

3.1 PLANNING APPLICATIONS APPROVED UNDER DELEGATED AUTHORITY	2
3.1.1 DELEGATED APPROVALS	2
4.1 PA2021.0075 - 27 LEARY AVENUE STONY RISE - RESIDENTIAL (SINGLE DWELLING)	4
4.1.1 APPLICATION - PA2021.0075 - 27 LEARY AVENUE	4
4.2 PA2021.0066 - 26 TRITON ROAD EAST DEVONPORT - RESIDENTIAL (MULTIPLE DWELLINGS X 2)	19
4.2.1 APPLICATION - PA2021.0066 - 26 TRITON ROAD	19
4.3 PA2021.0077 - 2 WOODLAND GROVE TUGRAH - RESIDENTIAL (OUTBUILDING)	38
4.3.1 APPLICATION - PA2021.0077 - 2 WOODLAND GROVE	38

Application No.	Location	Development	Approval Date
PA2021.0001	3 Wattle Bank Close, Spreyton	Residential (dwelling)	22/02/2021
PA2021.0002	39a Don Road, Devonport	Bulky Good Sales (showroom and warehouse) including demolition of existing building.	24/02/2021
PA2021.0006	113 Steele Street, Devonport	Residential (multiple dwellings) - 2 additional units	29/04/2021
PA2021.0007	1a Sorell Street, Devonport	Two lot subdivision and associated dwelling development	31/03/2021
PA2021.0008	45 Sorell Street, Devonport	Residential (multiple dwellings x 2)	25/03/2021
PA2021.0009	23 Kelcey Tier Road, Spreyton	Subdivision - 21 lots - (stage 1)	7/04/2021
PA2021.0011	109 Gunn Street, Devonport	Residential (additional dwelling and alterations and additions to existing dwelling)	23/03/2021
PA2021.0012	28 Forest Heights Drive, Tugrah	Residential (single dwelling)	1/04/2021
PA2021.0013	Site 14 - 6 Wright Street, East Devonport	Visitor Accommodation (carport and patio)	10/05/2021
PA2021.0014	11 Stony Rise Road, Quoiba	Residential (shed)	9/04/2021
PA2021.0015	37 Melrose Road, Aberdeen	Boundary Adjustment	31/03/2021
PA2021.0016	3-11 Jiloa Way, Don	Educational and Occasional Care (new classroom additions to existing school)	28/04/2021
PA2021.0017	125 Tarleton Street, East Devonport	2 lot subdivision	29/04/2021
PA2021.0018	82-96 Wright Street, East Devonport	Demolition (existing office and cool room building)	8/04/2021
PA2021.0020	113 Don Heads Road, Don	Residential (outbuilding and retaining wall)	23/04/2021
PA2021.0021	18 Rooke Street, Devonport	Residential (dwelling on first floor)	1/04/2021
PA2021.0022	18 Rooke Street, Devonport	Advertising signage	22/04/2021
PA2021.0023	6 Coles Beach Close, Devonport	Boundary adjustment	12/04/2021
PA2021.0024	134 Tarleton Street, East Devonport	Food Services (alterations and additions)	20/05/2021
PA2021.0025	3 Kimpton Street, Spreyton	2 Lot Subdivision	16/04/2021
PA2021.0026	81-83 Devonport Road, Quoiba	Resource Processing (building modifications)	19/04/2021
PA2021.0027	35 Fleetwood Drive, Spreyton	4 lot subdivision	6/05/2021
PA2021.0028	18 Eveline Court, Devonport	Residential (multiple dwellings x 12)	16/06/2021
PA2021.0029	38/2-12 North Caroline Street, East Devonport	Residential (multiple dwellings) unit	26/04/2021
PA2021.0031	42 Leary Avenue, Stony Rise	2 lot subdivision	10/05/2021
PA2021.0032	57 Kelcey Tier Road, Spreyton	13 lot subdivision	28/04/2021
PA2021.0033	24 Nicholls Street, Devonport	Residential (multiple dwelling) additions	29/04/2021

PA2021.0035	82 Oldaker Street, Devonport	Business and Professional (office extension)	12/05/2021
PA2021.0036	260 Steele Street, Devonport	Community Meeting and Entertainment (Men's Shed)	18/05/2021
PA2021.0038	100-102 North Fenton Street, Devonport	Business and Professional Services (Chiropractor)	24/05/2021
PA2021.0039	28 Mary Street, East Devonport	Residential (garage)	27/05/2021
PA2021.0040	119-121 Mersey Main Road, Spreyton	2 lot subdivision	21/06/2021
PA2021.0042	13 Henry Street, Devonport	Visitor Accommodation	30/04/2021
PA2021.0043	72 Sheffield Road, Spreyton	Residential (shed extension)	17/05/2021
PA2021.0044	104 North Street, Devonport	Subdivision and Consolidation - creation of one additional lot	17/06/2021
PA2021.0045	50 Formby Road, Devonport	Change of Use - Business and professional services (general offices - stage 1)	17/05/2021
PA2021.0046	74 Sheffield Road, Spreyton	Transport Distribution & Depot (Demolition of existing office and new Office and loading dock extension)	4/06/2021
PA2021.0047	155 Forth Road, Don	Residential (demolition of existing dwelling - Local Heritage Code and construction of new dwelling)	3/06/2021
PA2021.0049	210 Kelcey Tier Road, Spreyton	Residential (outbuilding)	26/05/2021
PA2021.0050	90 Nixon Street, Devonport	Residential (outbuilding)	21/06/2021
PA2021.0051	154 Waverley Road, Don	Residential (outbuilding)	8/06/2021
PA2021.0052	116 Stewart Street, Devonport	Residential (alterations and additions to single dwelling)	9/06/2021
PA2021.0053	114 Sheffield Road, Spreyton	Subdivision - excision of existing dwelling	10/06/2021
PA2021.0054	125 George Street, Devonport	Residential (outbuilding)	16/06/2021
PA2021.0055	144 River Road, Ambleside	Residential (carport and front fence)	24/06/2021
PA2021.0056	73 Mary Street, East Devonport	Residential (alterations and additions to aged care facility)	9/06/2021
PA2021.0057	23 Hilltop Avenue, Devonport	Demolition (garage)	7/06/2021
PA2021.0058	100 Wenvoe Street, Devonport	Residential (shed addition)	24/06/2021
PA2021.0059	9 Gunn Street, Devonport	Demolition of dwelling and shed	11/06/2021
PA2021.0060	16 Triton Road, East Devonport	Visitor Accommodation	8/06/2021
PA2021.0063	19 North Caroline Street, East Devonport	Residential (assisted living)	18/06/2021
PA2021.0065	21 Bay Drive, Quoiba	Building addition (storage)	23/06/2021

Office use
Application no. _____
Date received: _____
Fee: _____
Permitted/Discretionary _____



Devonport City Council

Land Use Planning and Approvals Act 1993 (LUPAA)

Devonport Interim Planning Scheme 2013

Application for Planning Permit

Use or Development Site

Street Address: 27 LEARY AVENUE
STONY RISE

Certificate of Title Reference No.: VOL. 145 993 - 28. ^{FOLIO.}

Applicant's Details

Full Name/Company Name: EMERIC ZAMBONI

Postal Address: 156 TARLETON RD
TARLETON 7340.

Telephone: 0455 44 3066

Email: EMERIC.ZAMBONI@G.MAIL.COM.

Owner's Details (if more than one owner, all names must be provided)

Full Name/Company Name: _____

Postal Address: _____

Telephone: _____

Email: _____

ABN: 47 611 446 016

PO Box 604

137 Rooke Street

Devonport TAS 7310

Telephone 03 6424 0511

www.devonport.tas.gov.au

council@devonport.tas.gov.au

Sufficient information must be provided to enable assessment against the requirements of the planning scheme.

Please provide one copy of all plans with your application.

Assessment of an application for a Use or Development

What is proposed?:

PRIVATE DWELLING. - 3 BED / 2 BATH.

Description of how the use will operate:

3 BEDROOM / 2 BATHROOM. PRIVATE DWELLING.

Use Class (Office use only):

Value of use and/or development

\$ ESTIMATE 250,000

Notification of Landowner/s (s.52 *Land Use Planning and Approvals Act, 1993*)

If land is not in applicant's ownership

I, _____ declare that the owner/s
of the land has/have been notified of my intention to make this application.

Applicant's signature: _____ Date: _____

If the application involves land owned or administered by the Devonport City Council

Devonport City Council consents to the making of this permit application.

General Manager's signature: _____ Date: _____

If the application involves land owned or administered by the Crown

Crown consent must be included with the application.

Signature

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that:

- if incomplete, the application may be delayed or rejected; and
- more information may be requested in accordance with s.54 (1) of LUPAA.

PUBLIC ACCESS TO PLANNING DOCUMENTS - DISCRETIONARY PLANNING APPLICATIONS (s.57 of LUPAA)

I understand that all documentation included with a discretionary application will be made available for inspection by the public.

Applicant's signature:  Date: _____

PRIVACY ACT

The personal information requested on this form is being collected by Council for processing applications under the *Land Use and Planning Approvals Act 1993* and will only be used in connection with the requirements of this legislation. Council is to be regarded as the agency that holds the information.

Fee & payment options

DD

Pay by Direct Deposit – BSB: 067-402 Account No. 000 000 13 – Please quote your application number.



Pay in Person at Service Tasmania – Present this notice to any Service Tasmania Centre, together with your payment. See www.service.tas.gov.au for opening hours.



Pay by Phone – Please contact the Devonport City Council offices on 64240511 during office hours, Monday to Friday.



Pay by Post – Cheques should be made payable to Devonport City Council and posted to PO Box 604, Devonport, Tasmania, 7310.

Applications may be lodged by email to Council - council@devonport.tas.gov.au
The following information and plans must be provided as part of an application unless the planning authority is satisfied that the information or plan is not relevant to the assessment of the application:

Application fee	
Completed Council application form	
Copy of certificate of title, including title plan and schedule of easements	
A site analysis and site plan at an acceptable scale on A3 or A4 paper (1 copy) showing:	
<ul style="list-style-type: none"> The existing and proposed use(s) on the site 	
<ul style="list-style-type: none"> The boundaries and dimensions of the site 	
<ul style="list-style-type: none"> Typography including contours showing AHD levels and major site features 	
<ul style="list-style-type: none"> Natural drainage lines, watercourses and wetlands on or adjacent to the site 	
<ul style="list-style-type: none"> Soil type 	
<ul style="list-style-type: none"> Vegetation types and distribution, and trees and vegetation to be removed 	
<ul style="list-style-type: none"> The location and capacity of any existing services or easements on the site or connected to the site 	
<ul style="list-style-type: none"> Existing pedestrian and vehicle access to the site 	
<ul style="list-style-type: none"> The location of existing adjoining properties, adjacent buildings and their uses 	
<ul style="list-style-type: none"> Any natural hazards that may affect use or development on the site 	
<ul style="list-style-type: none"> Proposed roads, driveways, car parking areas and footpaths within the site 	
<ul style="list-style-type: none"> Any proposed open space, communal space, or facilities on the site 	
<ul style="list-style-type: none"> Main utility service connection points and easements 	
<ul style="list-style-type: none"> Proposed subdivision lot boundaries, where applicable 	
<ul style="list-style-type: none"> Details of any proposed fencing 	
Where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 on A3 or A4 paper (1 copy) showing:	
<ul style="list-style-type: none"> Setbacks of buildings to property (title) boundaries 	
<ul style="list-style-type: none"> The internal layout of each building on the site 	
<ul style="list-style-type: none"> The private open space for each dwelling 	
<ul style="list-style-type: none"> External storage spaces 	
<ul style="list-style-type: none"> Car parking space location and layout 	
<ul style="list-style-type: none"> Elevations of every building to be erected 	
<ul style="list-style-type: none"> The relationship of the elevations to natural ground level, showing any proposed cut or fill 	
<ul style="list-style-type: none"> Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites 	
<ul style="list-style-type: none"> Materials and colours to be used on roofs and external walls 	
A plan of the proposed landscaping including:	
<ul style="list-style-type: none"> Planting concept 	
<ul style="list-style-type: none"> Paving materials and drainage treatments and lighting for vehicle areas and footpaths 	
<ul style="list-style-type: none"> Plantings proposed for screening from adjacent sites or public spaces 	
Details of any signage proposed	

CERTIFICATE OF TITLE

LAND TITLES ACT 1980

COPY



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
145993		28
EDITION	DATE OF ISSUE	
5	18-Nov-2020	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

City of DEVONPORT
Lot 28 on Sealed Plan 145993
Derivation : Part of Lot 5128, 142 Acres Gtd. to B.W. Campion
Prior CT 109276/1

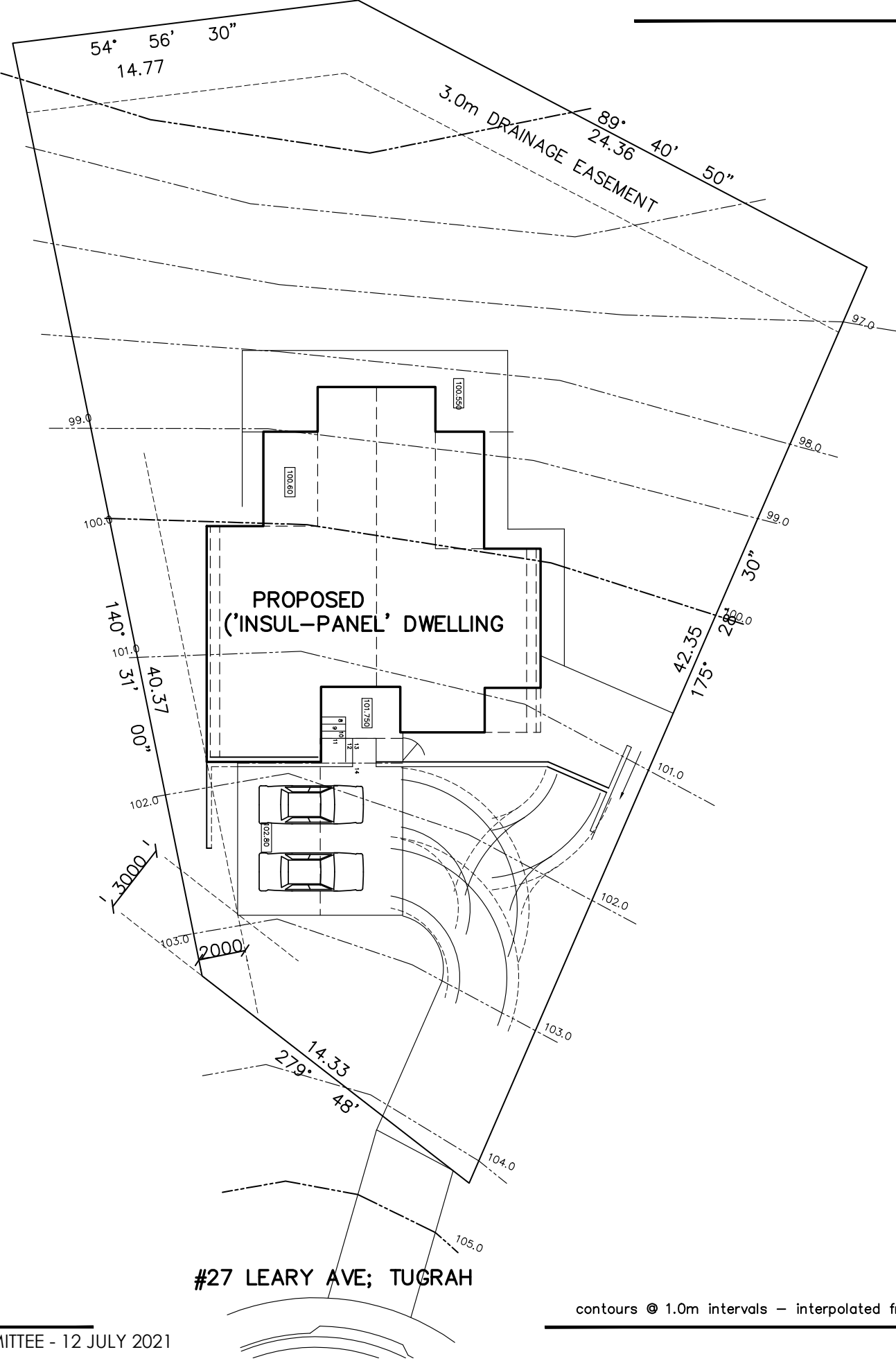
SCHEDULE 1

M848564 TRANSFER to EMERIC MIHAI ZAMBONI Registered
18-Nov-2020 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP145993 EASEMENTS in Schedule of Easements
SP145993 COVENANTS in Schedule of Easements
SP145993 FENCING PROVISION in Schedule of Easements

