than 1.8m above finished floor level; or*
- (f) Have fixed and durable external screen other than vegetation of not less than 1.8m height above the finished floor level with a uniform transparency of not more than 25% for the full width of the door, window, balcony, deck, roof garden, parking space or carport.*

Sub clauses (a), (b) and (c) are not applicable as there are no residential properties adjacent to the subject site.

There will be windows on the east and west elevation. The windows do not have 1.8m sill height above FFL. Therefore the proposal does not comply with the acceptable solutions for sub clause (d) and therefore must be assessed under performance criteria P1 under Clause 22.4.3 as follows;

*P1*

*Likelihood for overlooking from a door or window in a habitable room or from any part of a balcony, deck, roof garden, parking space, or carport must be minimised by –*

- (a) physical separation from the door, window balcony, deck, or roof garden in an adjacent dwelling;*
- (b) off-set from a door or window to a habitable room in an adjacent dwelling;*
- (c) effective use of screening other than vegetation; or*
- (d) effect of topography and natural features.*

As there are no residential properties adjacent to the subject site, there is unlikely to be any overlooking into the proposed apartments.

On the west elevation (front façade) windows on the ground level are proposed with frosted glass. Notwithstanding the west elevation is fronting the road, it is considered that frosted glass will minimize any potential overlooking from the street.

On the east elevation, as shown in the following figure, the windows are facing the back of a red brick building being part of the Rooker Street Mall. It is considered the likelihood of overlooking is minimal. If required, conditions of frosted windows on ground level can be placed to further ensure the residential amenity is protected. It is considered the performance criteria can be met.



**Photo 2: View of the east elevation of the subject building (grey building).**

### 3.1.5 Private open space for residential use

Clause 22.4.4 outlines requirements relating to private open space for dwellings. A1 states:

Each dwelling must provide –

- (a) External private open space that –
  - (i) Is accessible from the dwelling;
  - (ii) Comprises an area of not less than 25m<sup>2</sup> for each dwelling;
  - (iii) Has a gradient of not more than 1 in 10; and
  - (iv) Has a minimum dimension of 4.0m; or
- (b) Private open space provided as a private balcony, deck or terrace –
  - (i) of area not less than 25m<sup>2</sup>;
  - (ii) Minimum dimension of 2.0m; and
  - (iii) Accessible from the dwelling.

The development provides small balconies for each of the dwelling units as private open space. This will not comply with the requirements and accordingly the performance criteria must be considered. P1 states:

*Private open space must -*

- a) *Have size and dimensions appropriate for the projected requirements of the residents of the dwelling; and*
- b) *Be useable taking into account -*
  - i. *The effect of shape, orientation, and topography of the site;*
  - ii. *The availability, accessibility, purpose and characteristics of -*
    - (a) *Any other recreation and service area within the site;*
    - (b) *Any external communal open space area; and*
    - (c) *Public open space.*

The units have approximately 81.15m<sup>2</sup> communal private open space on the ground level, accessed from the living area of each unit. Each of the units has approximately 2m<sup>2</sup> of balcony on the upper level, accessed from the bedroom overlooking the communal private open space on the ground level. In addition, the development site is within 300m walk of the foreshore.

The proposed accommodation is not designed for families, but rather for individuals or couples. This being the case, it is not anticipated that the projected requirements of the residents will be such that they need considerable open space. None the less some private open space is provided, and its design encourages communal living and engagement between residents. It is considered the performance criteria can be met.

### **3.1.6 Setback from zone boundaries**

Clause 22.4.5 relating to setbacks from zone boundaries is not applicable as the development is not adjacent to a zone boundary.

### **3.2 Airport Impact Management Code**

The property is located within Operational airspace. The site is over 5km away from the end of the runway. The site is within a built-up area of Devonport, is not within a public safety area, and will not involve construction within the operational airspace nor will it penetrate the obstacle limitation surface.

The following clauses are considered relevant for consideration:

#### **3.2.1 Exposure to Aircraft Noise.**

Clause E2.5.1, A1 states:

- (a) *The use must be -*
  - (i) *An 'Acceptable' use class for the applicable ANEF noise exposure level as shown on the Table to this clause; or*
  - (ii) *An 'Acceptable use class subject to conditions' for the ANEF noise exposure level as shown on the Table to this clause;*

- (b) *Building construction must satisfy AS2021 (2000) with respect to interior noise levels for the use class; and*
- (c) *The owner of the site has given written consent for an agreement in accordance with Part 5 of the Land Use Planning and Approvals Act 1993 to be registered on the title indicating likely exposure of use or development to noise nuisance from operations at the airport.*

The development will meet the requirements for the ANEF noise exposure levels. In the event of a planning permit being issued and if it is considered a necessary requirement of the Council to include a Part 5 agreement on their title, this can be included as a permit condition.

