

PLANNING AUTHORITY COMMITTEE - 8 AUGUST 2022 ATTACHMENTS

<b>3.1 PLANNING APPLICATIONS APPROVED UNDER DELEGATED AUTHORITY.....</b>	<b>2</b>
<b>3.1.1 DELEGATED APPROVALS.....</b>	<b>2</b>
<b>4.1 PA2022.0112 - 24 CAMERAY STREET EAST DEVONPORT - RESIDENTIAL (SINGLE DWELLING).....</b>	<b>5</b>
<b>4.1.1 APPLICATION DETAIL - PA2022.0112 - 24 CAMERAY STREET - RESIDENTIAL (SINGLE DWELLING).....</b>	<b>5</b>

<b>Application No.</b>	<b>Location</b>	<b>Development</b>	<b>Approval Date</b>
PA2022.0024	133 Middle Road, Miandetta	7 lot Subdivision	4/07/2022
PA2022.0027	11 Fenton Street, Devonport	Residential (multiple dwellings x 4)	10/06/2022
PA2022.0041	209 Oldaker Street, Devonport	Residential (multiple dwellings x 3)	15/06/2022
PA2022.0044	125 Melrose Road, Aberdeen	Residential (shed)	18/05/2022
PA2022.0045	77a River Road, Ambleside	64 Lot Subdivision	13/06/2022
PA2022.0048	132 Forth Road, Don	2 lot subdivision	17/06/2022
PA2022.0049	3 Wattle Pod Court, Spreyton	Residential (single dwelling and outbuilding) and retaining wall	7/06/2022
PA2022.0050	62 Wenvoe Street, Devonport	Residential (single dwelling) - alterations and additions	6/06/2022
PA2022.0051	68 River Road, Ambleside	Residential (alterations and additions)	24/05/2022
PA2022.0052	Torquay Road, East Devonport	11 lot subdivision (9 residential lots, 1 road lot and 1 open space lot)	20/05/2022
PA2022.0055	59 Morris Road, Melrose	Residential (dwelling and shed)	20/05/2022
PA2022.0056	8 Donvista Drive, Don	Residential (dwelling additions and secondary residence)	20/05/2022
PA2022.0057	8 Formby Road, Devonport	Bulky Goods Sales	24/05/2022
PA2022.0058	123 Wright Street, East Devonport	Community meeting and entertainment (museum and ancillary cafe)	23/05/2022
PA2022.0059	23-61 Tarleton Street, East Devonport	Resource Processing (facility upgrades) and Storage	27/06/2022
PA2022.0060	337 Kelcey Tier Road, Eugenana	Residential (shed)	26/05/2022
PA2022.0061	17 Middle Road, Devonport	Residential (2 x units)	13/06/2022
PA2022.0062	176 Stony Rise Road, Stony Rise	Service Industry (building additions)	19/05/2022
PA2022.0063	2 Longview Crescent, Devonport	Residential (outbuilding)	1/06/2022
PA2022.0064	31 Wrenswood Drive, Quoiba	Residential (single dwelling) - alterations and additions	6/06/2022
PA2022.0065	1/79-83 Mersey Main Road, Spreyton	Residential (multiple dwelling) - covered deck	18/05/2022

Application No.	Location	Development	Approval Date
PA2022.0066	5 Ellice Hill Drive, Spreyton	Residential (single dwelling)	6/06/2022
PA2022.0067	60 North Fenton Street, Devonport	Demolition (dwelling)	27/05/2022
PA2022.0068	111 Melrose Road, Aberdeen	Cut & Fill	17/06/2022
PA2022.0069	8 Forest Heights Drive, Tugrah	Residential (outbuilding)	15/06/2022
PA2022.0070	205 Clayton Drive, Spreyton	Residential (outbuilding)	15/06/2022
PA2022.0071	136 James Street, Devonport	Residential (alterations and additions)	21/06/2022
PA2022.0072	172 Sheffield Road, Spreyton	Vehicle Fuel Sales and Service (new canopy)	27/06/2022
PA2022.0074	162 Middle Road, Miandetta	Utilities (outbuilding)	24/06/2022
PA2022.0076	51 Don Road, Devonport	Bulky Goods Sales (kitchen showroom) and Signage	11/07/2022
PA2022.0077	76 Lakeside Road, Eugenana	Visitor Accommodation (maintenance shed)	27/06/2022
PA2022.0078	137 Sheffield Road, Spreyton	3 Lot Subdivision	8/07/2022
PA2022.0079	241 William Street, Devonport	Residential (multiple dwellings x 2)	14/06/2022
PA2022.0080	30 Milton Lane, Don	Residential (dwelling and shed)	22/07/2022
PA2022.0082	96 Mersey Main Road, Spreyton	Demolition of existing building additions and construction of car park	29/06/2022
PA2022.0083	39 Coomera Crescent, Miandetta	Residential (single dwelling)	12/07/2022
PA2022.0084	10 Tatiana Close, Devonport	Residential (retaining walls)	5/07/2022
PA2022.0085	52-60 Devonport Road, Quoiba	Storage (switch room building)	22/06/2022
PA2022.0087	115-117 North Street, Devonport	Visitor Accommodation	13/07/2022
PA2022.0088	35-37 Shaw Street, Miandetta	Boundary Adjustment	28/06/2022
PA2022.0089	7 Devonport Road, Miandetta	Demolition of Fuel Tank	29/07/2022
PA2022.0091	22 McCall Terrace, Stony Rise	Two lot subdivision	18/07/2022