WARNING: BEFORE DEALING WITH THIS LAND SEARCH THE CURRENT FOLIO OF THE REGISTER



LAND TITLE REFERENCE:
P.I.D.: 2675503
C.T.: 145993/28

AREAS: SITE: 1075 m2
FLOOR (Proposed Dwelling): 163 m2
FLOOR (Deck): 32 m2
FLOOR (Courtyard & Porch): 16 m2
FLOOR (Carport): 49 m2

- DRAWING SCHEDULE:
- 01 SITE PLAN
 - 02 FLOOR PLAN
 - 03 DRAINAGE PLAN
 - 04 ELEVATIONS (1)
 - 05 ELEVATIONS (2)
 - 06 FOOTINGS
 - 07 SLABS PLAN
 - 08 ROOF PLAN
 - 09 SECTIONS & DETAILS
 - 10 LIGHTING & POWER

PRELIMINARY

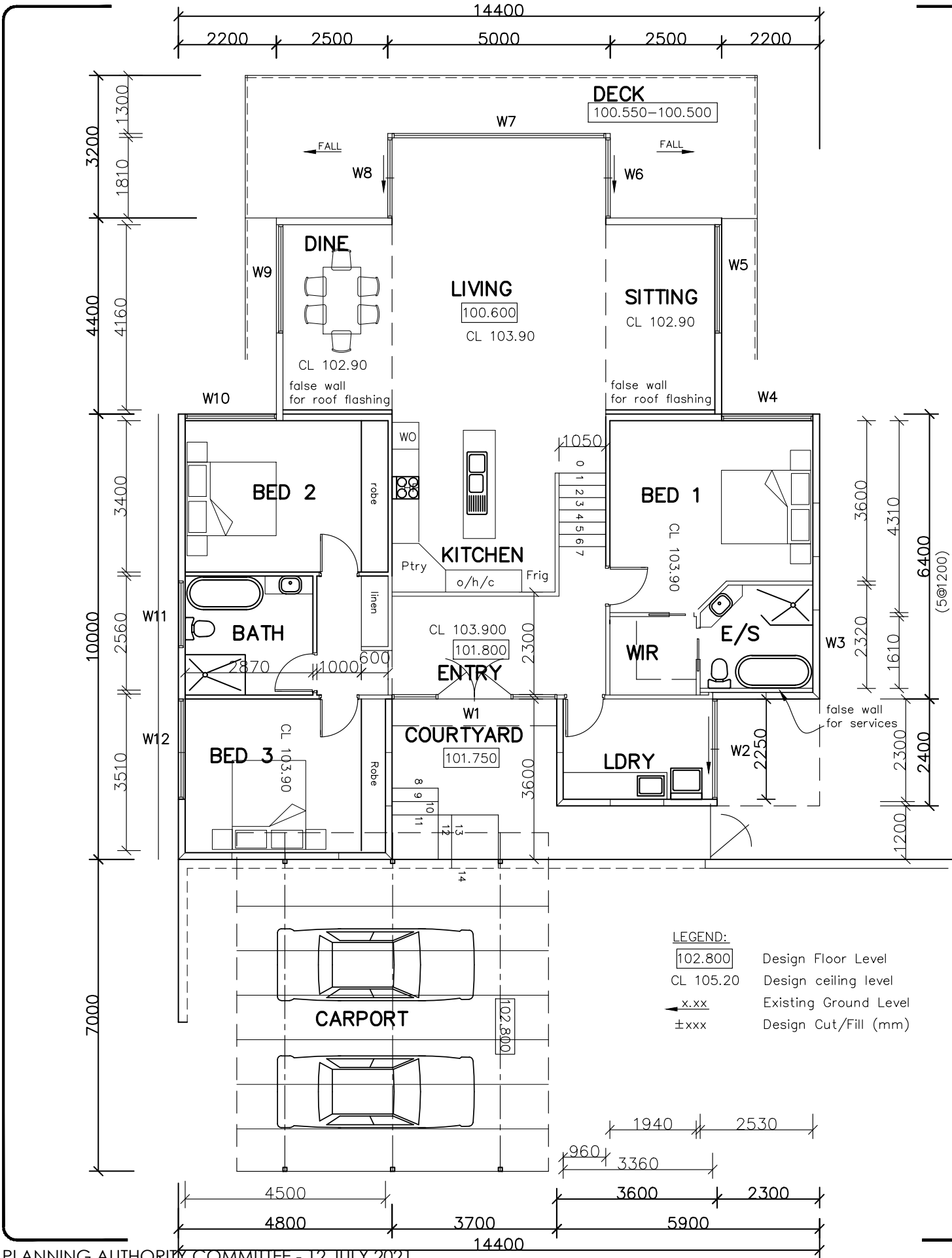
DESIGN WIND SPEED: TBC (use N3)
SOIL CLASSIFICATION: TBC (use M)
BAL: TBC (use BAL 19)
B.C.A CLIMATE ZONE: 7
ALPINE AREA: NO
KNOWN SITE HAZARDS: N/A

PLANS by: **Tas Laughlin**
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GOD HAS A PLAN FOR EVERY LIFE

PROPOSED **3-BED DWELLING**
('INSUL-PANEL' on CONCRETE)
FOR **Emeric Mahai ZAMBONI**
AT **#27 LEARY AVE; TUGRAH**

NORTH 	DRAWING SITE PLAN		DRG No. 01
	DATE 15/3/2021 SCALE 1:200	JOB No. 0321-74	Amendmt. -

contours @ 1.0m intervals – interpolated from theLIST



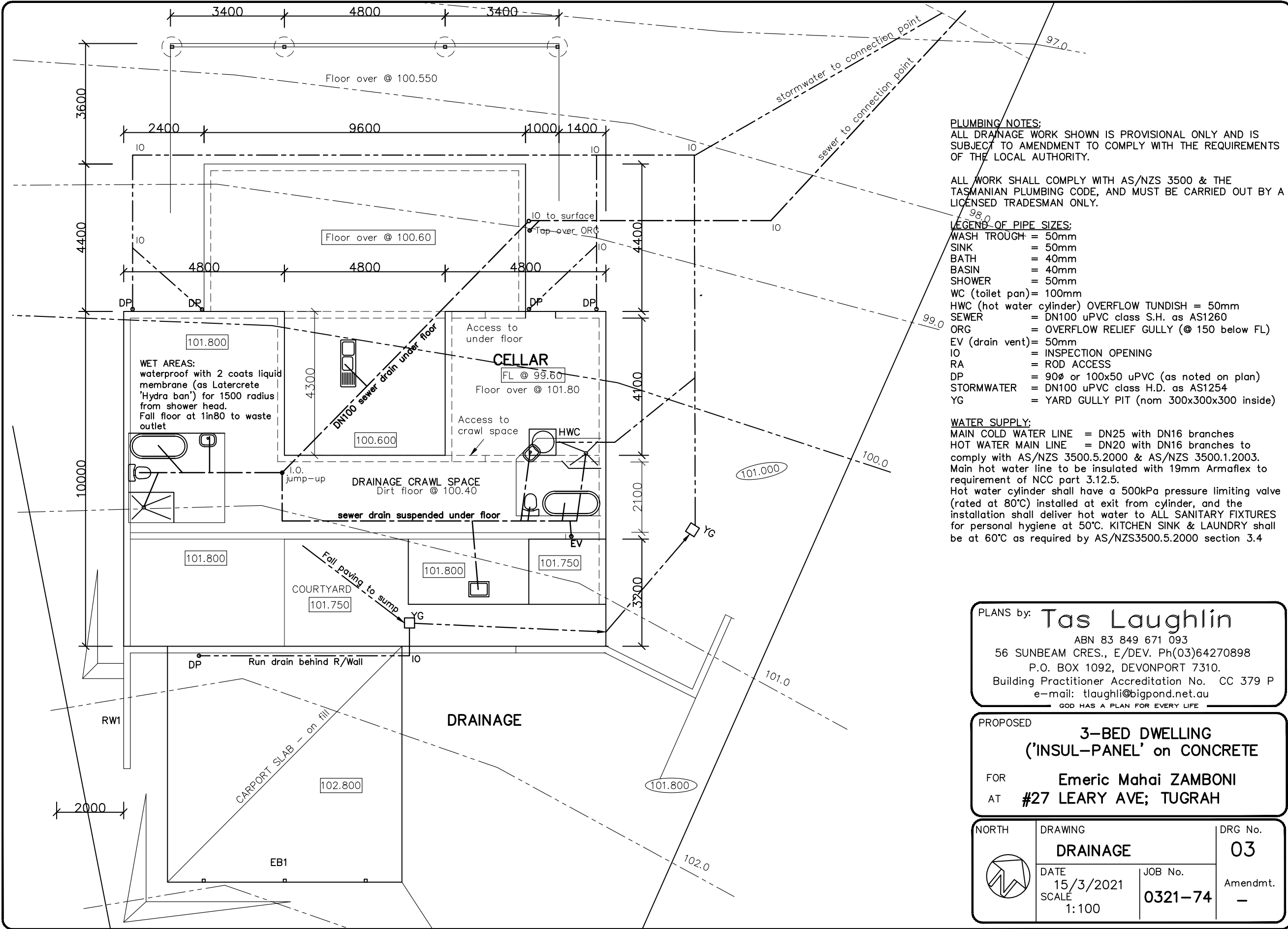
- BRIEF SPECIFICATION:**
- FOOTINGS, SLAB, & WALL BRACING to Engineer’s design & certification.
 - SITE PREPARATION: To an area to 1.0m outside building line, strip top soil (stock pile for reuse at completion of works); proof-roll sub-base & cut/fill as determined on site; compacted sand/gravel as ‘controlled fill’ (AS2870 cl 6.4.2)
 - FLOOR SLAB: concrete ‘raft’ slab on compacted fill, placed over membrane, and suspended concrete on ‘Bondek’ permanent decking.
 - EXTERNAL WALLS: ‘Insul-Living’ C/B clad insulated panels by ‘BONDOR’, fixed to panel manufacturer’s installation manual.
 - INTERNAL WALLS: 90 x 35 (MGP10) stud framing @ 450crs (Double stud at corners). 10mm plasterboard internal wall lining; Timber cornice & skirting.
 - ROOF: Timber trusses @ 5° pitch, @ 900crs. for corrugated C/B steel sheeting, designed and fixed in accordance with ABCB protocol for structural design software & to truss manufacturer’s installation manual.
 - FASCIA & EAVES: Selected colorbond profiled steel sheeting eaves lining as required.
 - INSULATION/CONDENSATION CONTROL:(Ref CBOS Designers’ Guide to condensation in Buildings)
ROOF: ‘Vapour permeable’ membrane (as Bradford ProctorWrap HT-R) over trusses & under roof battens.
CEILING: R=4.0 on top of ceiling lining. Ensure min air gap of 25mm between insulation & sarking and sarking & roof. (as fig 18.)
WALLS: (as 150 thick EPS ‘BONDOR’ panels)
 - WINDOWS: Standard domestic powder-coated aluminium frames to suit glazing as scheduled & as required by B.C.A part 3.6 & AS 1288.
 - SMOKE ALARMS: To be hard wired to 240v power supply (fitted with battery back-up) and be interconnected where two or more alarms are required by AS3786 & NCC part 3.7.2.2.
 - FITOUT: Architraves; Skirting; Doors etc. as directed by Owner.
 - WET AREAS: To floor & walls of ‘Wet Areas’ as defined in B.C.A part 3.8.1, seal/waterproof with min 2 coats liquid membrane (as ‘Hydra Ban’ by Laticrete) under tiled surfaces.
 - SERVICES: Joinery, Electrical & Plumbing to be as directed on site by Owner.
 - STEPS & STAIRS: Steps and stairs shall have max 190mm riser x min 250 going and be slip resistant to NCC part 3.9.1.3 & 4, and shall not have an opening that would allow a 125Ø sphere to pass.

PLANS by: **Tas Laughlin**
ABN 83 849 671 093
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e-mail: tlaughli@bigpond.net.au
GOD HAS A PLAN FOR EVERY LIFE

PROPOSED
3-BED DWELLING
(‘INSUL-PANEL’ on CONCRETE

FOR **Emeric Mahai ZAMBONI**
AT **#27 LEARY AVE; TUGRAH**

NORTH 	DRAWING	DRG No.
	FLOOR PLAN	02
	DATE 15/3/2021 SCALE 1:100	JOB No. 0321-74 Amendmt. –



PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.

ALL WORK SHALL COMPLY WITH AS/NZS 3500 & THE TASMANIAN PLUMBING CODE, AND MUST BE CARRIED OUT BY A LICENSED TRADESMAN ONLY.

- LEGEND OF PIPE SIZES:**
WASH TROUGH = 50mm
SINK = 50mm
BATH = 40mm
BASIN = 40mm
SHOWER = 50mm
WC (toilet pan) = 100mm
HWC (hot water cylinder) OVERFLOW TUNDISH = 50mm
SEWER = DN100 uPVC class S.H. as AS1260
ORG = OVERFLOW RELIEF GULLY (@ 150 below FL)
EV (drain vent) = 50mm
IO = INSPECTION OPENING
RA = ROD ACCESS
DP = 90° or 100x50 uPVC (as noted on plan)
STORMWATER = DN100 uPVC class H.D. as AS1254
YG = YARD GULLY PIT (nom 300x300x300 inside)