### **3.2.2 Protection of operational airspace**

Clause E2.6.2, A1 states:

*Use or development must not –*

- (a) *Penetrate the Obstacle Limitation Surface (OLS); or*
- (b) *Interfere with operation of aviation facilities.*

The development will not penetrate the OLS, nor will it interfere with operation of aviation facilities. The development complies with this clause.

### **3.3 Traffic Generating Use and Parking Code**

The property is located within the Devonport Local Parking Area. Under Clause E9.4, local area parking scheme means an enforceable arrangement for the provision of shared parking facilities of adequate capacity and with convenient access in a location to service all or part of the accessed parking demand for a defined spatial area such as a business and retail centre, regardless of whether operated by a public or private entity or whether parking time limits or payment apply.

This means that under Clause E9.4, there is no requirement to provide for carparking or loading areas for this development. The development complies with this Code.

## 4. Conclusion

The development proposes the adaptive development and reuse of an existing shop/warehouse on the site. The reuse will provide for fourteen one-bedroom apartments falling within the Residential Use Class.

The development requires Council to exercise its discretion in relation to Use, Visual and Acoustic Privacy and Private Open Space. Specifically Clauses 22.3.1 relating to Discretionary Uses, Clause 22.4.3 Visual and Acoustic Privacy for Residential Use and Clause 22.4.4 relating to Private Open Space.

The apartments as proposed are intended to be used by singles or couples and will assist in activating the central business zone of Devonport, as well as providing a more affordable housing type than currently exists in CBD of Devonport. As there are no residential buildings adjacent, the proposed units are unlikely to be impacted in terms of overlooking. Whilst there is no private open space for the units, there is communal space accessible for each of the units and the foreshore open space in Devonport is less than 300m from the site. This is considered an acceptable response to the Planning Scheme requirements.

**Emma Riley & Associates** ABN 67 141 991 004

183 Macquarie Street, Hobart

T: 03 6105 0443

E: enquiries@erassociates.com.au

© **Emma Riley & Associates 2019**

This document may only be used for the purposes for which it was commissioned and in accordance with the Terms of Engagement for the commission. Unauthorised use of this document in any form whatsoever is prohibited.