Application No.	Location	Development	Approval Date
PA2022.0093	13 Forest Heights Drive, Tugrah	Residential (dwelling and outbuilding)	18/07/2022
PA2022.0094	144-148 Stony Rise Road, Stony Rise	Visitor Accommodation	6/07/2022
PA2022.0095	44 Lawrence Drive, Devonport	Storage Containers x 2	5/07/2022
PA2022.0096	110 James Street, Devonport	Residential (building additions - retrospective)	21/07/2022
PA2022.0097	6A Laphorne Close, Don	Residential (outbuilding)	28/07/2022
PA2022.0098	125 Tarleton Street, East Devonport	Residential (outbuilding)	22/07/2022
PA2022.0099	57 Bel-Air Crescent, East Devonport	Residential (single dwelling)	27/07/2022
PA2022.0101	3/75 Parker Street, Devonport	Residential (addition to existing multiple dwelling)	20/07/2022
PA2022.0104	1/142 Nicholls Street, Devonport	Residential (multiple dwelling - extension)	26/07/2022



LAURIE & AMY HARRIS

PROPOSED RESIDENCE

LOT 6 CAMERAY STREET, EAST DEVONPORT

DRAWING SCHEDULE

SHEET	DESCRIPTION	REV	ISSUE DATE
A100	COVER PAGE	A	01/09/21
A101	SITE PLAN	A	01/09/21
A102	ELEVATIONS 1 OF 2	A	01/09/21
A103	ELEVATIONS 2 OF 2	A	01/09/21
A104	GROUND FLOOR PLAN	A	01/09/21
A105	FIRST FLOOR PLAN	A	01/09/21
A106	DRAINAGE PLAN	A	01/09/21
A107	WALL FRAMING PLAN	A	01/09/21
A108	ELECTRICAL PLAN	A	01/09/21
A109	REFLECTED CEILING PLAN	A	01/09/21
A110	ROOF FRAMING PLAN	A	01/09/21
A111	ROOF PLAN	A	01/09/21
A112	SECTION A-A	A	01/09/21
A113	DETAILS	A	01/09/21
A114	STANDARD DETAILS	A	01/09/21
A115	WALL TYPES	A	01/09/21
A116	WATERPROOFING 1 OF 2	A	01/09/21
A117	WATERPROOFING 2 OF 2	A	01/09/21
A118	WINDOW & DOOR SCHEDULE	A	01/09/21
A120	LIGHTING CALCULATOR	A	01/09/21
A121	CONSTRUCTION NOTES 1 OF 2	A	01/09/21
A122	CONSTRUCTION NOTES 2 OF 2	A	01/09/21
A123	BAL 12.5 CONSTRUCTION NOTES	A	01/09/21
A124	SHADOW DIAGRAMS	A	01/09/21

GENERAL INFORMATION

ACCREDITED DESIGNER:  
ACCREDITATION NUMBER:  
LAND TITLE REFERENCE NUMBER:  
ENERGY ASSESSMENT:  
COUNCIL ZONE:  
COUNCIL:

NICHOLAS BRANDSEMA  
047538582  
TBA  
TBA  
GENERAL RESIDENTIAL  
DEVONPORT COUNCIL

FLOOR AREAS

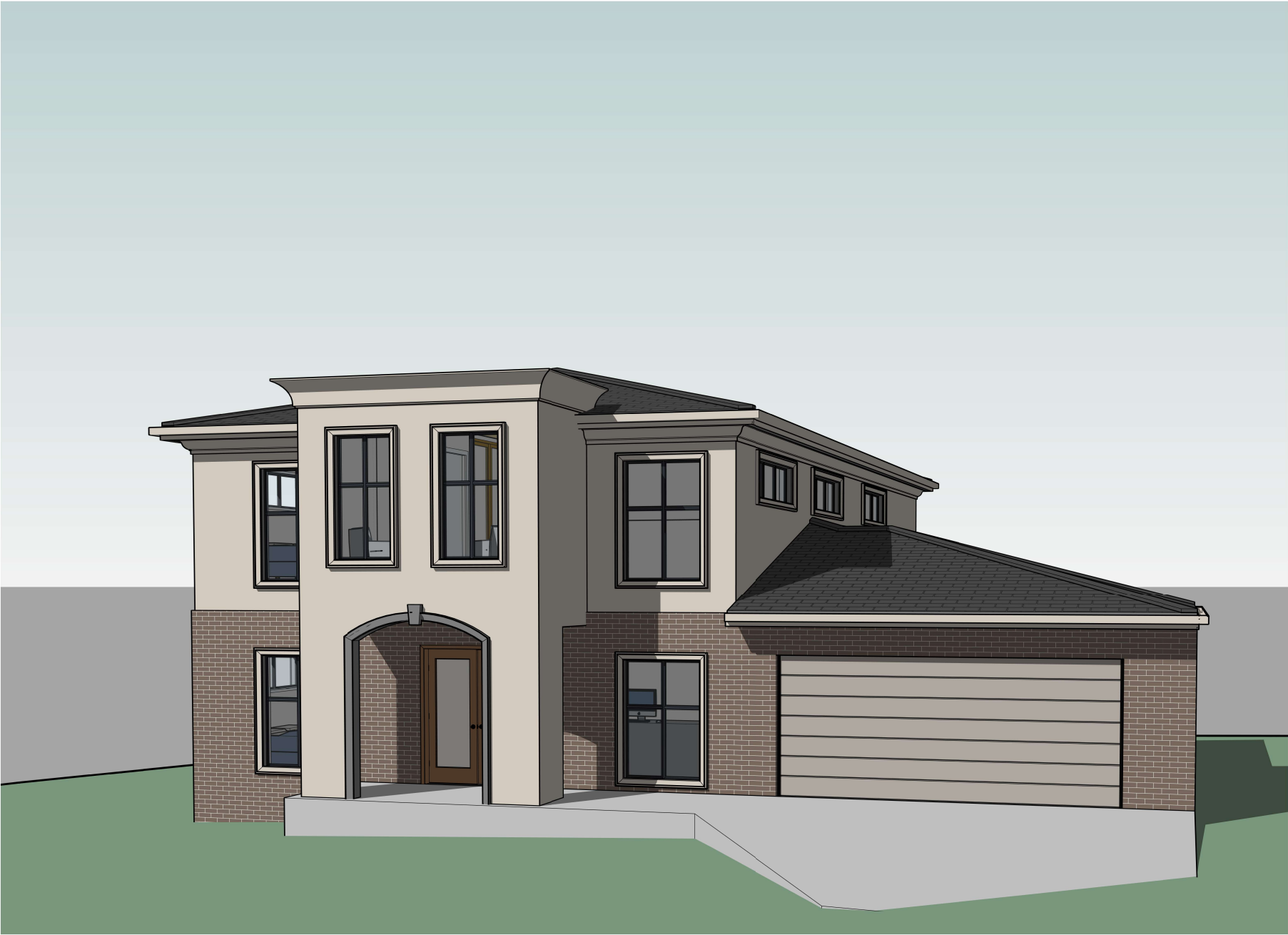
GROUND FLOOR AREA:  
FIRST FLOOR AREA:  
TOTAL FLOOR AREA:

295m2 (32 SQUARES)  
160m2 (17 SQUARES)  
455m2 (49 SQUARES)

SITE INFORMATION

SITE AREA:  
DESIGN WIND SPEED:  
SOIL CLASSIFICATION:  
ALPINE AREA:  
CORROSION ENVIRONMENT:  
BUSHFIRE ATTACK LEVEL:  
CLIMATE ZONE:

713m2  
TBA  
TBA  
N/A  
N/A  
TBA  
7



n+b

22 Fieldings Way  
Ulverstone, Tasmania  
Australia 7315

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Revision

No. Date Description

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DO NOT SCALE OFF PLANS  
ALL DIMENSIONS ARE IN MILLIMETERS  
CONFIRM ALL DIMENSIONS ONSITE  
ALL WORK RELEVANT NCC & AS

Project

PROPOSED RESIDENCE

Location

LOT 6 CAMERAY STREET, DEVONPORT

Client

LAURIE & AMY HARRIS

Sheet Title

COVER PAGE

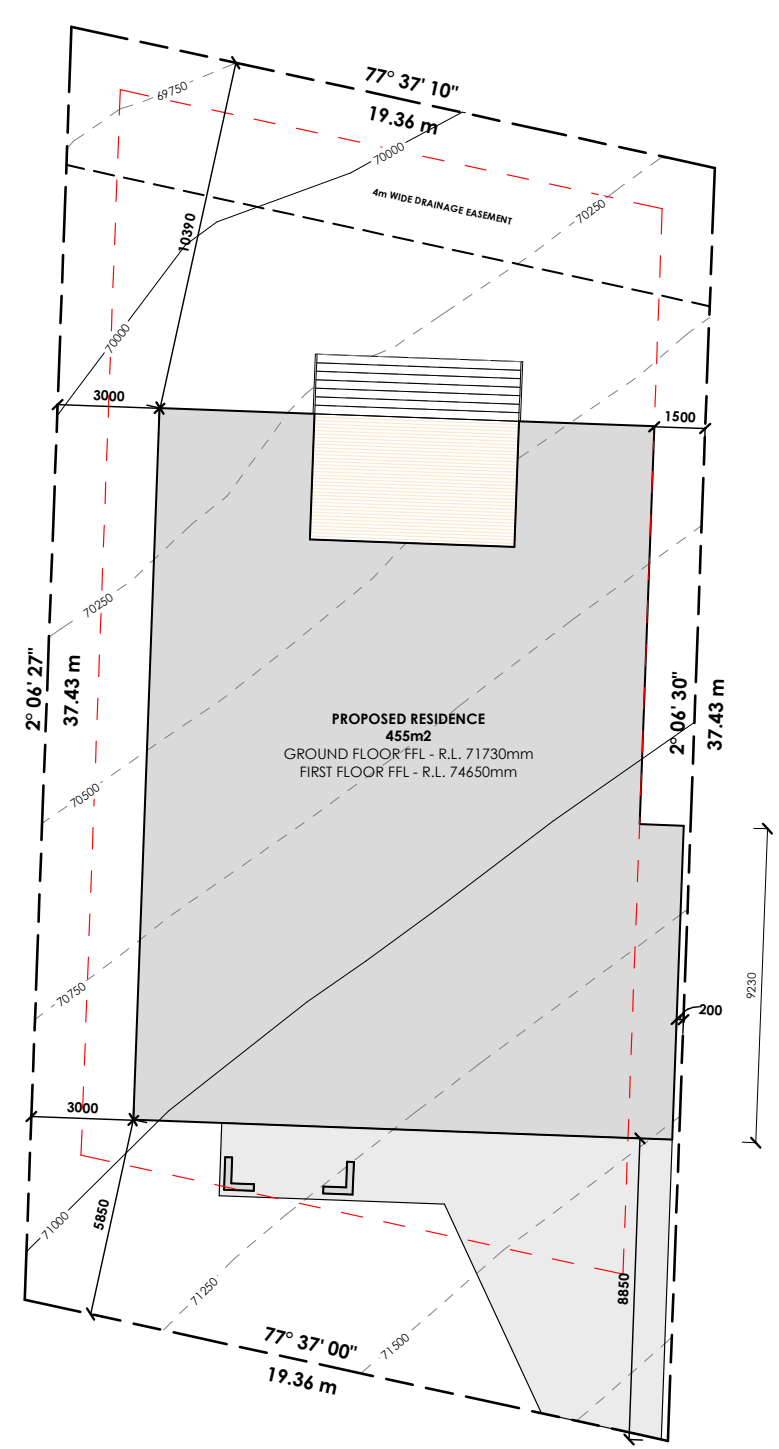
Drawn Issue Date Project No. Revision

NJB 01/09/21 TBA A

Sheet Number

A100

/A121



**SITE PLAN**

PRIMARY CONTOUR LINES SHOWN AT 1000mm INTERVALS  
SECONDARY CONTOURS SHOWN AT 250mm INTERVALS

ALL RL LEVELS REFER TO FFL LEVEL, SITE DATUM POINT  
**TBA**

**DRIVEWAY**  
EXPOSED AGGREGATE 120mm THICK 25MPa CONCRETE  
WITH SAW CUTS AT 4000mm CRS, 24 HOURS AFTER POURING.  
AGGREGATE STYLE AND FINISH TO BE CONFIRMED BY OWNER.