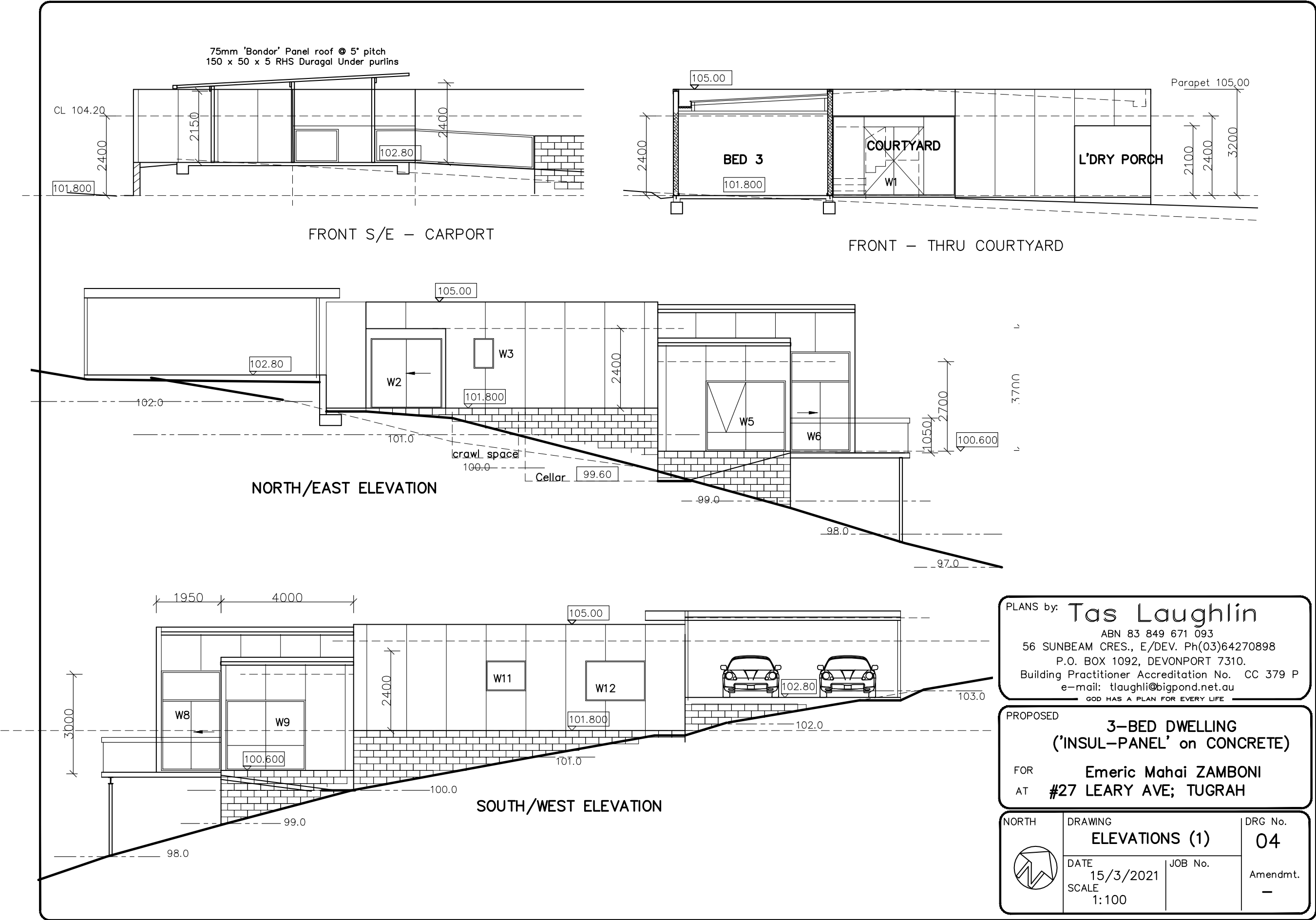
WATER SUPPLY:
MAIN COLD WATER LINE = DN25 with DN16 branches
HOT WATER MAIN LINE = DN20 with DN16 branches to comply with AS/NZS 3500.5.2000 & AS/NZS 3500.1.2003. Main hot water line to be insulated with 19mm Armaflex to requirement of NCC part 3.12.5.
Hot water cylinder shall have a 500kPa pressure limiting valve (rated at 80°C) installed at exit from cylinder, and the installation shall deliver hot water to ALL SANITARY FIXTURES for personal hygiene at 50°C. KITCHEN SINK & LAUNDRY shall be at 60°C as required by AS/NZS3500.5.2000 section 3.4

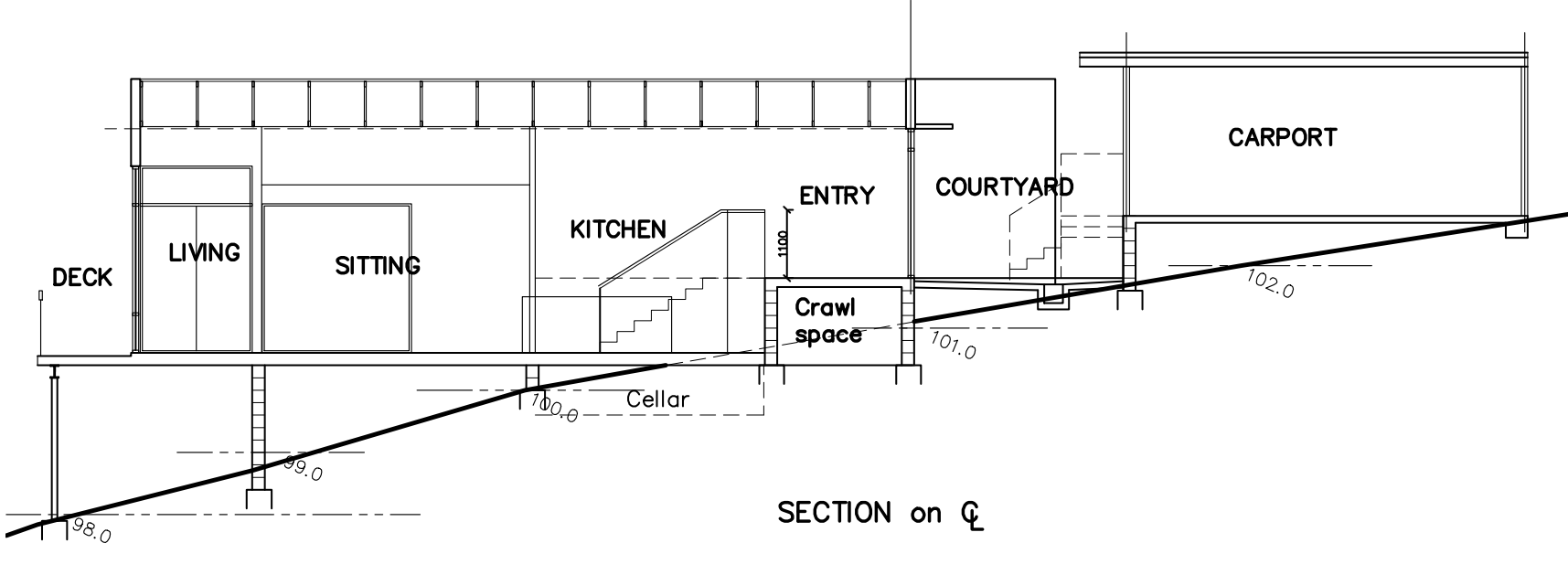
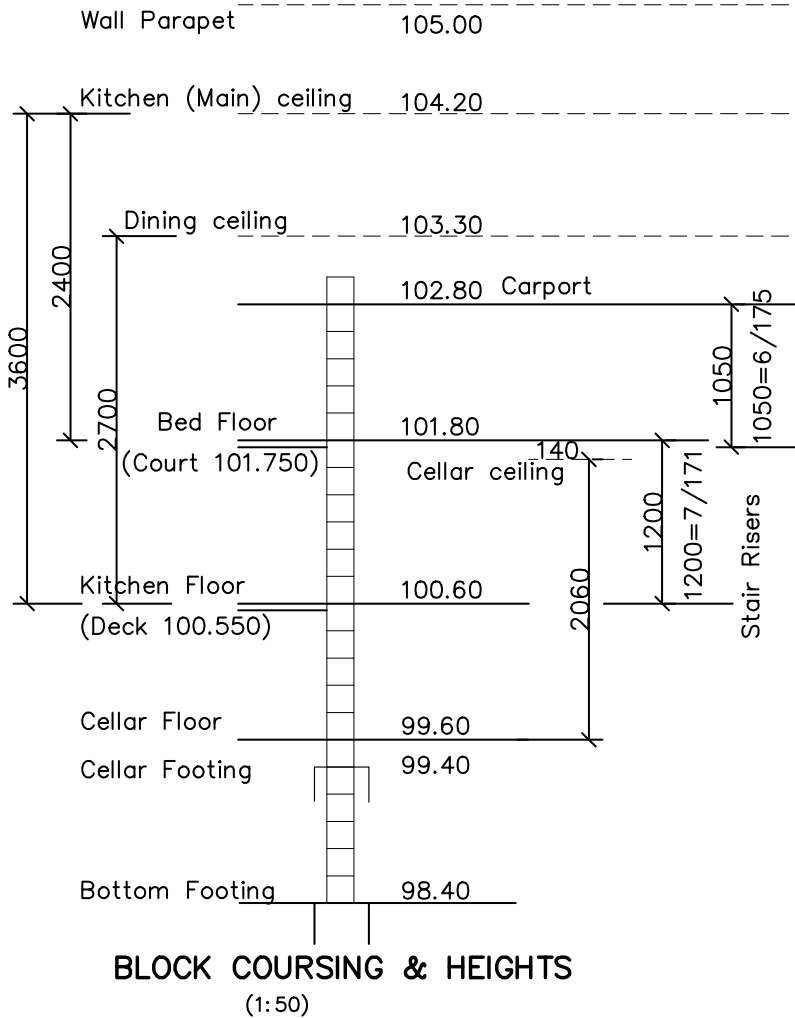
PLANS by: **Tas Laughlin**
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GOD HAS A PLAN FOR EVERY LIFE

PROPOSED
3-BED DWELLING
(‘INSUL-PANEL’ on CONCRETE

FOR **Emeric Mahai ZAMBONI**
AT **#27 LEARY AVE; TUGRAH**

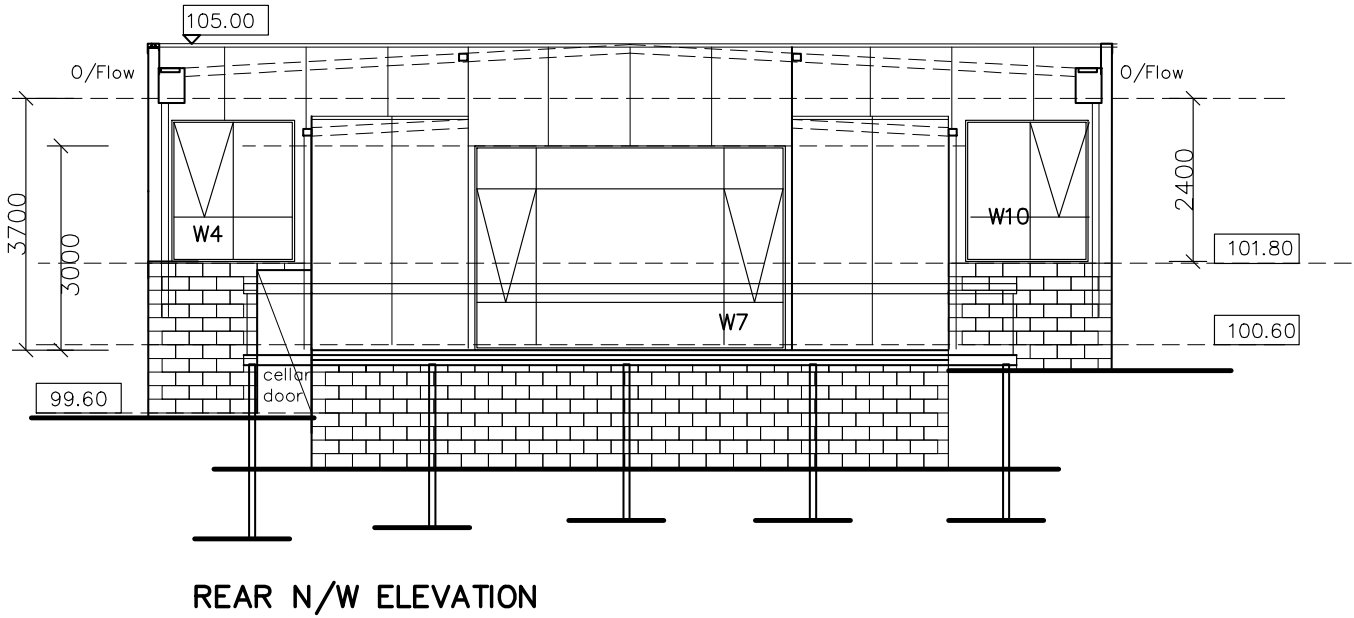
NORTH 	DRAWING DRAINAGE		DRG No. 03
	DATE 15/3/2021	JOB No. 0321-74	
	SCALE 1:100	Amendmt. -	





WINDOW SCHEDULE:

No	Room	Ht x Wdth	Sash	Area	Elevation	Glass	Lintel
W1	Entry	3000x3600	F/Dr/Dr/F;H/L	10.80	S/E	5/8/5 safetyA	Panel
W2	Laundry	2100x2100	S/Door	4.41	N/E	6.38 lam safetyA	Panel
W3	EnSuite	1200x0400	Awn	0.48	N/E	4mm obs	Panel
W4	Bed 1	2100x1800	Awn	3.78	N/W	4/10/4 IGU	Panel
W5	Sitting	2100x2400	Awn/Fix	5.04	N/E	4/10/4 IGU	Panel
W6	Living	3000x1800	S/D;H/L	5.40	N/E	5/8/5 safetyA	Panel
W7	Living	3000x4800	Awn/F/Awn;H/L	14.40	N/W	8.38 lam comfort	Panel
W8	Living	3000x1800	S/D;H/L	5.40	S/W	5/8/5 safetyA	Panel
W9	Dining	2100x2400	Awn/Fix	5.04	S/W	4/10/4 IGU	Panel
W10	Bed 2	2100x1800	Awn	3.78	N/W	4/10/4 IGU	Panel
W11	Bath	0900x1200	Awn	1.08	S/W	4/10/4 obs	Panel
W12	Bed 3	1200x1800	Awn	2.16	S/W	4/10/4 IGU	Panel