**Document Status**

Author: Xin Guo

Reviewer: Emma Riley

Version: Final for Submission

Date: 6 March 2019

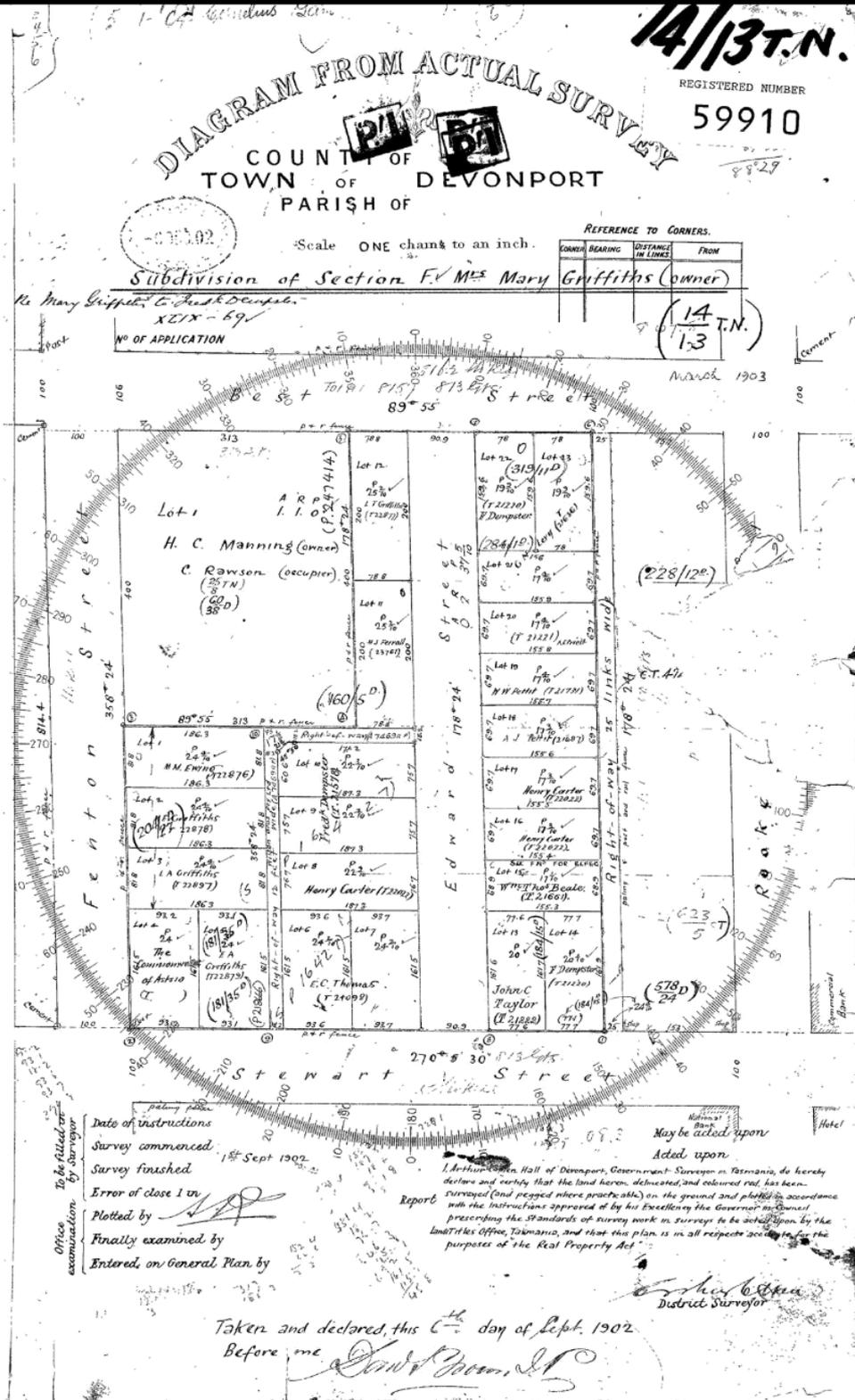
Job Number: 1718-005

Appendix A  
Title Documentation



FOLIO PLAN  
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

|                 |                              |
|-----------------|------------------------------|
| VOLUME<br>59910 | FOLIO<br>16                  |
| EDITION<br>7    | DATE OF ISSUE<br>17-Nov-2017 |

SEARCH DATE : 06-Feb-2019

SEARCH TIME : 09.35 AM

DESCRIPTION OF LAND

City of DEVONPORT

Lot 16 on Diagram 59910 (formerly being 14-13TN)

Derivation : Whole of Lot 5. Sec.F. - Gtd. to C.G. Casey

Prior CT 2858/45

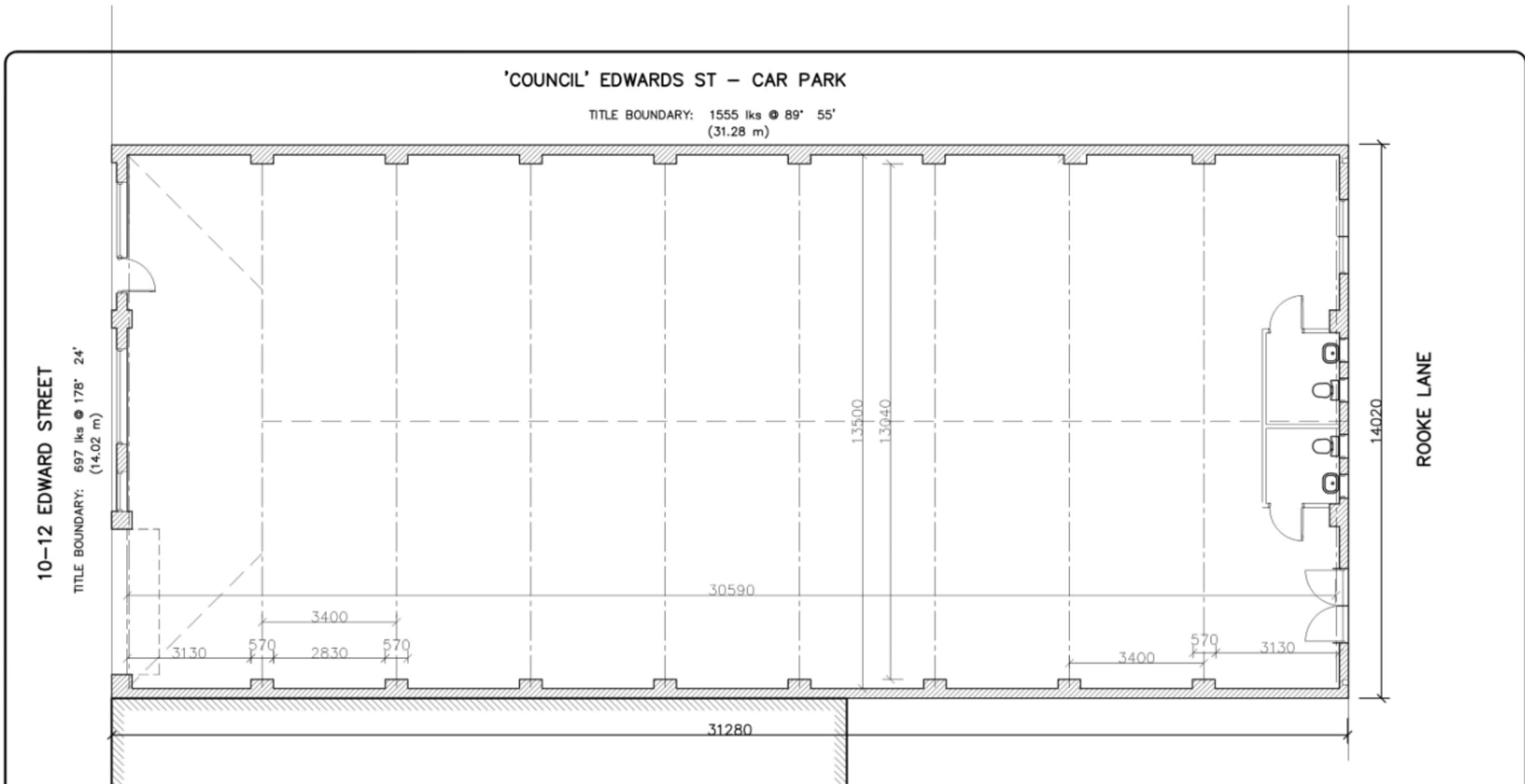
SCHEDULE 1M664607 TRANSFER to SITNB PTY LTD Registered 17-Nov-2017 at  
12.01 PMSCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Appendix B  
Proposal Plans