**GENERAL NOTES:**  
DURING CONSTRUCTION SOIL AND WATER IS TO BE APPROPRIATLY MANAGED. THIS INCLUDES THE PROVISION OF SILT FENCING, FILTER SCREENS OR DEDICATED SILT TRAPS TO PREVENT THE DISCHARGE OF GRAVEL, SOIL OR OTHER DEBRIS TO ANY EXISTING WATER COURSE OR ADJOINING PROPERTY DURING THE COSTRUCTION PROCESS.

**EXCAVATION:**  
ALLOW FOR BULK EXCAVATION WHERE REQUIRED AND ALL EXCAVATION, FILLING, BACK FILLING AND CONSOLIDATION REQUIRED FOR THE FOOTINGS AND SLAB. RETAIN ALL ACCESSES AND SERVICES AS INDICATED. MAKE GOOD.

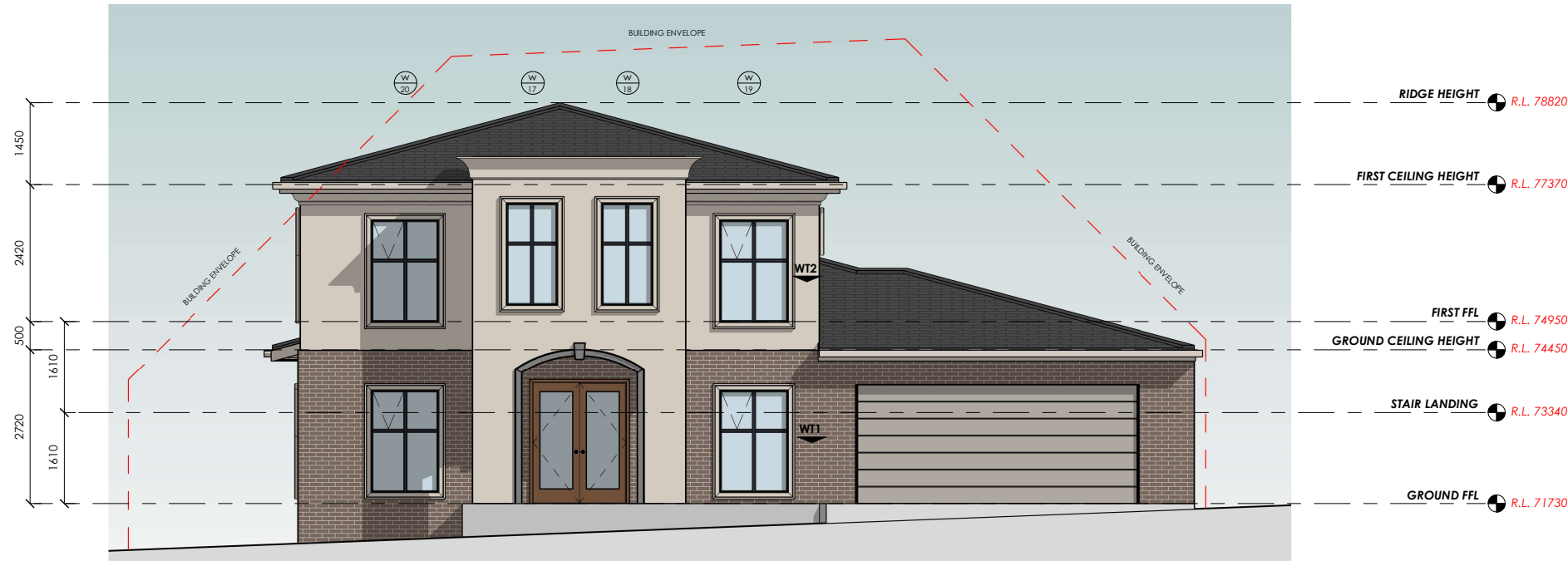
**SETTING OUT:**  
THE BUILDER SHALL ACCURATLEY SET-OUT THE WORKS AND VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMENCING ANY WORKS, AND SHALL MAKE GOOD AT HIS OWN EXPENSE ANY ERRORS ARISING FROM INACCURACIES OF THE SETOUT.

ALL SETOUT DIMENSIONS SHOWN ARE TO THE OUTSIDE FACE OF THE EXTERNAL BRICK VENEER.

**PROTECTION WORK**  
(SECTION 121 OF THE BUILDING ACT)  
IF EXCAVATION IS TO A LEVEL BELOW THAT OF THE ADJOINING OWNER'S FOOTINGS, ALONG THE TITLE BOUNDARY OR WITHIN 3 METRES OF A BUILDING BELONGING TO AN ADJOINING OWNER, THE BUILDER MUST (AS A MINIMUM) PROVIDE AND MAINTAIN A SUPPORT. ADJOINING OWNER TO BE NOTIFIED USING FORM 6 (BUILDING AND PROTECTION WORK NOTICE).