PLANS by: **Tas Laughlin**

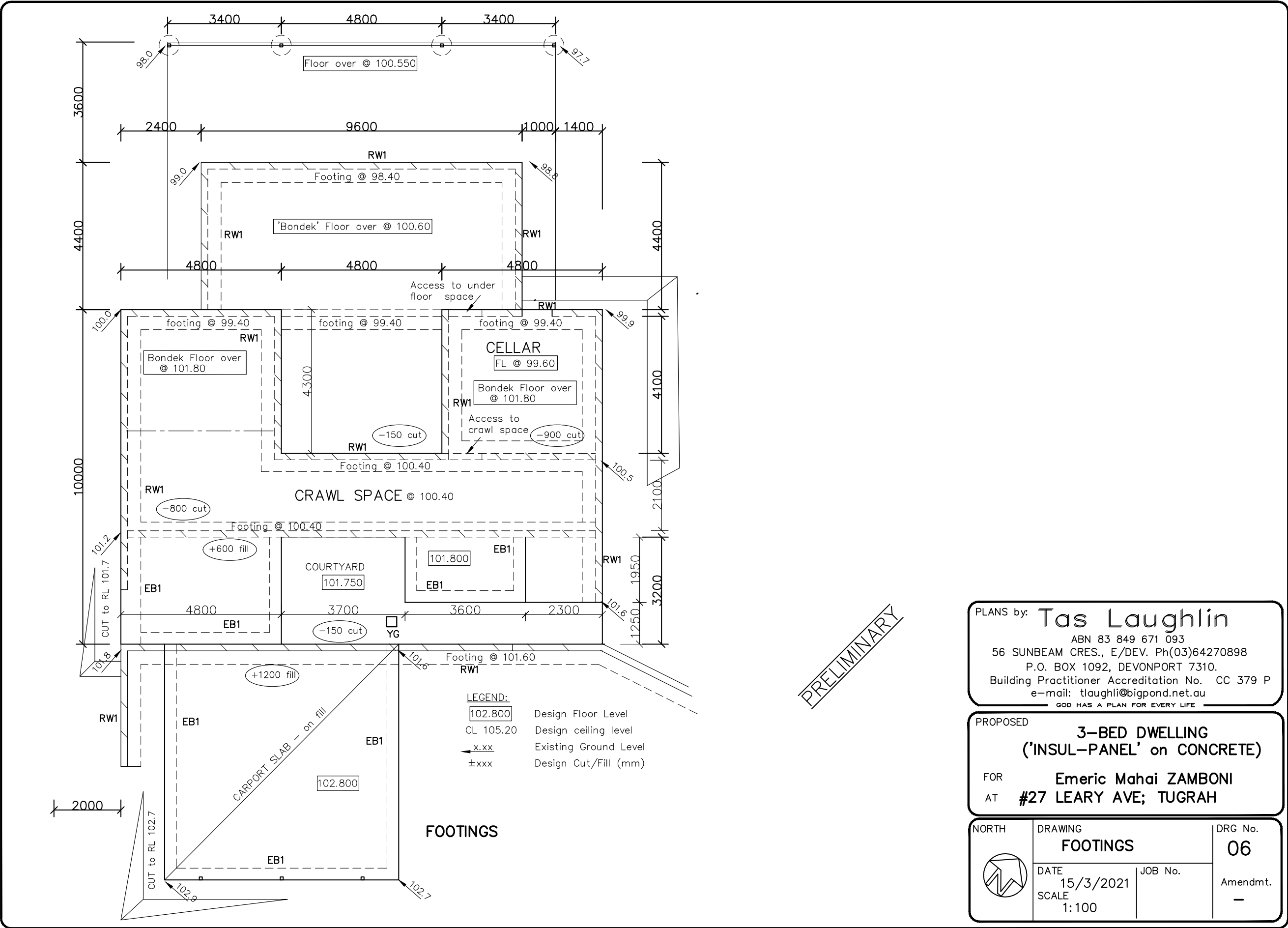
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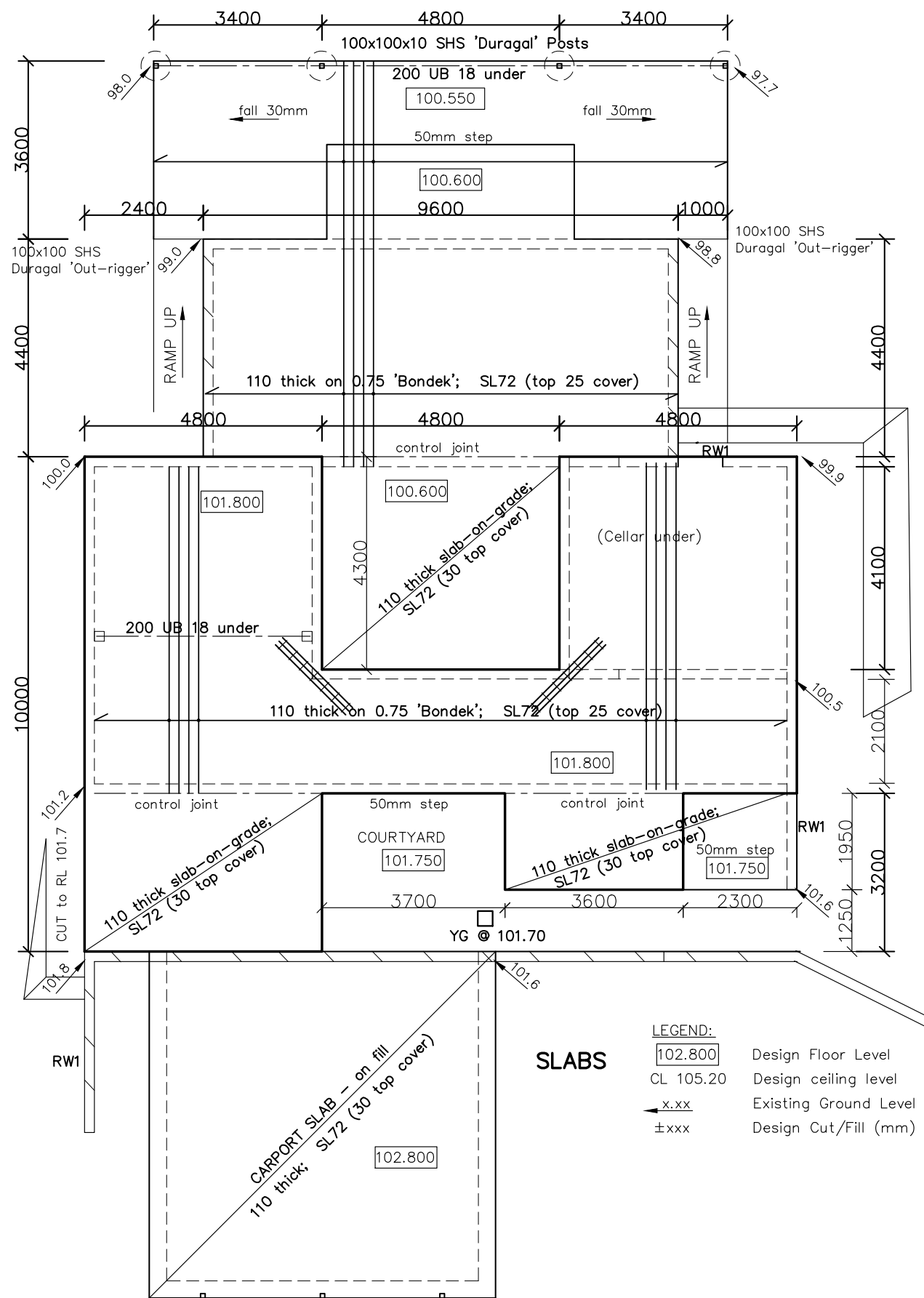
PROPOSED

3-BED DWELLING
('INSUL-PANEL' on CONCRETE)

FOR **Emeric Mahai ZAMBONI**
AT **#27 LEARY AVE; TUGRAH**

NORTH	DRAWING		DRG No.
	ELEVATIONS (2)		05
	DATE	JOB No.	Amendmt.
	15/3/2021		
	SCALE		
	1:100		





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PROPOSED
3-BED DWELLING
('INSUL-PANEL' on CONCRETE)

FOR **Emeric Mahai ZAMBONI**
AT **#27 LEARY AVE; TUGRAH**

NORTH

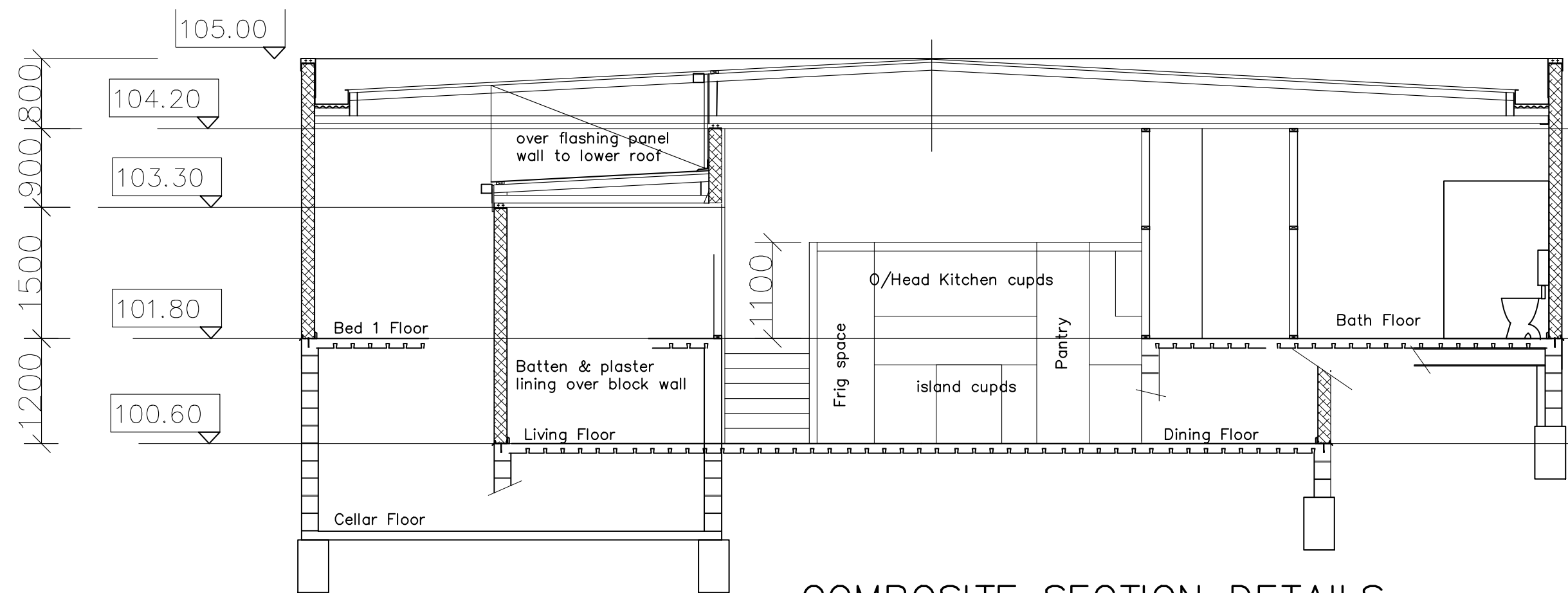
DRAWING
SLABS

DATE
15/3/2021

SCALE
1:100

DRG No.
07

Amendmt.
-

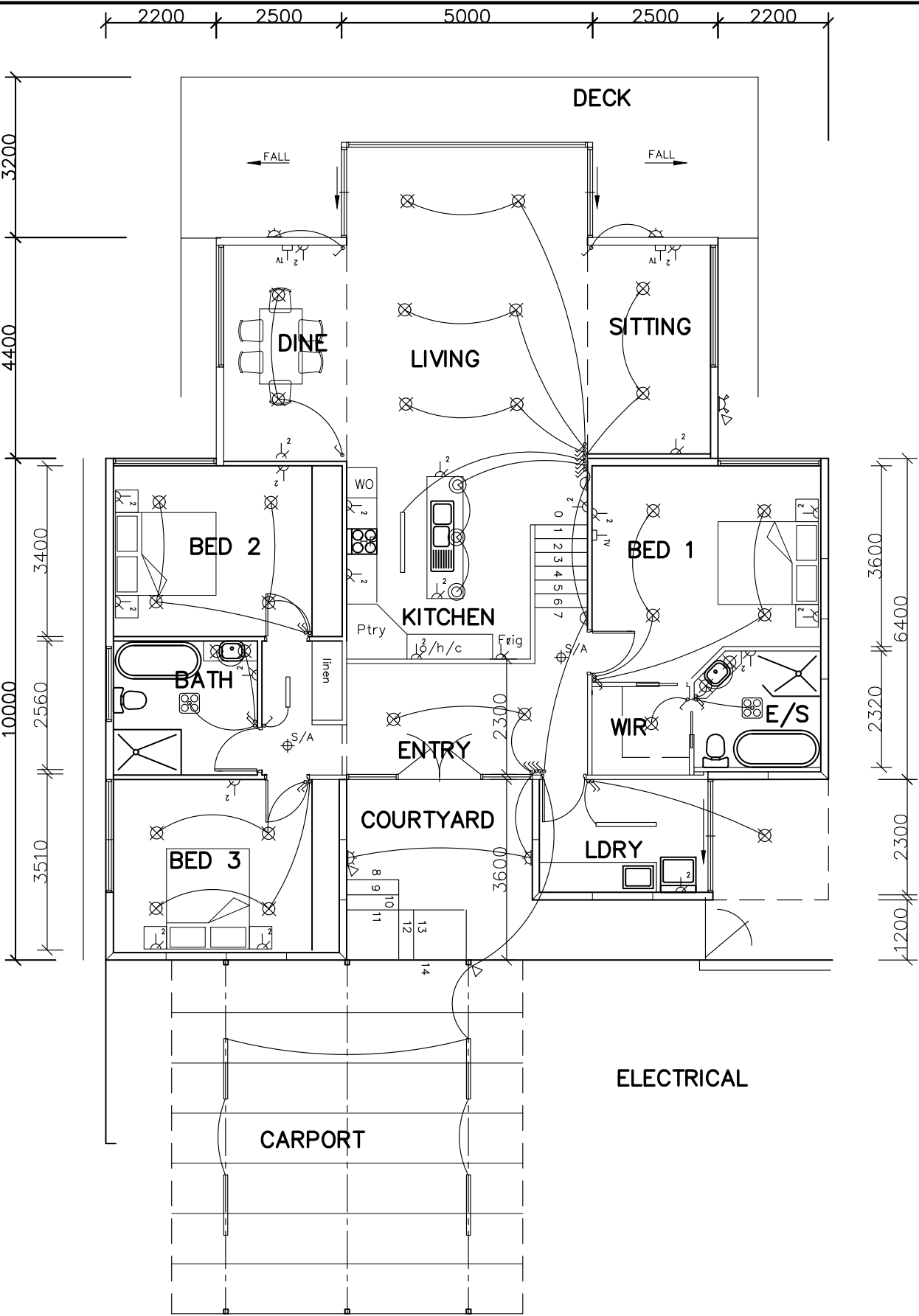


COMPOSITE SECTION DETAILS
1:50

PLANS by: **Tas Laughlin**
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('INSUL-PANEL' on CONCRETE)
FOR **Emeric Mahai ZAMBONI**
AT **#27 LEARY AVE; TUGRAH**

NORTH 	DRAWING SECTION/DETAILS		DRG No. 09
	DATE 15/3/2021 SCALE 1:50	JOB No. 0321/74	Amendmt. —



LIGHTING SCHEDULE:

ROOM	AREA	IPLrate
Carport	49.0 @ 4 =	196 W
Courtyard	12.9 @ 4 =	51 W
Entry	11.0 @ 5 =	55 W
Living/Kit	49.0 @ 5 =	245 W
Dining	9.5 @ 5 =	47 W
Sitting	9.5 @ 5 =	47 W
Bed 1	18.5 @ 5 =	92 W
En-Suite	5.5 @ 5 =	27 W
W.I.R	3.4 @ 5 =	17 W
Laundry	7.6 @ 5 =	38 W
Laundry (Porch)	5.0 @ 4 =	20 W
Bed 2	13.6 @ 5 =	68 W
Passage	3.1 @ 5 =	15 W
Bath	7.3 @ 5 =	36 W
Bed 3	14.0 @ 5 =	70 W
Cellar	18.5 @ 4 =	74 W
Deck	23.0 @ 4 =	92 W
External (Cellar)		
Totals:	permitted =	1190 W

FITTING	IPL
4/20-LED (BB120)	80 W
2/15-LED wall	30 W
2/10-LED D/L	20 W
6/15-LED D/L; 3/10-LED pendant;	
1/20-LED (BB120)	140 W
2/10-LED D/L	20 W
2/10-LED D/L	20 W
4/8-LED D/L	32 W
1/10-LED in IXL; 2/6-LED D/L	22 W
1/8-LED D/L	8 W
1/20-LED (BB120)	20 W
1/10-LED D/L	10 W
4/8-LED D/L	32 W
1/10-LED (BB60)	10 W
1/10-LED in IXL; 2/6-LED D/L	22 W
4/8-LED D/L	32 W
2/8-LED wall	16 W
2/15-LED wall	30 W
2/20-LED spot light	40 W
	designed = 584 W

ELECTRICAL LEGEND

- GPO (double)
- Fixed outlet
- Light & Switch (LED ceiling oyster)
- downlight (LED dimmable)
- pendant lights
- internal wall light
- external wall light
- external spot light
- LED surface strip (as BB120)
- sensor
- IXL Tastic
- T.V. outlet
- Smoke Detector
- Phone/Data outlet
- IPL Illumination power level (class 1 @ 5W/m2)

PLANS by: **Tas Laughlin**
ABN 83 849 671 093
56 SUNBEAM CRES., E/DEV. Ph(03)64270898
P.O. BOX 1092, DEVONPORT 7310.
Building Practitioner Accreditation No. CC 379 P
e-mail: tlaughli@bigpond.net.au
GOD HAS A PLAN FOR EVERY LIFE

PROPOSED
3-BED DWELLING
('INSUL-PANEL' on CONCRETE)
FOR **Emeric Mahai ZAMBONI**
AT **#27 LEARY AVE; TUGRAH**

NORTH	DRAWING LIGHTS & ELECTRICAL	DRG No. 10
	DATE 15/3/2021 SCALE 1:100	JOB No. 0321-74 Amendmt. -



DEVONPORT CITY COUNCIL

ABN: 47 611 446 016

PO Box 604 Devonport TAS 7310 – 137 Rooke Street, Devonport

Telephone 03 6424 0511

Email council@devonport.tas.gov.au Web www.devonport.tas.gov.au

PLANNING PERMIT APPLICATION FORM

Devonport City Council
Land Use Planning and Approvals Act 1993 (LUPAA)
Tasmanian Planning Scheme – Devonport 2020

Use or Development Site

Development Address

26 Triton Road
East Devonport 7310

Certificate of Title Reference No.:

54661/64

Applicant's Details

Who is applying

Company

Company Name

2-8 Tandara Place Pty Ltd

ACN

627543695

Postal Address

21 Dumbarton Way
Gisborne, Victoria 3437
Australia

Telephone

0448395767



Submission Date: 20/05/2021

Email

dumith@primechoice.com.au

Do you own the property that is being developed?