'AS EXISTING' - as Measured 3/8/2017

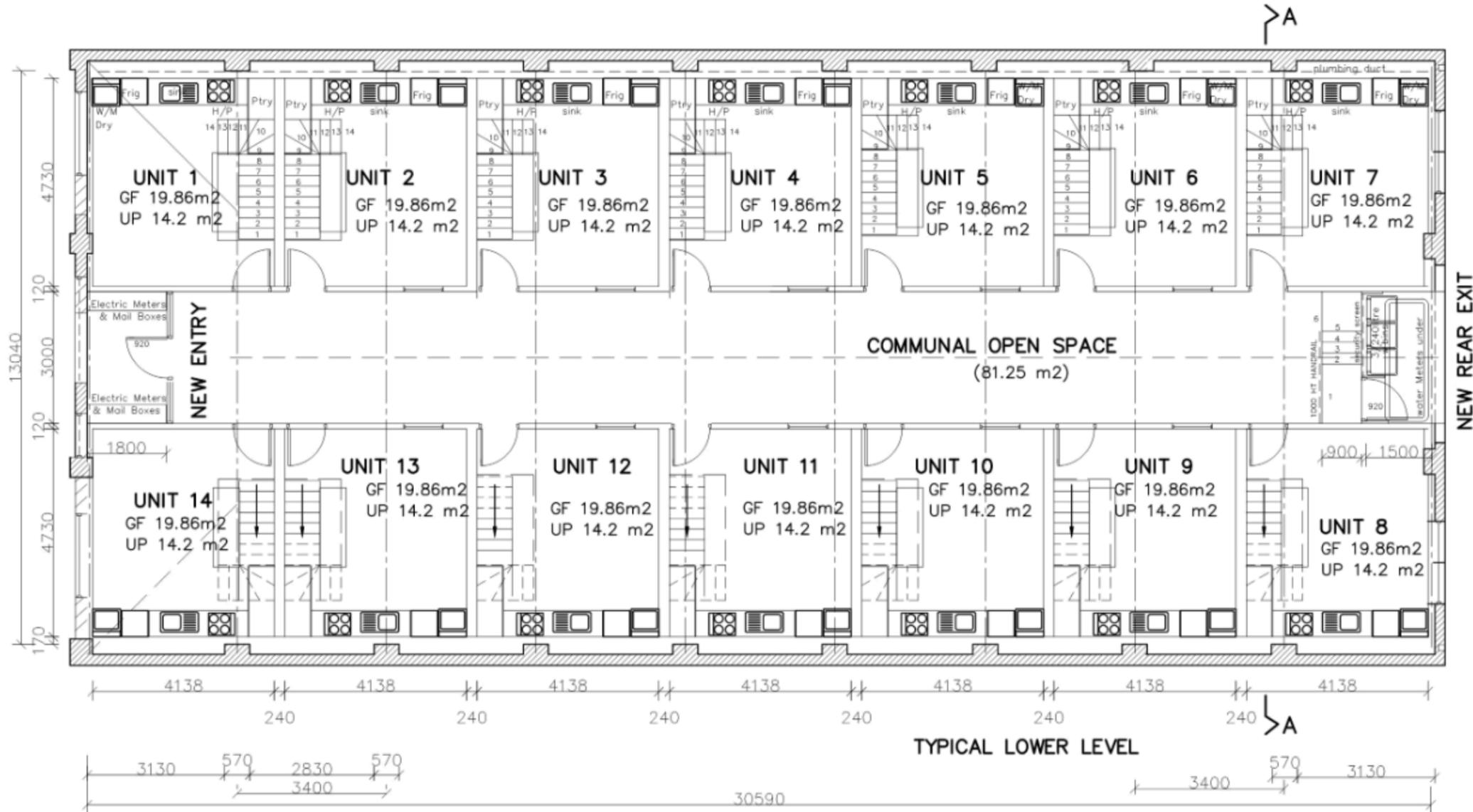
LAND TITLE REFERENCE:  
 P.I.D.: 6288869  
 C.T.: 59910/16  
 AREAS: SITE: 17.3 P (438m<sup>2</sup>)  
 FLOOR (As existing): 438 m<sup>2</sup>  
 APARTMENTS: GF @ 19.26 ea.  
 UP FLOOR @ 18.2 m<sup>2</sup> ea  
 Private Balconies: @ 2.1 m<sup>2</sup> ea  
 #14 @ 39.56 = 553.8 m<sup>2</sup>  
 FLOOR (Public Communal Area): 81.1 m<sup>2</sup>