 **SITE PLAN**  
Scale 1 : 200

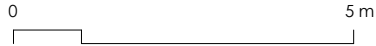
<div>n+b</div> <div>22 Fieldings Way Ulverstone, Tasmania Australia 7315</div> <div>m 0417 134 369 e nick@nplusb.com.au License No. 047538582 ABN 946 222 219 16</div>	<div>Issued As</div> <div>PRELIMINARY</div> <div>©COPYRIGHT THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF NPLUSB DESIGN AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF NPLUSB DESIGN. ABN 946 222 219 16</div>	<div>Scale A3</div> <div>1 : 200</div>	<div>Revision</div> <table><tr><th>No.</th><th>Date</th><th>Description</th></tr><tr><td>A</td><td>01/09/21</td><td>Issued as PRELIMINARY</td></tr></table> <div>DO NOT SCALE OFF PLANS ALL DIMENSIONS ARE IN MILLIMETERS CONFIRM ALL DIMENSIONS ONSITE ALL WORK RELEVANT NCC &amp; AS</div>	No.	Date	Description	A	01/09/21	Issued as PRELIMINARY	<div>Project</div> <div>PROPOSED RESIDENCE</div> <div>Location</div> <div>LOT 6 CAMERAY STREET, DEVONPORT</div> <div>Client</div> <div>LAURIE &amp; AMY HARRIS</div>	<div>Sheet Title</div> <div>SITE PLAN</div>				<div>Sheet Number</div> <div>A101</div> <div>/A121</div>
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**SOUTH ELEVATION**  
Scale 1 : 100

**WALL | FACADE MATERIALS & FINISHES**

- WT-1** BRICK VENEER, COLOUR & STYE BY OWNER.
- WT-2** MASTERWALL 75mm CLADDING, RENDER/PAINT TO FINISH COLOUR BY OWNER, COLOUR TO BE CLASSED AS "MEDIUM".



**EAVE CONSTRUCTION NCC VOLUME 2 PART 3.5.3.5**  
EAVE WIDTH OVERHANG - 600mm

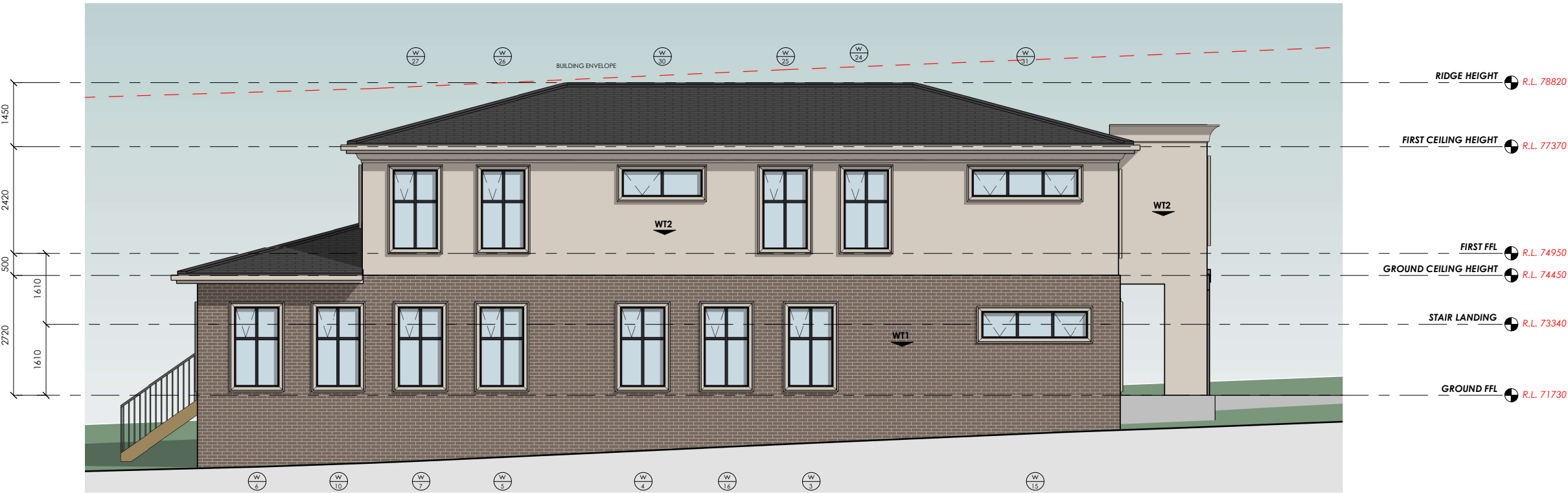
EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET TRIMMERS LOCATED WITHIN 1200mm of EXTERNAL CORNERS TO BE SPACED @ 500mm CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF EXTERNAL CORNERS @ 200mm CENTERS, REMAINDER OF SHEET - 300mm CENTERS

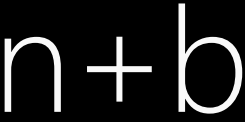
**COLORBOND CUSTOM ORB ROOF CLADDING**  
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562 COLOUR BY OWNER, COLOUR TO BE CLASSED AS "DARK"