Yes

Assessment of an application for a Use or Development

Sufficient information must be provided to enable assessment against the requirements of the planning scheme.

What is proposed?

Unit Development

Description of how the use will operate

2 Seperate units

Supporting Documents for Proposal (Optional)

- [ScheduleOfEasements-54661-64.pdf](#)
- [FolioText-54661-64.pdf](#)
- [FolioPlan-54661-64.pdf](#)
- [00421-SK05.pdf](#)
- [00421-SK04.pdf](#)
- [00421-SK03.pdf](#)
- [00421-SK02.pdf](#)
- [00421-SK01.pdf](#)

Value of use and/or development

\$ 440,000.00

Upload Files

The following information and plans must be provided as part of an application unless the planning authority is satisfied that the information or plan is not relevant to the assessment of the application:

Upload copy of certificate of title, including title plan and schedule of easements

- [ScheduleOfEasements-54661-641.pdf](#)
- [FolioText-54661-641.pdf](#)
- [FolioPlan-54661-641.pdf](#)

A site analysis and site plan showing:

- The existing and proposed use(s) on the site



Submission Date: 20/05/2021

- The boundaries and dimensions of the site
- Topography including contours showing AHD levels and major site features
- Natural drainage lines, watercourses and wetlands on or adjacent to the site
- Soil type
- Vegetation types and distribution, and trees and vegetation to be removed
- The location and capacity of any existing services or easements on the site or connected to the site
- Existing pedestrian and vehicle access to the site
- The location of existing adjoining properties, adjacent buildings and their uses
- Any natural hazards that may affect use or development on the site
- Proposed roads, driveways, car parking areas and footpaths within the site
- Any proposed open space, communal space, or facilities on the site
- Main utility service connection points and easements
- Proposed subdivision lot boundaries, where applicable
- Details of any proposed fencing

Upload a detailed site plan that includes a floor plan, layouts and elevations

- [00421-SK051.pdf](#)
- [00421-SK041.pdf](#)
- [00421-SK031.pdf](#)
- [00421-SK021.pdf](#)
- [00421-SK011.pdf](#)

Are you planning on constructing a building?

Yes

Where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions showing:

- Setbacks of buildings to property (title) boundaries
- The internal layout of each building on the site
- The private open space for each dwelling
- External storage spaces
- Car parking space location and layout
- Elevations of every building to be erected
- The relationship of the elevations to natural ground level, showing any proposed cut or fill
- Shadow diagrams of the proposed buildings and adjacent structures showing the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites
- Materials and colours to be used on roofs and external walls

Are you proposing any landscaping?

No

Notification of Landowner/s

(s.52 Land Use Planning and Approvals Act,1993)



Submission Date: 20/05/2021

Who owns the land?

Individual / Company

I,

Gavin Smith

declare that the owner/s of the land has / have been notified of my intention to make this application.

Date

20/05/2021

Agreement

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that:

- if incomplete, the application may be delayed or rejected; and
- more information may be requested in accordance with s.54 (1) of LUPAA.

PUBLIC ACCESS TO PLANNING DOCUMENTS - DISCRETIONARY PLANNING APPLICATIONS (s.57 of LUPAA)

✓ I understand that all documentation included with a discretionary application will be made available for inspection by the public.

Privacy Policy

✓ I agree to the privacy policy of the Devonport City Council.

[Click Here to view our Privacy Policy \(Opens in a new tab\)](#)

Date

20/05/2021

PRIVACY ACT The personal information requested on this form is being collected by Council for processing applications under the Land Use and Planning Approvals Act 1993 and will only be used in connection with the requirements of this legislation. Council is to be regarded as the agency that holds the information.



The City with Spirit

RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 54661	FOLIO 64
EDITION 4	DATE OF ISSUE 14-May-2021

SEARCH DATE : 14-May-2021

SEARCH TIME : 08.38 PM

DESCRIPTION OF LAND

Parish of TEMPLETON, Land District of DEVON
Lot 64 on Sealed Plan 54661 (formerly being SP2612)
Derivation : Part of 460 Acres Gtd to R Stewart
Prior CT 3117/9

SCHEDULE 1

M880982 TRANSFER to 2-8 TANDARA PLACE PTY LTD Registered
14-May-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

RECORDED OF TITLES



Search Date: 14 May 2021

RECORDED OF TITLES

PAGE 25

FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

STAPLE HERE	ANNEXURE SHEET No. 2. (of 4 annexures) to Plan by Surveyor <i>Jon W. Tyson</i>	Owner <i>Housing Department</i>		Registered Number	
		Title Reference		S.P.2612	
This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan bears my declaration dated 27 th August, 1968, and that declaration extends to the detail shown on this sheet.		Areas of Parcels			
		Lot Number	Area	Lot Number	Area
Surveyor <i>Jon W. Tyson</i>		1	31 ³ / ₁₀ Ps.	15	28 ⁴ / ₁₀ Ps.
		2	29 ² / ₁₀ "	16	25 ⁸ / ₁₀ "
		3	27 ⁸ / ₁₀ "	17	30 ¹ / ₁₀ "
		4	27 ⁸ / ₁₀ "	18	1 ² / ₁₀ Ps.
		5	27 ⁸ / ₁₀ "	19	1 ² / ₁₀ Ps.
		6	30 ³ / ₁₀ "	20	1 ² / ₁₀ Ps.
		7	30 ³ / ₁₀ "	134	1 ² / ₁₀ Ps.
		8	24 ² / ₁₀ "	79	5 ¹ / ₁₀ Ps.
		9	29 ² / ₁₀ "		
		10	26 ³ / ₁₀ "		
		11	26 ³ / ₁₀ "		
		12	26 ³ / ₁₀ "		
		13	25 ⁵ / ₁₀ Ps.		
		Signed for the purposes of identification.		Total	
Council Clerk		Total			

Scale **100 Feet.** to an inch

Plan of Survey

RECORDED OF TITLES

[illegible]

FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

STAPLE HERE	ANNEXURE SHEET No. 4 (of 4 annexures) to Plan by Surveyor Jon. W. Tyson	Owner Housing Department		Registered Number S.P.2612																																																													
		Title Reference																																																															
This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan bears my declaration dated 27 August, 1968 , and that declaration extends to the detail shown on this sheet.		<table border="1"> <thead> <tr> <th colspan="2">Areas of Parcels</th> <th colspan="2">Areas of Parcels</th> </tr> <tr> <th>Lot Number</th> <th>Area</th> <th>Lot Number</th> <th>Area</th> </tr> </thead> <tbody> <tr><td>60.</td><td>30²/₃</td><td>72.</td><td>32²/₃</td></tr> <tr><td>61.</td><td>30²/₃</td><td>73.</td><td>12²/₃</td></tr> <tr><td>62.</td><td>30²/₃</td><td>74.</td><td>12²/₃</td></tr> <tr><td>63.</td><td>30²/₃</td><td>75.</td><td>34⁸/₁₀</td></tr> <tr><td>64.</td><td>30²/₃</td><td>76.</td><td>34⁸/₁₀</td></tr> <tr><td>65.</td><td>29²/₃</td><td>77.</td><td>30²/₃</td></tr> <tr><td>66.</td><td>29²/₃</td><td>78.</td><td>31²/₃</td></tr> <tr><td>67.</td><td>30²/₃</td><td>80.</td><td>31²/₃</td></tr> <tr><td>68.</td><td>30²/₃</td><td>81.</td><td>31²/₃</td></tr> <tr><td>69.</td><td>31²/₃</td><td>82.</td><td>31²/₃</td></tr> <tr><td>70.</td><td>31²/₃</td><td>83.</td><td>31²/₃</td></tr> <tr><td>71.</td><td>12²/₃</td><td>84.</td><td>31²/₃</td></tr> <tr><td>Total</td><td></td><td>Total</td><td></td></tr> </tbody> </table>				Areas of Parcels		Areas of Parcels		Lot Number	Area	Lot Number	Area	60.	30 ² / ₃	72.	32 ² / ₃	61.	30 ² / ₃	73.	12 ² / ₃	62.	30 ² / ₃	74.	12 ² / ₃	63.	30 ² / ₃	75.	34 ⁸ / ₁₀	64.	30 ² / ₃	76.	34 ⁸ / ₁₀	65.	29 ² / ₃	77.	30 ² / ₃	66.	29 ² / ₃	78.	31 ² / ₃	67.	30 ² / ₃	80.	31 ² / ₃	68.	30 ² / ₃	81.	31 ² / ₃	69.	31 ² / ₃	82.	31 ² / ₃	70.	31 ² / ₃	83.	31 ² / ₃	71.	12 ² / ₃	84.	31 ² / ₃	Total		Total	
		Areas of Parcels		Areas of Parcels																																																													
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60.	30 ² / ₃	72.	32 ² / ₃																																																														
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Signed for the purposes of identification.		334																																																															
Council Clerk																																																																	

NO INFORMATION TO BE WRITTEN WITHIN THIS SPACE

Plan of Survey

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SCHEDULE OF EASEMENTS

PLAN NO.

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

S.P.2612

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS

Each lot in Column A is:

- TOGETHER WITH a right of drainage over the drainage easement shown hereon passing through the lots specified opposite thereto in Column B, and
- SUBJECT TO a right of drainage over the drainage easement passing through that Lot as appurtenant to the Lots shown hereon and specified opposite thereto in Column C.

AND FOR THE CORPORATION WHERE SO SPECIFIED

Column A	Column B	Column C
1	N11	N11
2	N11	N11
3	N11	N11
4	N11	N11
5	N11	N11
6	N11	N11
7	N11	N11
8	N11	N11
9	N11	N11
10	N11	N11
11	N11	N11
12	N11	N11
13	N11	N11
14	N11	N11
15	N11	N11
16	N11	N11
17	N11	N11
18	N11	N11
19	N11	N11
20	N11	N11
21	N11	N11
22	N11	N11
23	N11	N11
24	N11	N11
25	N11	N11
26	N11	N11
27	N11	N11
28	N11	N11
29	N11	N11
30	N11	N11
31	N11	N11
32	N11	N11
33	N11	N11
34	N11	N11
35	N11	N11
36	N11	N11
37	N11	N11
39	43 ^{N11}	N11
40	N11	N11
41	N11	N11
42	N11	N11
43	N11	N11
44	45, 46, 47=, 43 ^x	48 ^x , 47 ^x , 46 ^x , 45 ^x , 44 ^x , 39 ^{N11}
45	46, 47=, 43 ^x	N11
46	47=, 43 ^x	44
		45, 44

LOTS 1 TO 123 124 135 133 132 ARE SUBJECT TO A RIGHT OF DRAINAGE (APPURTENANT TO THE LAND FIRSTLY COMPRAHED IN CERT. OF TITLE 740 741 742 OVER THE DRAINAGE EASEMENT 5 FEET WIDE SHOWN HEREON

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

2612

Column A	Column B	Column C
47	43 ^x	48, 46, 45, 44 = Correlation
48	47, 43x	Nil
49	Nil	Nil
50	51, 52, 56	Nil
51	52, 56	50
52	56	51, 50
53	Nil	Nil
54	Nil	Nil
55	Nil	Nil
56	Nil	52, 51, 50
57	Nil	Nil
58	Nil	Nil
59	Nil	Nil
60	Nil	Nil
61	Nil	Nil
62	Nil	Nil
63	Nil	Nil
64	Nil	Nil
65	Nil	Nil
66	Nil	Nil
67	Nil	Nil
68	Nil	Nil
69	Nil	Nil
70	Nil	Nil
71	Nil	Nil
72	Nil	Nil
73	Nil	Nil
74	Nil	Nil
75	Nil	Nil
76	Nil	Nil
77	Nil	Nil
78	Nil	Nil
79	Roadway	Nil
80	81, 82, 83, 84, 95, 96, 97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	80 = Correlation
81	82, 83, 84, 95, 96, 97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	81, 80 Correlation
82	83, 84, 95, 96, 97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	82, 81, 80 Correlation
83	84, 95, 96, 97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	83, 82, 81, 80, 85, 86, 87, 88, 89 Correlation
84	95, 96, 97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	86, 87, 88, 89
85	84, 95, 96, 97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	87, 88, 89
86	85, 84, 95, 96, 97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	88, 89
87	86, 85, 84, 95, 96, 97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	89
88	87, 86, 85, 84, 95, 96, 97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	Nil
89	88, 87, 86, 85, 84, 95, 96, 97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	Nil
90	99, 111, 112, 113, 130, 131, 132 ^x 129	Nil
91	Nil	Nil
92	Nil	Nil
93	Nil	Nil
94	Nil	Nil
95	96, 97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	84, 83, 82, 81, 80, 85, 86, 87, 88, 89 Correlation
96	97, 98, 99, 111, 112, 113, 130, 131, 132 ^x 129	95, 84, 83, 82, 81, 80, 85, 86, 87, 88, 89 Correlation
97	98, 99, 111, 112, 113, 130, 131, 132 ^x 129	96, 95, 84, 83, 82, 81, 80, 85, 86, 87, 88, 89 Correlation
98	99, 111, 112, 113, 130, 131, 132 ^x 129	97, 96, 95, 84, 83, 82, 81, 80, 85, 86, 87, 88, 89 Correlation

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

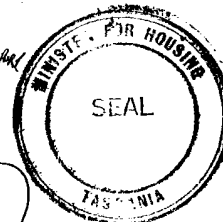
Issued Pursuant to the Land Titles Act 1980

Column A	Column B	Column C
99	111, 112, 113 ^o , 130, 131, 132 ^x 129	98, 97, 96, 95, 84, 83, 82, 81, 80, 79, 85, 86, 87, 88, 89, 100, 101, 102, 103, 104 ^o COOPERATION ^x
100	99, 111, 112, 113 ^o , 130, 131, 132 ^x 129	101, 102, 103, 104
101	100, 99, 111, 112, 113 ^o , 130, 131, 132 ^x 129	102, 103, 104
102	101, 100, 99, 111, 112, 113 ^o , 130, 131, 132 ^x 129	103, 104
103	102, 101, 100, 99, 111, 112, 113 ^o , 130, 131, 132 ^x 129	104
104	103, 102, 101, 100, 99, 111, 112, 113 ^o , 130, 131, 132 ^x 129	N11
105	N11	N11
106	N11	N11
107	N11	N11
108	N11	N11
109	N11	N11
110	N11	N11
111	112, 113 ^o , 130, 131, 132 ^x 129	104-95 inc., 89-80 inc. COOPERATION ^x
112	113 ^o , 130, 131, 132 ^x 129	111, 104-95 inc., 89-80 inc. COOPERATION ^x
113	130, 131, 132 ^x 129	112 ^o , 111 ^o , 104-95 inc., 89-80 inc., 114-118 inc. COOPERATION ^x
114	113 ^o , 130, 131, 132 ^x 129	115, 116, 117, 118
115	114, 113 ^o , 130, 131, 132 ^x 129	116, 117, 118
116	115, 114, 113 ^o , 130, 131, 132 ^x 129	117, 118
117	116, 115, 114, 113 ^o , 130, 131, 132 ^x 129	N11
118	117, 116, 115, 114, 113 ^o , 130, 131, 132 ^x 129	N11
119	N11	N11
120	N11	N11
121	N11	N11
122	N11	N11
123	N11	N11
124	N11	N11
125	N11	N11
126	N11	N11
127	N11	N11
128	N11	N11
129	130, 131, 132 ^x	118, -111 inc., 104-95 inc., 89-80 inc. COOPERATION ^x
130	131, 132 ^x	118-111 inc., 104-95 inc., 89-80 inc. COOPERATION ^x
131	132 ^x	130, 118-111 inc., 104-95 inc., 89-80 inc. COOPERATION ^x
132	N11	131, 130, 118-111 inc., 104-95 inc., 89-80 inc. COOPERATION ^x
133	N11	N11
134	Quarry	
135	Roadway	

COOPERATION MEANS THE WARDEN COUNCILLORS AND ELECTORS OF THE MUNICIPALITY OF Devonport

x is portion marked AB
 " " " " CACQ
 " " " " DA
 " " " " EF
 " " " " GH
 " " " " IH IT
 " " " " JI
 " " " " KL
 " " " " ML MX

THE DIRECTOR OF HOUSING
 REGISTERED PROPRIETOR
 OF THE LAND SHOWN ON
 THE PLAN IN THE
 PRESENCE OF:



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

This is the schedule of easements attached to the plan of **Pardoe Downs**

Subdivision, Devonport comprising part of the land in

Certificate of Title Volume 1092, Folio 10

(Insert Title Reference)

Sealed by on 19.....