DESIGN WIND SPEED: N/A  
 SOIL CLASSIFICATION: N/A  
 BAL: N/A  
 B.C.A CLIMATE ZONE: 7  
 ALPINE AREA: NO  
 KNOWN SITE HAZARDS: N/A

PLANS by: **Tas Laughlin**  
 ABN 83 849 671 093  
 56 SUNBEAM CRES., E/DEV. Ph(03)64270898  
 P.O. BOX 1092, DEVONPORT 7310.  
 Building Practitioner Accreditation No. CC 379 P  
 e-mail: tlaughli@bigpond.net.au  
 GOD HAS A PLAN FOR EVERY LIFE

PROPOSED REDEVELOPMENT to  
 14 'SELF CONTAINED' 2-STOREY  
 APARTMENT DWELLINGS  
 AT 10-12 EDWARD STREET  
 DEVONPORT, 7310

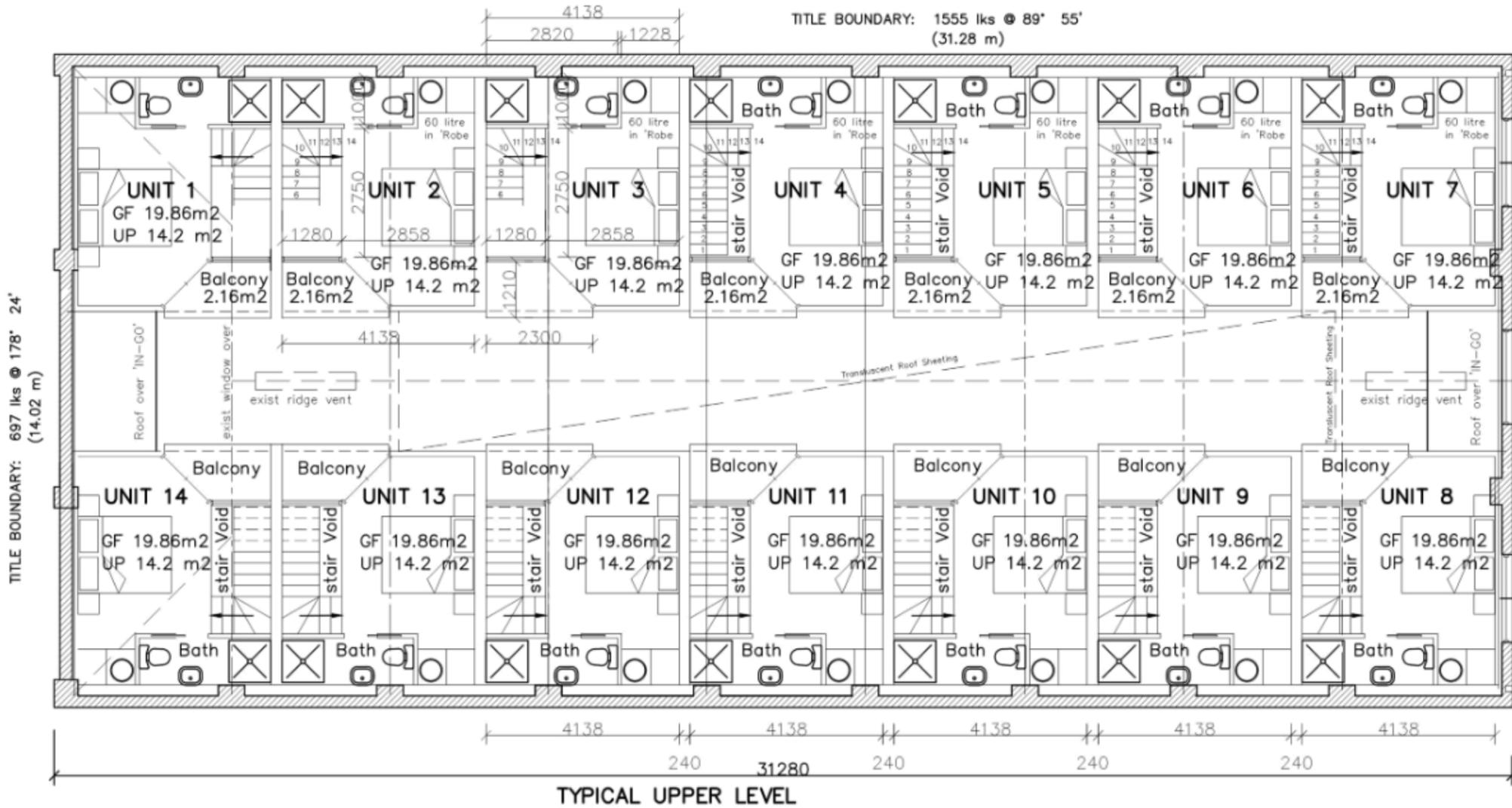
|                |                                   |                           |                      |
|----------------|-----------------------------------|---------------------------|----------------------|
| NORTH<br>      | DRAWING 'AS EXISTING' & SITE PLAN |                           | DRG No.<br><b>01</b> |
|                | DATE<br>7/2/2019                  | JOB No.<br><b>0219-20</b> | Amendmt.<br>-        |
| SCALE<br>1:100 |                                   |                           |                      |