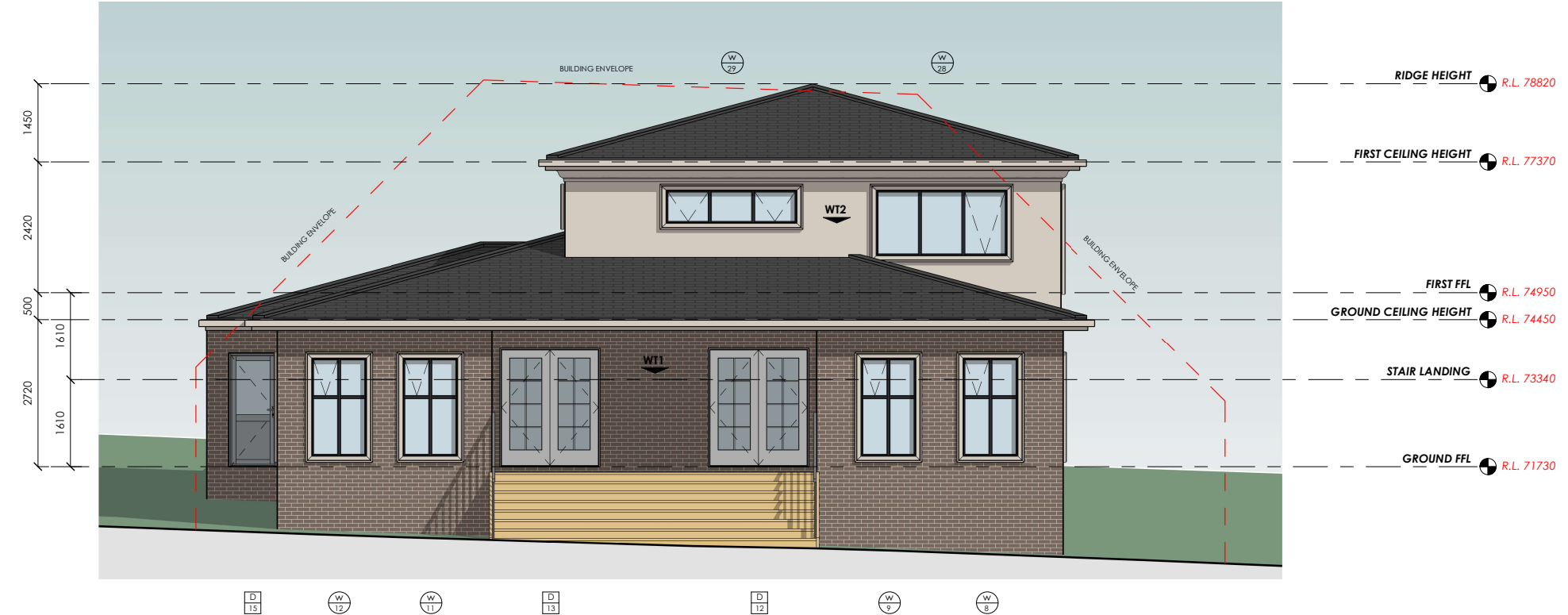
**SELECTED ALUMINIUM FRAMED WINDOWS & DOORS**  
NCC VOLUME 2 PART 3.6 POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED. REVEALS AS SELECTED. ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288 ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS

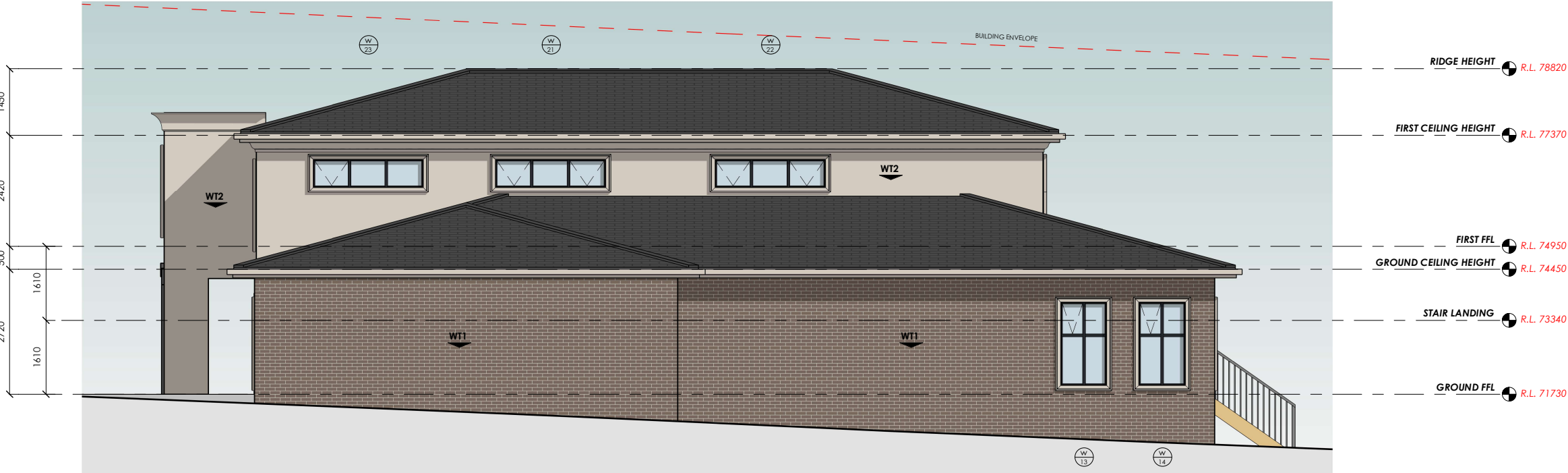


**WEST ELEVATION**  
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				Drawn <b>NJB</b>	Issue Date <b>01/09/21</b>	Project No. <b>TBA</b>	Revision <b>A</b>	



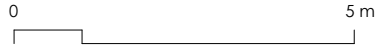
**NORTH ELEVATION**  
Scale 1 : 100



**EAST ELEVATION**  
Scale 1 : 100

**WALL | FACADE MATERIALS & FINISHES**

- WT-1** BRICK VENEER, COLOUR & STYE BY OWNER.
- WT-2** MASTERWALL 75mm CLADDING, RENDER/PAINT TO FINISH COLOUR BY OWNER, COLOUR TO BE CLASSED AS "MEDIUM".



**EAVE CONSTRUCTION NCC VOLUME 2 PART 3.5.3.5**  
EAVE WIDTH OVERHANG - 600mm

EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET TRIMMERS LOCATED WITHIN 1200mm of EXTERNAL CORNERS TO BE SPACED @ 500mm CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF EXTERNAL CORNERS @ 200mm CENTERS, REMAINDER OF SHEET - 300mm CENTERS