.....
Council Clerk/Town Clerk



ARPLAN
HOME DESIGNS

ARPLAN Pty Ltd - Gavin & Tina Smith
16 Collins Way, Tugrah
PH: 0400 828 088 / 0419 543 873
Email: arplan.designs@gmail.com

- NOTES:
1. All dimensions & levels to be checked on site before starting construction.
 2. All new work shall comply with the current Building Code of Australia, local Council By-Laws & Timber Framing Manual.
 3. Sewer and stormwater drains to be installed as directed by the local Council.
 4. All plumbing to be carried out by qualified tradesman.
 5. Electrical installation shall be in accordance with the S.A.A. Wiring Rules and H.E.C. approval.
 6. All materials shall be new (or approved re-cycled) and shall be suitable for the intended purpose.
 7. Foundation and floor slabs are to be constructed to engineer details.
 8. Timber roof trusses are to be designed in accordance with ABCB protocol for structural design software, relevant Australian standards and contain minimum physical information

- BUILDING AREA (OVER ALL)
UNIT 1 = 147 SQM
UNIT 2 = 148 SQM
- FLOOR AREA (INSIDE WALLS)
UNIT 1 = 140 SQM
UNIT 2 = 140 SQM
- INSULATION
ROOF: R = 18 SISALATION BLANKET
CEILING: R = 4.0 ABOVE PBOARD
WALLS: R = 2.5 BETWEEN STUDS
- FRAMING
WALLS = 90 x 35 (MGP10)
STUDS @ 450 CTRS
LINTELS = REFER TO TABLE
- DENOTES REQUIRED 240V INTERCONNECTED SMOKE ALARM



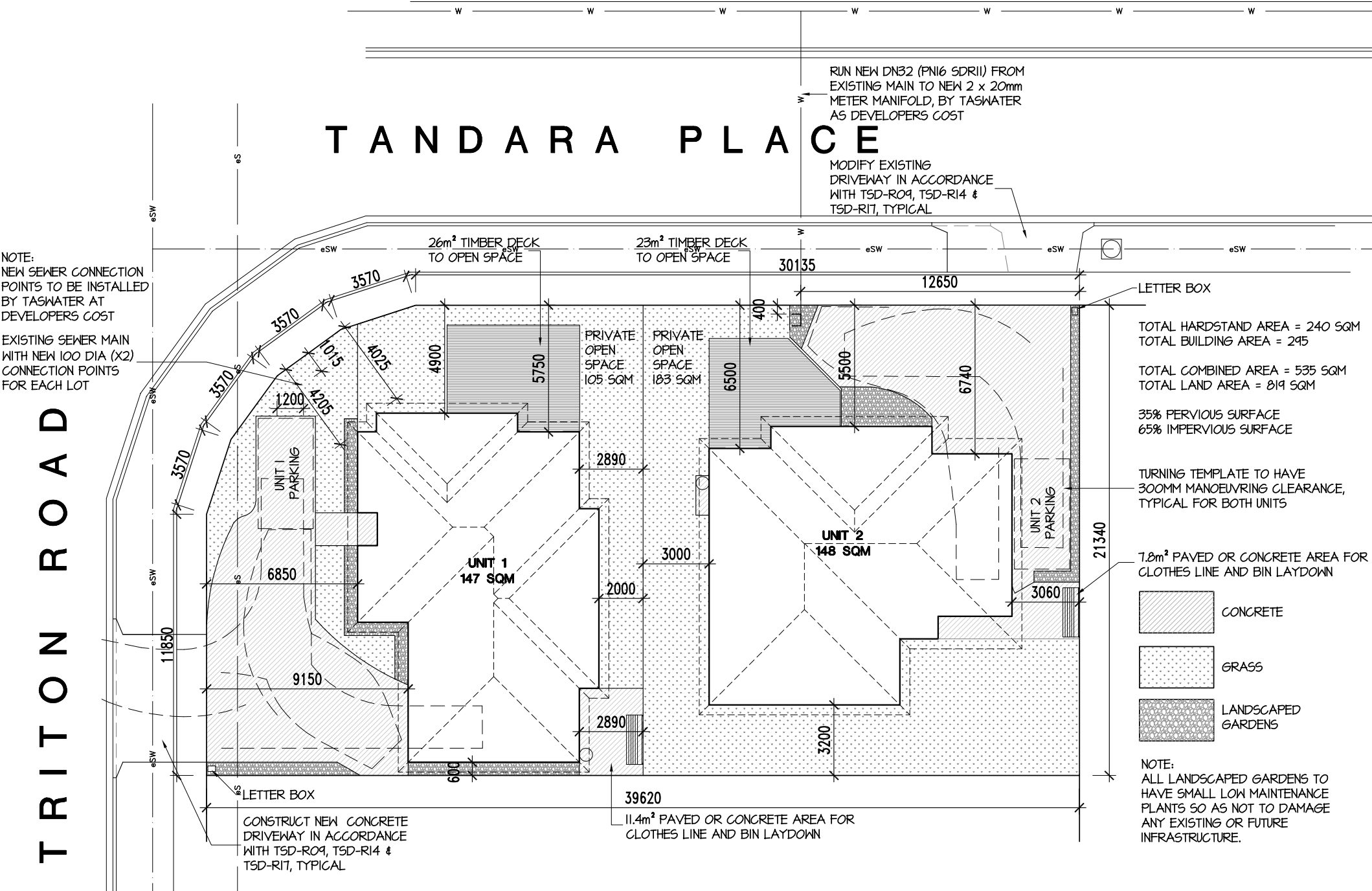
03	02.06.21	COUNCIL APPROVAL - PLANNING	A
02	13.05.21	COUNCIL APPROVAL - PLANNING	-
01	06.05.21	CLIENT APPROVAL	-
ISSUE	DATE	ISSUED FOR	REV.

PROJECT: DUMITH INVESTMENTS PTY LTD
PROPOSED UNIT DEVELOPMENT
26 TRITON ROAD, EAST DEVONPORT

DRAWING: SITE PLAN

DESIGNER: GAVIN SMITH
COORDINATOR: COLLEEN SMITH

PROJECT No. 00421
DRAWING No. SK01 A



NOTE:
NEW SEWER CONNECTION
POINTS TO BE INSTALLED
BY TASHWATER AT
DEVELOPERS COST

EXISTING SEWER MAIN
WITH NEW 100 DIA (X2)
CONNECTION POINTS
FOR EACH LOT

RUN NEW DN32 (PNI6 SDR11) FROM
EXISTING MAIN TO NEW 2 x 20mm
METER MANIFOLD, BY TASHWATER
AS DEVELOPERS COST

MODIFY EXISTING
DRIVEWAY IN ACCORDANCE
WITH TSD-RO9, TSD-RI4 &
TSD-RI7, TYPICAL

TOTAL HARDSTAND AREA = 240 SQM
TOTAL BUILDING AREA = 295

TOTAL COMBINED AREA = 535 SQM
TOTAL LAND AREA = 819 SQM

35% PERVIOUS SURFACE
65% IMPERVIOUS SURFACE

TURNING TEMPLATE TO HAVE
300MM MANOEUVRING CLEARANCE,
TYPICAL FOR BOTH UNITS

7.8m² PAVED OR CONCRETE AREA FOR
CLOTHES LINE AND BIN LAYDOWN

- CONCRETE
- GRASS
- LANDSCAPED GARDENS

NOTE:
ALL LANDSCAPED GARDENS TO
HAVE SMALL LOW MAINTENANCE
PLANTS SO AS NOT TO DAMAGE
ANY EXISTING OR FUTURE
INFRASTRUCTURE.

SITE PLAN
SCALE 1:200



- NOTES:
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 2. All new work shall comply with the current Building Code of Australia, local Council By-Laws & Timber Framing Manual.
 3. Sewer and stormwater drains to be installed as directed by the local Council.
 4. All plumbing to be carried out by qualified tradesman.
 5. Electrical installation shall be in accordance with the S.A.A. Wiring Rules and H.E.C. approval.
 6. All materials shall be new (or approved re-cycled) and shall be suitable for the intended purpose.
 7. Foundation and floor slabs are to be constructed to engineer details.
 8. Timber roof trusses are to be designed in accordance with ABCB protocol for structural design software, relevant Australian standards and contain minimum physical information

BUILDING AREA (OVER ALL)
UNIT 1 = 147 SQM
UNIT 2 = 148 SQM

FLOOR AREA (INSIDE WALLS)
UNIT 1 = 140 SQM
UNIT 2 = 140 SQM

INSULATION
ROOF: R = 1.8 SISALATION BLANKET
CEILING: R = 4.0 ABOVE PBOARD
WALLS: R = 2.5 BETWEEN STUDS

FRAMING
WALLS = 90 x 35 (MGP10)
STUDS @ 450 CTRS
LINTELS = REFER TO TABLE

● DENOTES REQUIRED 240V
INTERCONNECTED SMOKE
ALARM

FLOOR PLAN
SCALE 1:100



02	13.05.21	COUNCIL APPROVAL - PLANNING	-
01	06.05.21	CLIENT APPROVAL	-
ISSUE	DATE	ISSUED FOR	REV.

PROJECT: MR J. LAST
PROPOSED UNIT DEVELOPMENT
MADELINE STREET, LATROBE
DRAWING: PROPOSED FLOOR PLAN - UNIT 1

DESIGNER: GAVIN SMITH
COORDINATOR: CO2495V
PROJECT No. DRAWING No. REV.

00121 **SK02**



ARPLAN HOME DESIGNS

ARPLAN Pty Ltd - Gavin & Tina Smith
16 Collins Way, Tugrah
PH: 0400 828 088 / 0419 543 873
Email: arplan.designs@gmail.com

- NOTES:
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01	06.05.21	CLIENT APPROVAL	-
ISSUE	DATE	ISSUED FOR	REV.

PROJECT: DUMITH INVESTMENTS PTY LTD
PROPOSED UNIT DEVELOPMENT
26 TRITON ROAD, EAST DEVONPORT

DRAWING: PROPOSED ELEVATIONS - UNIT 1

DESIGNED BY: GAVIN SMITH
COORDINATOR: COLLEEN
PROJECT No: 00421

DRAWING No: SK03

SCALE: 1:100

DRAFT ONLY

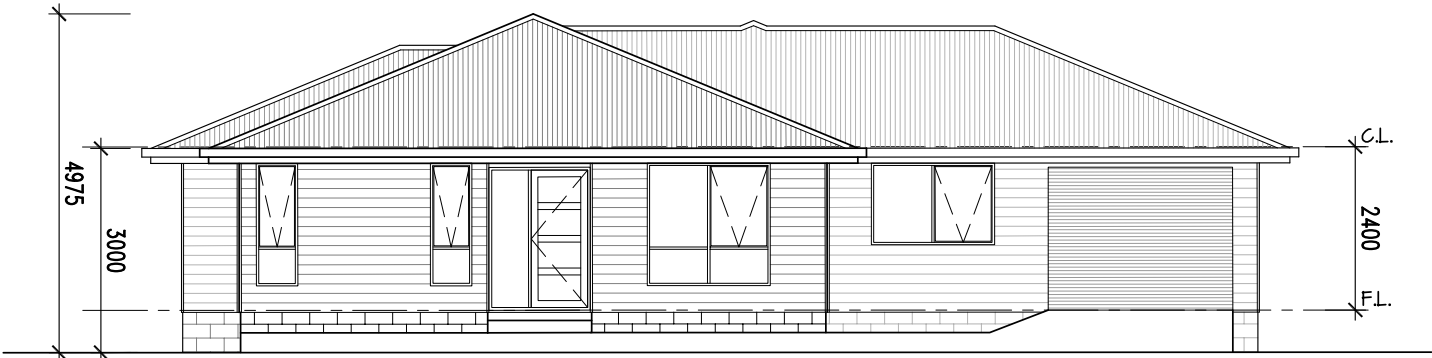
NORTHERN ELEVATION

SCALE 1:100



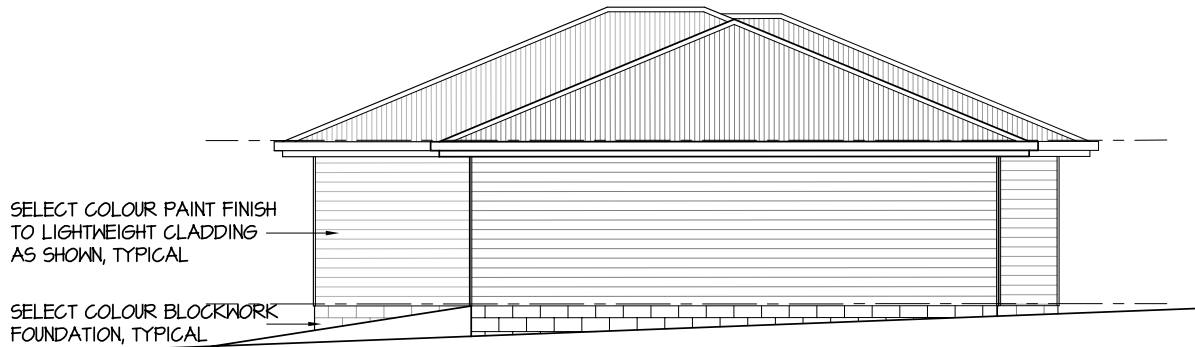
WESTERN ELEVATION

SCALE 1:100



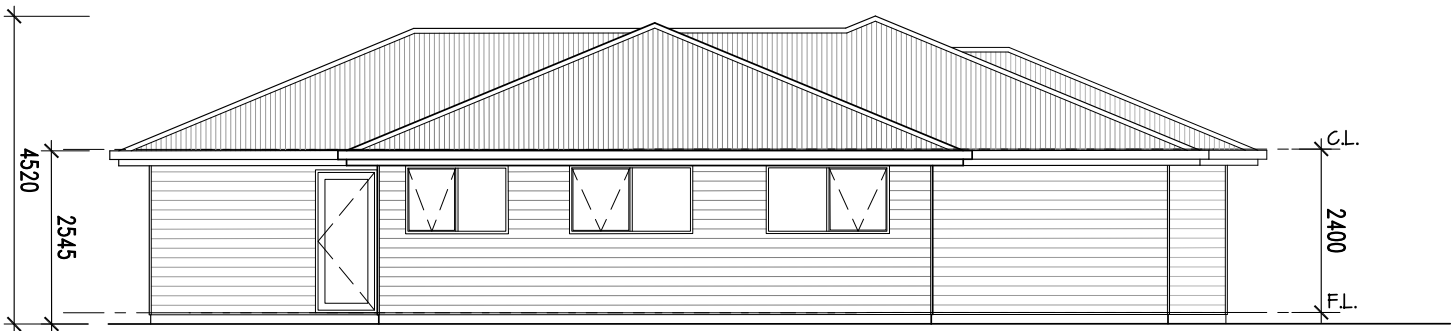
SOUTHERN ELEVATION

SCALE 1:100



EASTERN ELEVATION

SCALE 1:100





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INTERCONNECTED SMOKE
ALARM

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01	06.05.21	CLIENT APPROVAL	-
ISSUE	DATE	ISSUED FOR	REV

PROJECT: DUMITH INVESTMENTS PTY LTD
PROPOSED UNIT DEVELOPMENT
26 TRITON ROAD, EAST DEVONPORT
DRAWING: PROPOSED FLOOR PLAN - UNIT 2

DESIGNED: GAVIN SMITH SCALE: 1:100
ACCREDITATION No: CG2195V

PROJECT No. **00421** DRAWING No. **SK04** REVISION No. **01**



FLOOR PLAN

SCALE 1:100



- NOTES:**
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01	06.05.21	CLIENT APPROVAL	-
ISSUE	DATE	ISSUED FOR	REV.