PLANS by: **Tas Laughlin**  
 ABN 83 849 671 093  
 56 SUNBEAM CRES., E/DEV. Ph(03)64270898  
 P.O. BOX 1092, DEVONPORT 7310.  
 Building Practitioner Accreditation No. CC 379 P  
 e-mail: tlaughli@bigpond.net.au  
 GOD HAS A PLAN FOR EVERY LIFE

PROPOSED **REDEVELOPMENT to**  
**14 'SELF CONTAINED' 2-STOREY**  
**APARTMENT DWELLINGS**  
 AT **10-12 EDWARD STREET**  
**DEVONPORT, 7310**

|                |                         |         |             |
|----------------|-------------------------|---------|-------------|
| NORTH<br>      | DRAWING                 |         | DRG No.     |
|                | <b>LOWER FLOOR PLAN</b> |         | <b>02.1</b> |
|                | DATE<br>7/2/2019        | JOB No. | Amendmt.    |
| SCALE<br>1:100 | <b>0219-20</b>          |         | -           |

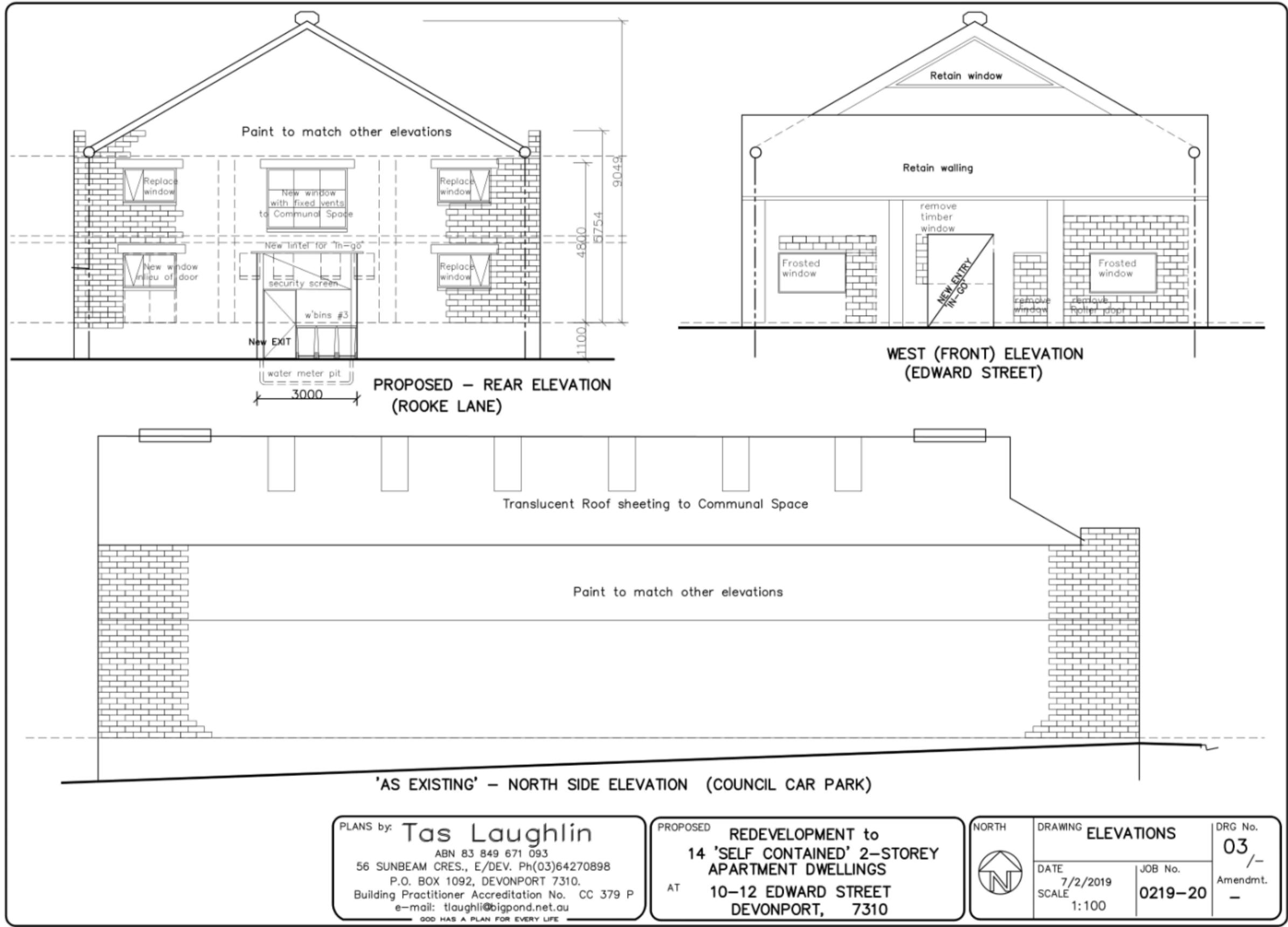


TYPICAL UPPER LEVEL

PLANS by: **Tas Laughlin**  
 ABN 83 849 671 093  
 56 SUNBEAM CRES., E/DEV. Ph(03)64270898  
 P.O. BOX 1092, DEVONPORT 7310.  
 Building Practitioner Accreditation No. CC 379 P  
 e-mail: tlaughli@bigpond.net.au  
 GOD HAS A PLAN FOR EVERY LIFE

PROPOSED REDEVELOPMENT to  
 14 'SELF CONTAINED' 2-STOREY  
 APARTMENT DWELLINGS  
 AT 10-12 EDWARD STREET  
 DEVONPORT, 7310

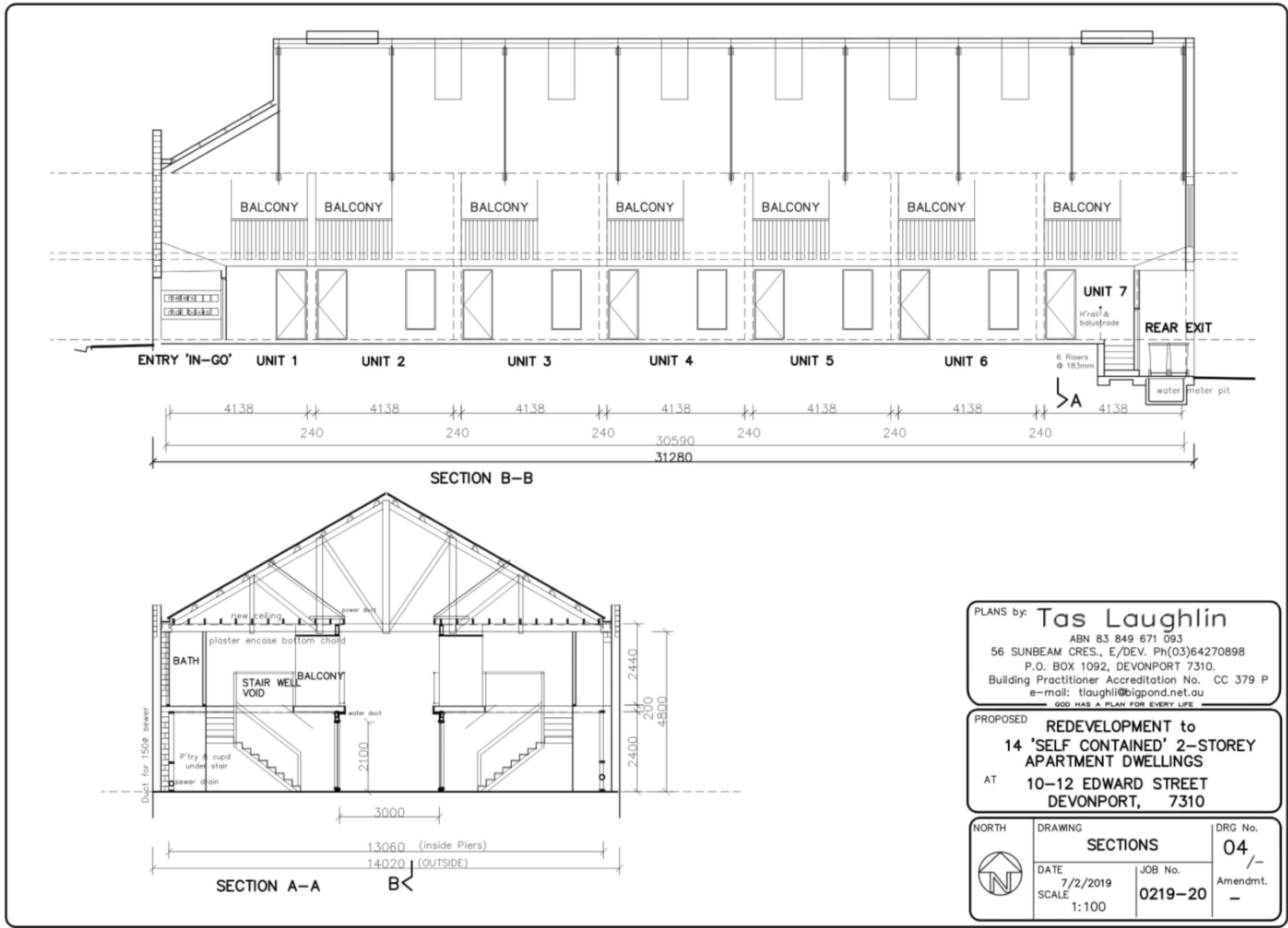
|                |                  |         |          |
|----------------|------------------|---------|----------|
| NORTH<br>      | DRAWING          |         | DRG No.  |
|                | UPPER FLOOR PLAN |         | 02.2     |
|                | DATE<br>7/2/2019 | JOB No. | Amendmt. |
| SCALE<br>1:100 | 0219-20          |         | -        |