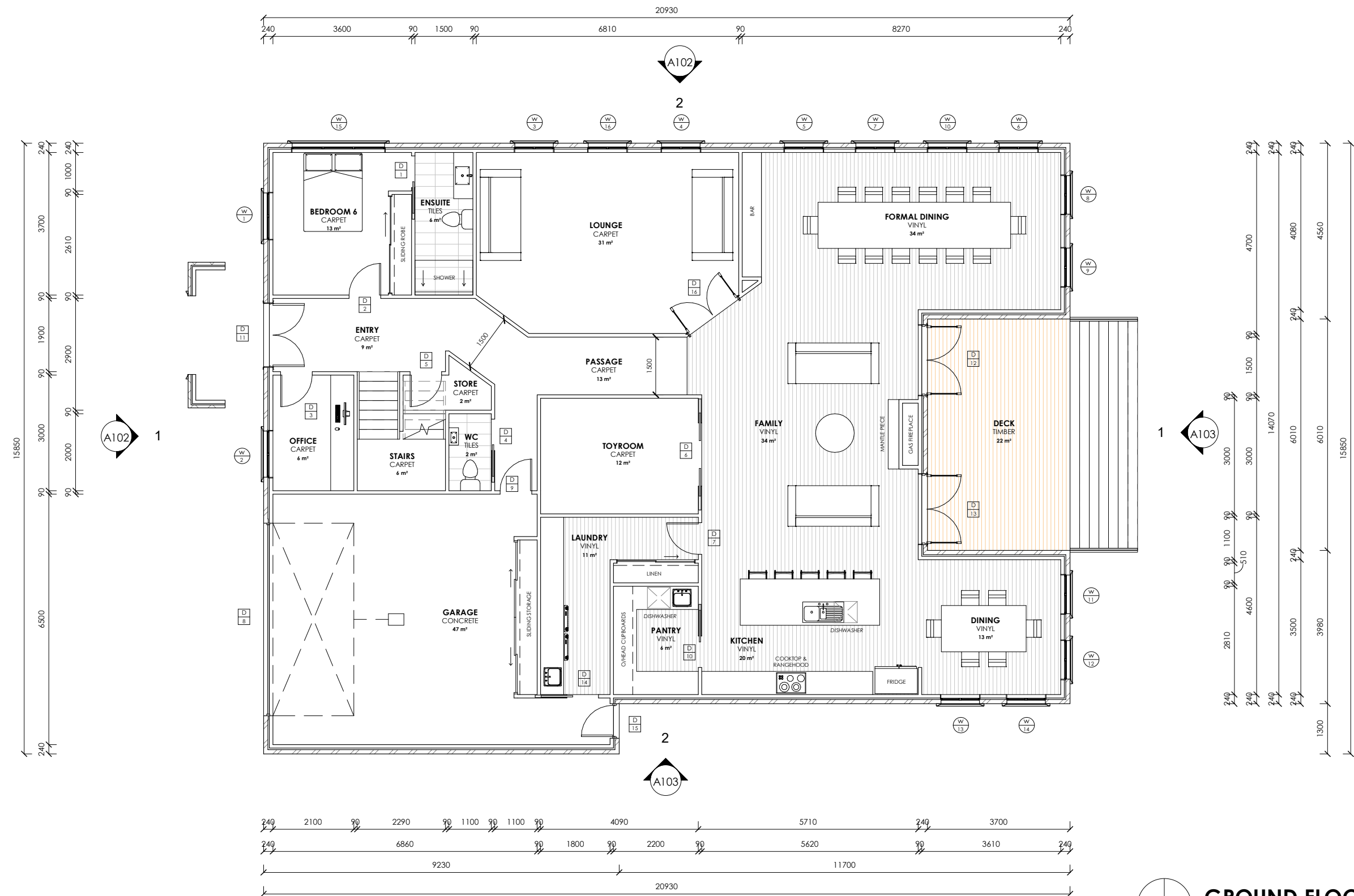
**COLORBOND CUSTOM ORB ROOF CLADDING**  
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562 COLOUR BY OWNER, COLOUR TO BE CLASSED AS "DARK"

**SELECTED ALUMINIUM FRAMED WINDOWS & DOORS**  
NCC VOLUME 2 PART 3.6 POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED. REVEALS AS SELECTED. ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288  
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS

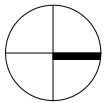
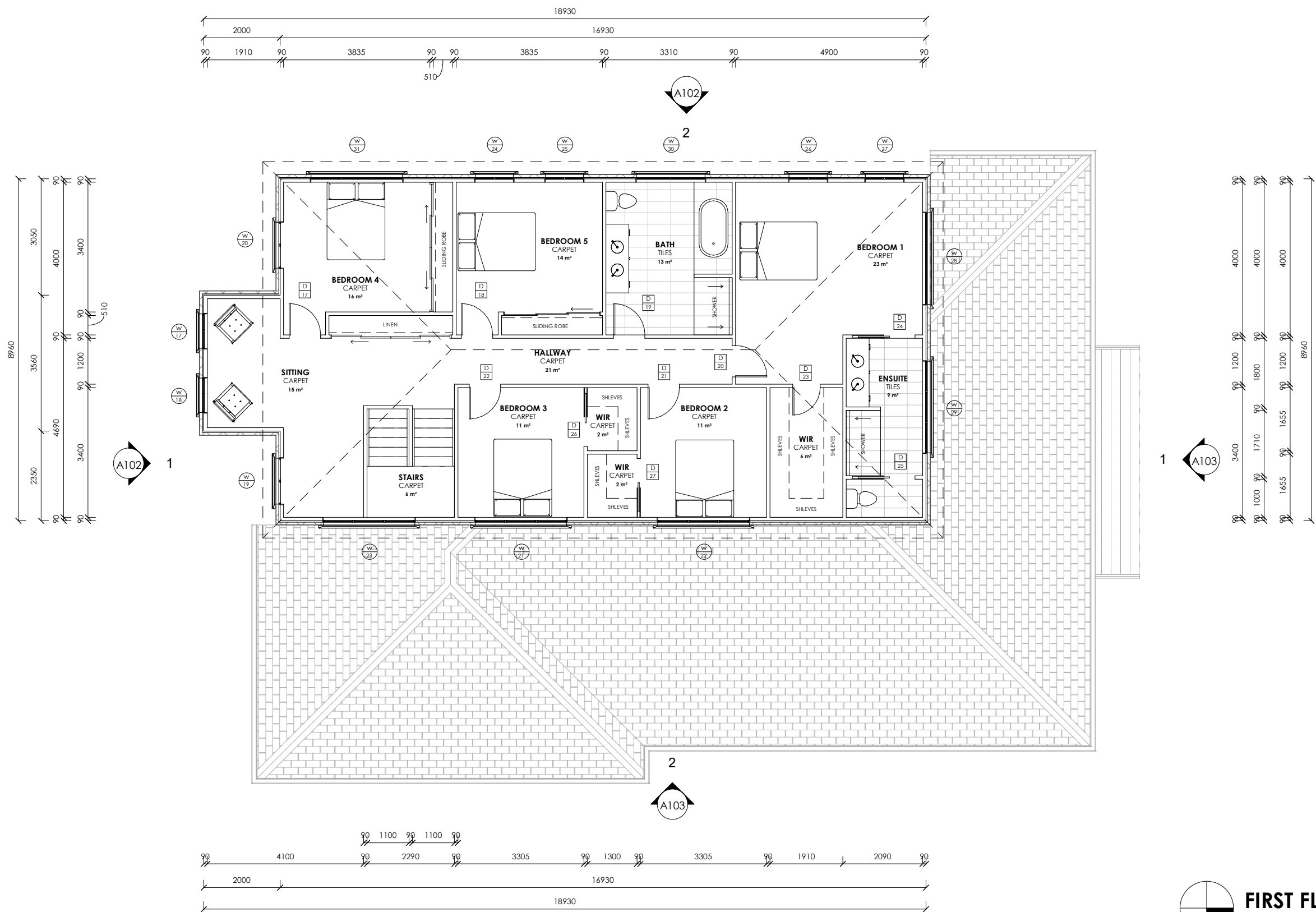
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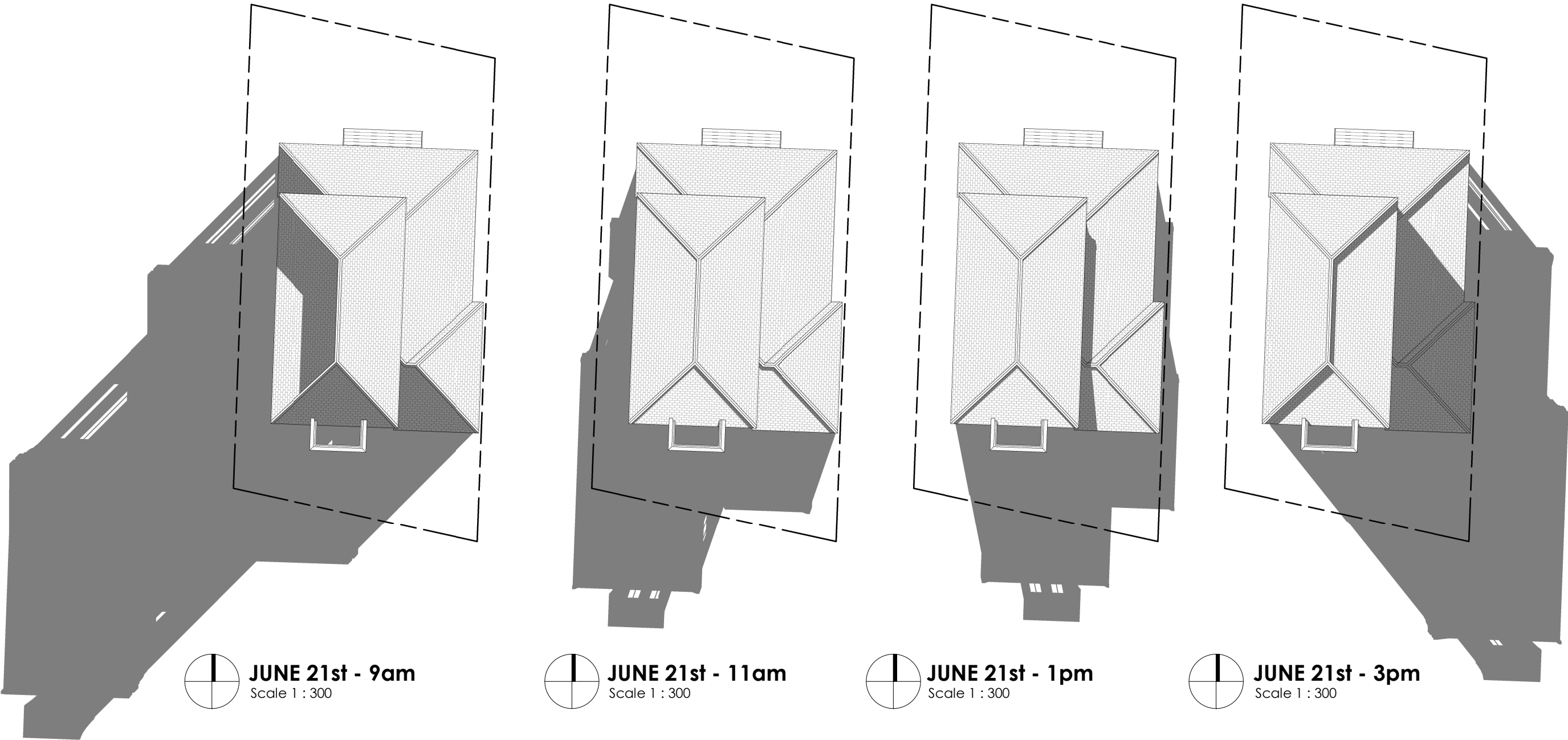
**GROUND FLOOR PLAN**  
Scale 1 : 100

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	Drawn	Issue Date	Project No.	Revision											
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**FIRST FLOOR PLAN**  
Scale 1 : 100

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						Drawn <b>NJB</b>	Issue Date <b>01/09/21</b>	Project No. <b>TBA</b>	Revision <b>A</b>