PROJECT: DUMITH INVESTMENTS PTY LTD
PROPOSED UNIT DEVELOPMENT
26 TRITON ROAD, EAST DEVONPORT
DRAWING: PROPOSED ELEVATIONS - UNIT 2

DRAFT ONLY
PROJECT No. 00421
DRAWING No. SK05 -

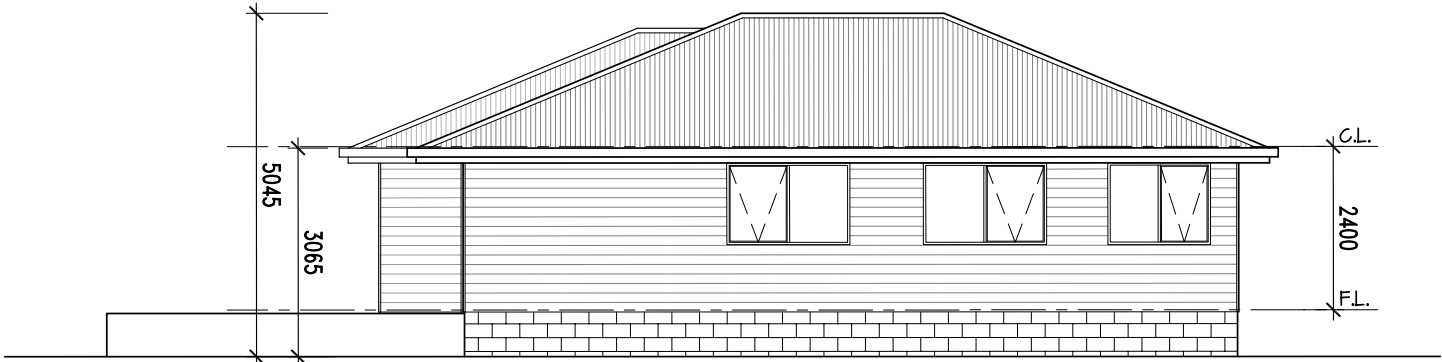
NORTHERN ELEVATION

SCALE 1:100



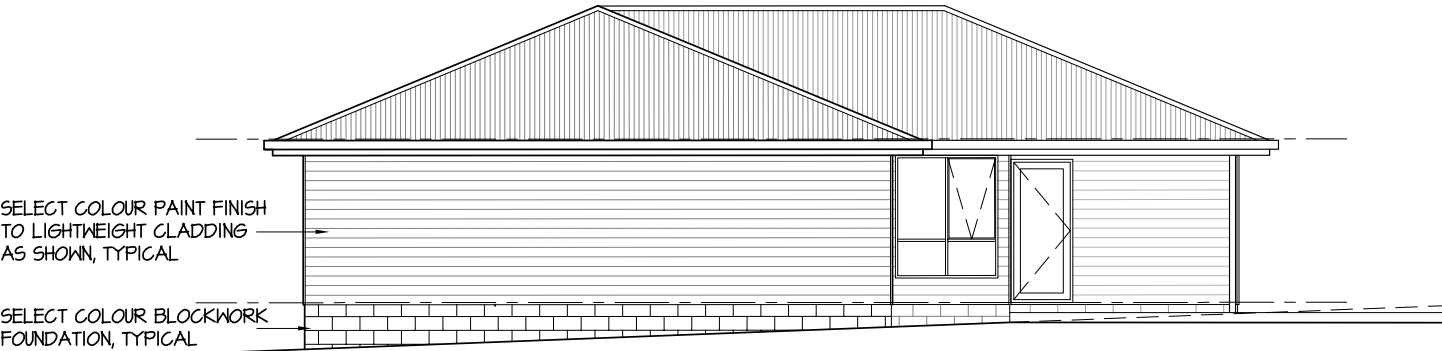
WESTERN ELEVATION

SCALE 1:100



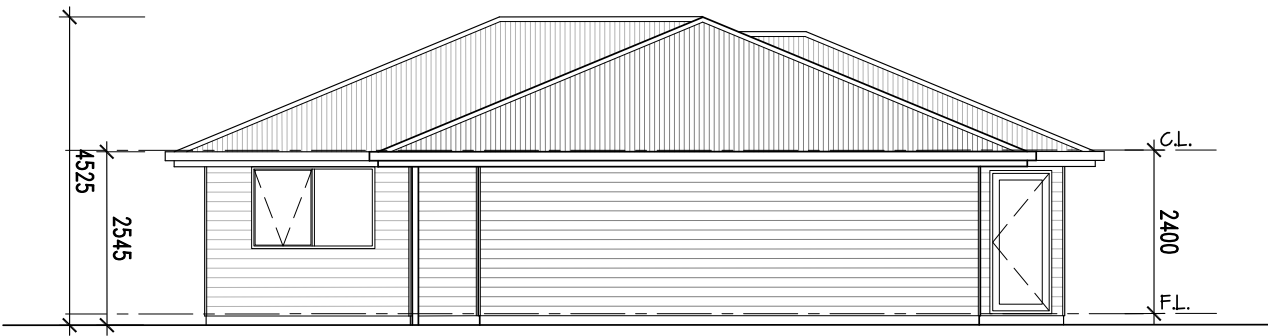
SOUTHERN ELEVATION

SCALE 1:100



EASTERN ELEVATION

SCALE 1:100





DEVONPORT CITY COUNCIL

ABN: 47 611 446 016

PO Box 604 Devonport TAS 7310 – 137 Rooke Street, Devonport

Telephone 03 6424 0511

Email council@devonport.tas.gov.au Web www.devonport.tas.gov.au

PLANNING PERMIT APPLICATION FORM

Devonport City Council
Land Use Planning and Approvals Act 1993 (LUPAA)
Tasmanian Planning Scheme – Devonport 2020

Use or Development Site

Development Address

2 Woodland Grove
Tugrah 7310

Certificate of Title Reference No.:

146965/34

Applicant's Details

Who is applying

Individual

Full Name

Melissa Jane Hammersley

Postal Address

2 Woodland Grove
Tugrah, TAS 7310
Australia

Telephone

0407460411

Email

westcottmg@gmail.com

Do you own the property that is being developed?

Yes

Assessment of an application for a Use or Development

Sufficient information must be provided to enable assessment against the requirements of the planning scheme.



The City with Spirit

Submission Date: 07/06/2021

What is proposed?

See attached plans

Description of how the use will operate

See attached

Supporting Documents for Proposal (Optional)

- [Title-plan.pdf](#)
- [Title-information.pdf](#)
- [Shed-Plans.pdf](#)

Value of use and/or development

\$ 80,000.00

Upload Files

The following information and plans must be provided as part of an application unless the planning authority is satisfied that the information or plan is not relevant to the assessment of the application:

Upload copy of certificate of title, including title plan and schedule of easements

- [Title-plan1.pdf](#)
- [Title-information1.pdf](#)

A site analysis and site plan showing:

- The existing and proposed use(s) on the site
- The boundaries and dimensions of the site
- Topography including contours showing AHD levels and major site features
- Natural drainage lines, watercourses and wetlands on or adjacent to the site
- Soil type
- Vegetation types and distribution, and trees and vegetation to be removed
- The location and capacity of any existing services or easements on the site or connected to the site
- Existing pedestrian and vehicle access to the site
- The location of existing adjoining properties, adjacent buildings and their uses
- Any natural hazards that may affect use or development on the site
- Proposed roads, driveways, car parking areas and footpaths within the site
- Any proposed open space, communal space, or facilities on the site
- Main utility service connection points and easements
- Proposed subdivision lot boundaries, where applicable
- Details of any proposed fencing

Upload a detailed site plan that includes a floor plan, layouts and elevations

- [Shed-Plans1.pdf](#)

Are you planning on constructing a building?

Yes



Submission Date: 07/06/2021

Where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions showing:

- Setbacks of buildings to property (title) boundaries
- The internal layout of each building on the site
- The private open space for each dwelling
- External storage spaces
- Car parking space location and layout
- Elevations of every building to be erected
- The relationship of the elevations to natural ground level, showing any proposed cut or fill
- Shadow diagrams of the proposed buildings and adjacent structures showing the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites
- Materials and colours to be used on roofs and external walls

Are you proposing any landscaping?

No

Notification of Landowner/s

(s.52 Land Use Planning and Approvals Act,1993)

Who owns the land?

Individual / Company

I,
Melissa Jane Hammersley

declare that the owner/s of the land has / have been notified of my intention to make this application.

Date

07/06/2021

Agreement

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that:

- if incomplete, the application may be delayed or rejected; and
- more information may be requested in accordance with s.54 (1) of LUPAA.

PUBLIC ACCESS TO PLANNING DOCUMENTS - DISCRETIONARY PLANNING APPLICATIONS (s.57 of LUPAA)

✓ I understand that all documentation included with a discretionary application will be made available for inspection by the public.

Privacy Policy



Submission Date: 07/06/2021

✓ I agree to the privacy policy of the Devonport City Council.

[Click Here to view our Privacy Policy \(Opens in a new tab\)](#)

Date

07/06/2021

PRIVACY ACT The personal information requested on this form is being collected by Council for processing applications under the Land Use and Planning Approvals Act 1993 and will only be used in connection with the requirements of this legislation. Council is to be regarded as the agency that holds the information.

DEVONPORT



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

"EARLY 28106"

<p>OWNER K.R. & S.M. Michell</p> <p>FOLIO REFERENCE F/R 143588-50</p> <p>GRANTEE Part of Lot 22940, 211a.1r.0p. gtd to Frederick Dempster. Part of Lot 9555, 24 Acres gtd to Carl Wahn & Charlotte Wahn. Part of Lot 8091, 101 Acres gtd to Andrew Lyell & John Henry.</p>	<p style="text-align: center;">PLAN OF SURVEY</p> <p>BY SURVEYOR K.R. Michell of Michell Hodgetts & Assoc. P/L P.O. Box 712, Devonport, 7310.</p> <p>LOCATION CITY OF DEVONPORT</p> <p>SCALE 1:4000 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER SP146965</p> <p>APPROVED EFFECTIVE FROM 2.7. JUN. 2006 <i>Alice Kawa</i> Recorder of Titles</p>	
MAPSHEET MUNICIPAL CODE No 108 (4443-11,21)	LAST UPI No GHN9B	LAST PLAN No SP.143588	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

LOT 50 IS COMPILED FROM F/R 143588-50 & THIS SURVEY

107.
Public Open Space
(S.P.132882)

18.
1.193ha
SEE ANNEXURE SHEET 1

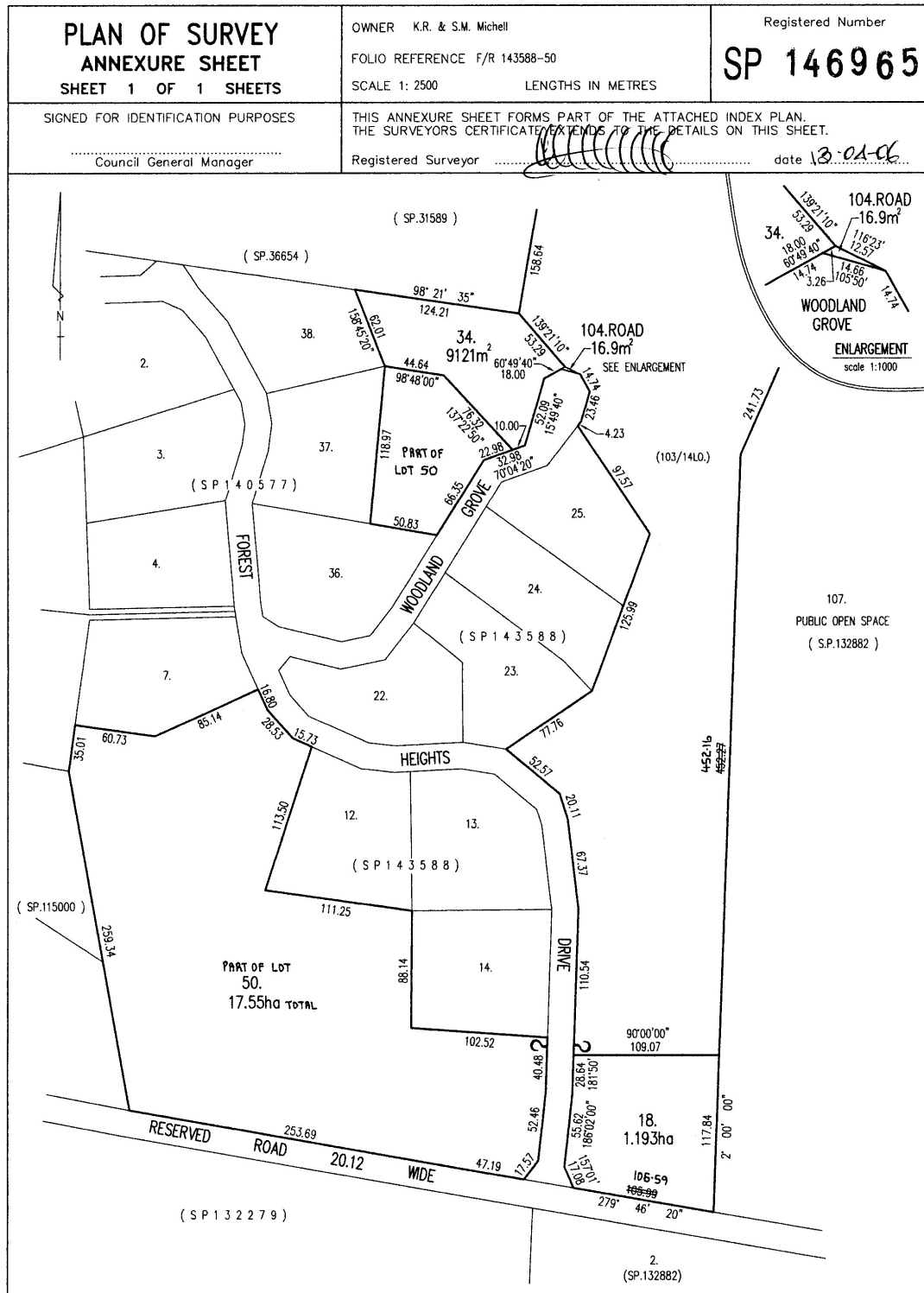
26.5.06
DATE

COUNCIL DELEGATE

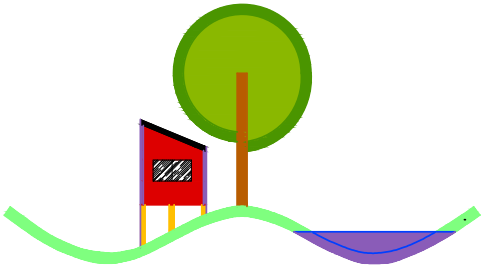
FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Title Reference: 146965/34 [View Title in LISTmap](#)
Property ID: 2706189 [View Property in LISTmap](#)
Property Owner: MELISSA JANE HAMMERSLEY; DIANNE FAYE SMITH
Address: 2 WOODLAND GR, TUGRAH, TAS - 7310
Location of Certificate: Held on behalf of COMMONWEALTH BANK OF AUSTRALIA
Effective Date: 11/12/2020
Description of Land: Derivation : Part of Lot 22940, 211A-1R-0P Gtd to Frederick Dempster.
City of DEVONPORT.
Lot 34 on Sealed Plan 146965.
Prior CT 143588/50.