PLANS by: **Tas Laughlin**  
 ABN 83 849 671 093  
 56 SUNBEAM CRES., E/DEV. Ph(03)64270898  
 P.O. BOX 1092, DEVONPORT 7310.  
 Building Practitioner Accreditation No. CC 379 P  
 e-mail: tlaughli@bigpond.net.au  
 GOD HAS A PLAN FOR EVERY LIFE

PROPOSED REDEVELOPMENT to  
**14 'SELF CONTAINED' 2-STOREY  
 APARTMENT DWELLINGS**  
 AT **10-12 EDWARD STREET  
 DEVONPORT, 7310**

|                |                           |                           |                      |
|----------------|---------------------------|---------------------------|----------------------|
| NORTH<br>      | DRAWING <b>ELEVATIONS</b> |                           | DRG No.<br><b>03</b> |
|                | DATE<br>7/2/2019          | JOB No.<br><b>0219-20</b> | Amendmt.<br>-        |
| SCALE<br>1:100 |                           |                           |                      |



---

**From:** Jennie Claire <jennieclairedesign@gmail.com>  
**Sent:** Wednesday, 24 April 2019 4:21 PM  
**To:** Devonport City Council  
**Subject:** Edward St PA2019.0045

Dear Mr West,

I am writing regarding PA2019.0045.

While the idea of affordable homes is very good and residential apartments in the CBD may help to revitalize the area the total lack of windows for 10 of the apartments and the frosted windows for the other 4 is very concerning.

Can the lack of windows to 10 of the 14 dwellings in this residential plan and the provision of only frosted windows to the other 4 be justified on the basis that enough light will be provided by the six translucent panels in the roof to the shared space? It seems very unlikely that enough light could be provided in this way.

Natural light is important for mental health and the lack of light coming into these apartments is very likely to have an adverse effect on the occupants in this respect.

There is also the question of the benefits of light for solar heating which these apartments will miss out on.

I urge the council not to accept this plan in it's current form and require the developer to make modifications which provide for unfiltered natural light to enter each unit directly.

The shared space, which was described as a communal space to encourage socializing among the occupants, is only 3 m wide and is therefore little more than a corridor. A larger area of communal space should be provided to facilitate the stated aims of this company. This could be achieved by reducing the number of units to 12 rather than 14. Then a shared space of a functional size could be created into which a significant amount of light could enter.

I would also like to raise the question of what would happen in the event of fire? As the units face onto the shared space the usual requirement of firewalls between units would be ineffectual and yet there are no fire escapes provided for getting out if trapped on the upper floors. Other unit developments are required to have firewalls and two exits for safety. What provisions have been made to account for this problem of exiting the building in the event of a fire?

As this development would represent a significant departure from our current requirements I urge the Council to set the needed conditions to bring this application up to an acceptable standard for our city.

Yours faithfully,

Jennie Claire

Ratepayer of Devonport

---

**From:** Nick <nick@dyadservices.com.au>  
**Sent:** Wednesday, 24 April 2019 4:57 PM  
**To:** Devonport City Council  
**Subject:** RE: 10-12 Edward st development

Dear General Manager

I am writing in regards to the planning application for the above mentioned. This development needs to be considered about how these types of over crowded boarding type dwellings impact on peoples well being. Especially with their application not have any natural lighting into them.

They are trying to sell this development as affordable living however in one of Ian Ugarte Facebook comments he has acknowledge they will be around \$290 a week. Which is no less than a house or a unit but these are much smaller in size.

I would hope the council requests the developers to rethink their planning as opposed to just try and get as much rent revenue for the space at the cost of peoples well being.

We have seen the impact of these types of boarding set ups in the bigger cities and Devonport should not be a test ground for such either.

Thanks for your time

<http://www.devonport.tas.gov.au/Public-Notices/Public-Notices-Current/PA2019.0045-10-12-Edward-Street-Devonport>

Regards

Nick Kuys  
DYAD Services

## **CLOSURE**

**There being no further business the Chairperson declared the meeting closed at      pm.**

---