WOOD DRAFTING & DESIGN SERVICE
41C STEWART ST
DEVONPORT
TAS 7310
Accreditation Number CCG97C
ABN 75 109 825 194

PROJECT:-
NEW SHED

M. HAMMERSLEY &
D. SMITH
2 WOODLAND GROVE
TUGRAH
TAS 7310

Drawing Number= KP-1742 -01 to 13

- Drawings
- 01 Site Plan
 - 02 Floor Plan
 - 03 Sections
 - 04 Sections
 - 05 Elevations
 - 06 Window & Door Schedule
 - 07 Foundation Plan
 - 08 Roof Plan
 - 09 Bracing Details
 - 10 Foundation Details 1
 - 11 Foundation Details 2
 - 11 NCC Notes
 - 13 OH&S Notes

FLOOR AREA -
NEW GARAGE 216.0 m²

0	To PLANNING & BUILDING	1.10.20
No	DESCRIPTION	DATE
REVISIONS		

CLIMATE ZONE - 7

WIND SPEED DESIGN- N2

SITE SOIL CLASSIFICATION= CLASS M
TO AS2870-2011

Volume 146965 Folio 34

BAL N/A

ALL DIMENSIONS IN MILLIMETRES IF IN DOUBT-DO NOT SCALE

Services
The heated water system must be designed and installed with part B2 of NCC Volume Three - Plumbing Code of Australia Thermal

LEGEND & NOTES - Drainage Plan

- Stormwater line (100mm UPVC)
- Sewer line (100mm UPVC)
- Soakage Drain

Install inspection openings at major bends for stormwater and all low points of down pipes.
All plumbing & drainage to be in accordance with local Council requirements.
Provide surface drain to back of bulk excavation to drain leveled pad prior to commencing footing excavation.

Services
The heated water system must be designed and installed with part B2 of NCC Volume Three - Plumbing Code of Australia Thermal insulation for heated water piping must:
A) be protected against the effects of weather and sunlight; and
B) be able to withstand the temperatures within the piping; and
C) use thermal insulation in accordance with AS/NZs 4859.1

Heated water piping that is not within a conditioned space must be thermally installed as follows

1. Internal piping
A) All flow and return internal piping that is -
i) within an unventilated wall space
ii) within an internal floor between storey's; or
iii) between cieling insulation and cieling
Must have a minimum R-Value of 0.2 (ie 9mm of closed cell polymer insulation)

2. Piping located within a ventilated wall space, an enclosed building subfloor or a roof space
a) all flow and return piping
b) cold water supply piping and relief valve piping within 500mm of the connection to central water heating system

Must have a minimum R-Value of 0.45 (ie 19mm of closed cell polymer insulation)

3. Piping located outside the building or in an unenclosed building sub-floor or roof space
a) All flow and return piping
b) cold water supply piping and relief valve piping within 500mm of the connection to central water heating system
Must have a minimum R-Value of 0.6 (ie 25mm of closed cell polymer insulation)

Piping within an insulated timber framed wall, such as that passing through a stud wall, is considered to comply with the above insulation requirements

NOTE:-
NEW PLUMBING LAYOUT TO BE PROVIDED BY PLUMBER

WARNING SIGNS AND BARRIERS ARE TO BE ERECTED TO PREVENT ENTRY OF UNAUTHORISED PERSONS AND WARN OF DANGERS ON SITE

- B BATH
- V VANITY
- SPA SPA BATH
- SH SHOWER
- TR TROUGH
- S SINK
- WC TOILET
- HWC HOT WATER CYLINDER
- FD FLOOR DRAIN
- EV EDUCT VENT
- ORG OVER FLOW RELIEF GULLY
- RE ROD EYE
- DP DOWNPIPE
- IO INSPECTION OPENING
- IS INSPECTION SHAFT



SITE PLAN

Lot - 34
Area - 912 m²
Vol - 146965
Folio - 34

NEW 100mm PVC SEWER LINE
CONNECT TO EXISTING SYSTEM

STORMWATER TO NEW TANK

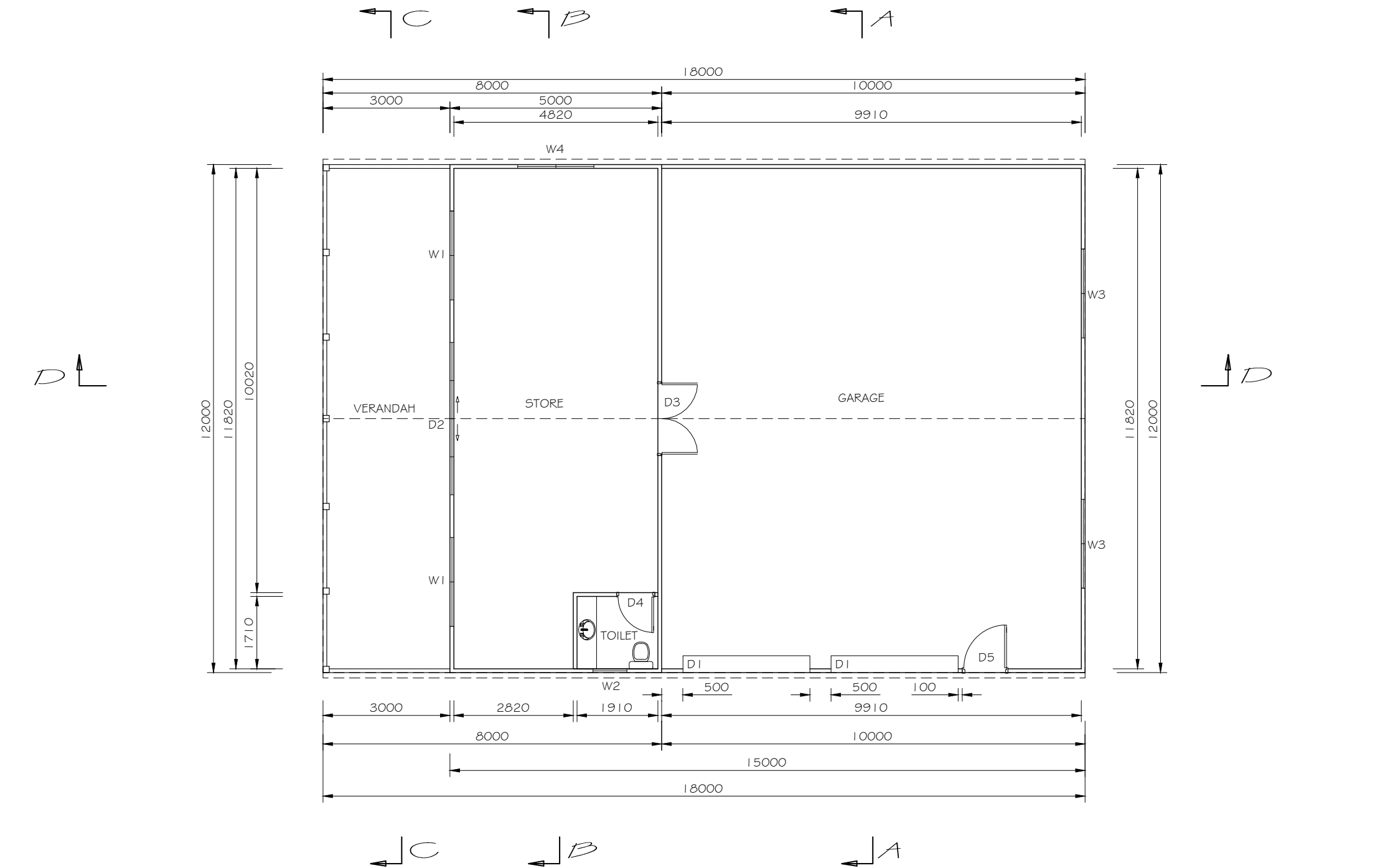
driveway

Woodland Grove

WOOD DRAFTING & DESIGN SERVICES
41C Stewart St. Devonport Tas 7310
Mobile:- 0408 583 646
CC697C

Project:- NEW SHED				
M. HAMMERSLEY & D. SMITH 2 WOODLAND GROVE TUGRAH TAS 7310				
SITE PLAN				SHEET
SCALE	DATE	REV	DRAW NUMB	01
1:2000	01.03.21	0	SH-1744	OF 13

ALL DIMENSIONS IN MILLIMETRES IF IN DOUBT-DO NOT SCALE



FLOOR AREA -
NEW GARAGE 216.0 m²

GROUND FLOOR PLAN

A3

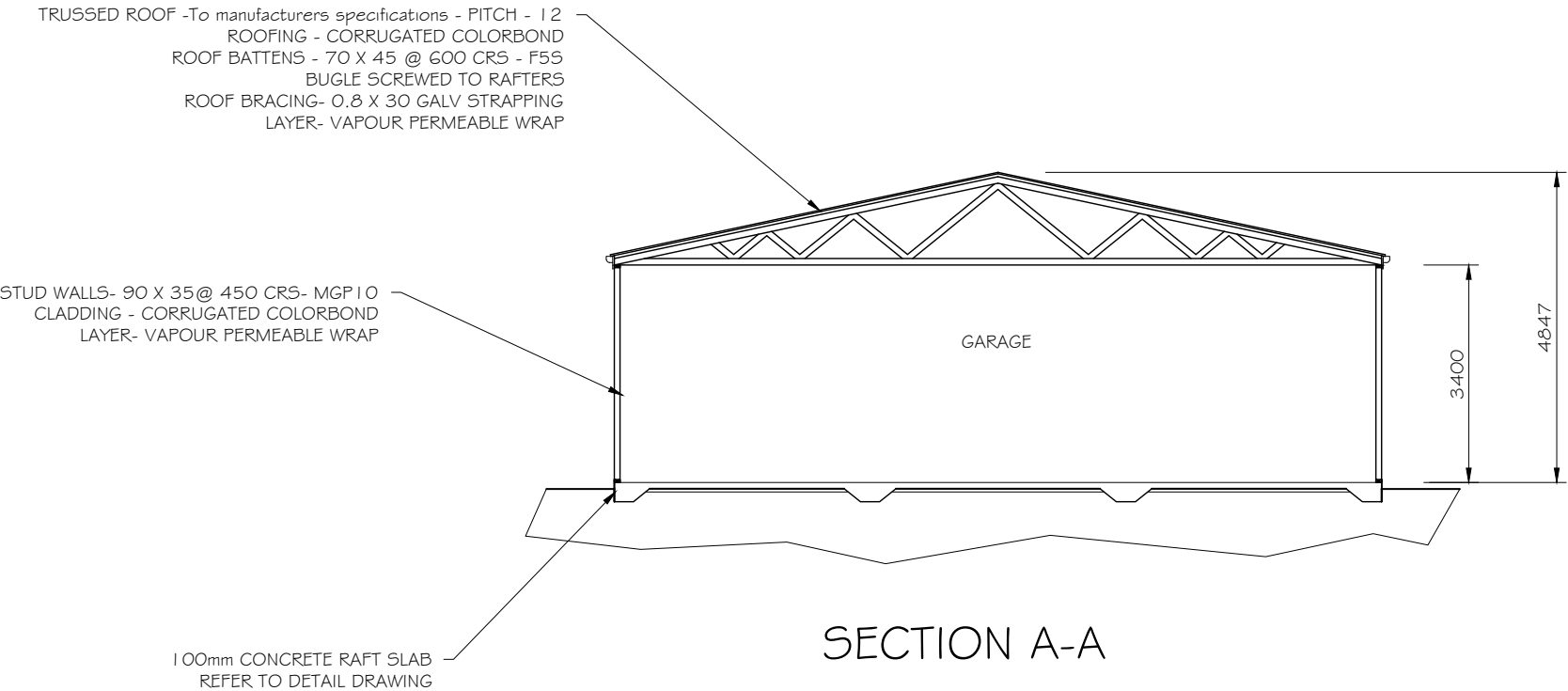
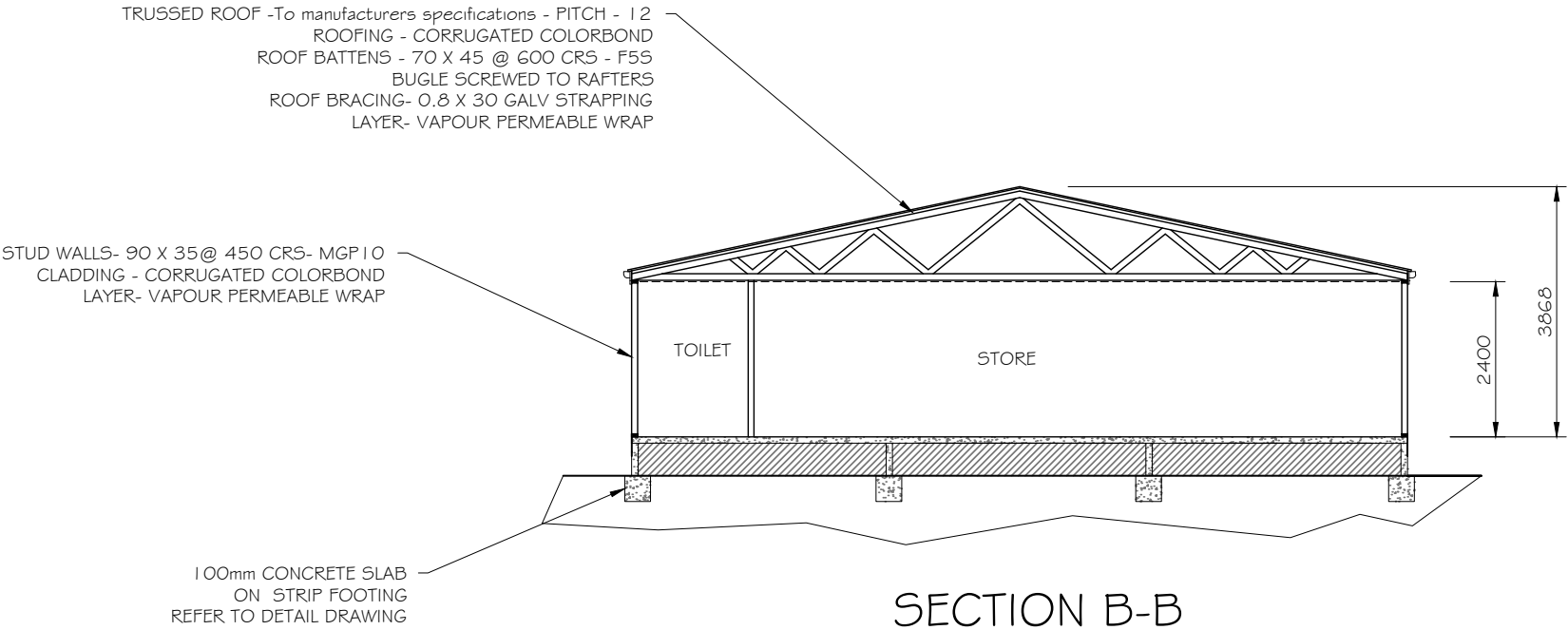
MASTER BUILDERS
TASMANIA
PREFERRED SUPPLIER

HIA
MEMBER

WOOD DRAFTING & DESIGN SERVICES
41 C Stewart St. Devonport Tas 7310
Mobile:- 0408 583 646
CC697C

Project:- NEW SHED				
M. HAMMERSLEY #				
D. SMITH				
2 WOODLAND GROVE				
TUGRAH				
TAS 7310				
GROUND FLOOR PLAN				SHEET
SCALE	DATE	REV	DRAW NUMB	02
1:100	01.03.21	0	SH-1744	OF 13

ALL DIMENSIONS IN MILLIMETRES IF IN DOUBT-DO NOT SCALE



LEGEND & NOTES - Section Notes

- Sparkling
- Vapor permeable wall wrap installed as per manufacturer's instructions. (will be specific for different buildings)
- Condensation
- Reference should be made to the "Condensation in Buildings- Tasmania Designers' Guide Version 2" (by CBO5)
- Garage
- Refer to Floor Plan for location of R2.0 insulation to walls separating Garage from the dwelling.
- No other insulation is required to external garage walls.
- No insulation is required to garage ceiling.

ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE BUILDING CODE OF AUSTRALIA, COUNCIL BY-LAWS. RELEVANT AUSTRALIAN STANDARDS AND CURRENT WORKPLACE STANDARDS CODES OF PRACTICE

A3

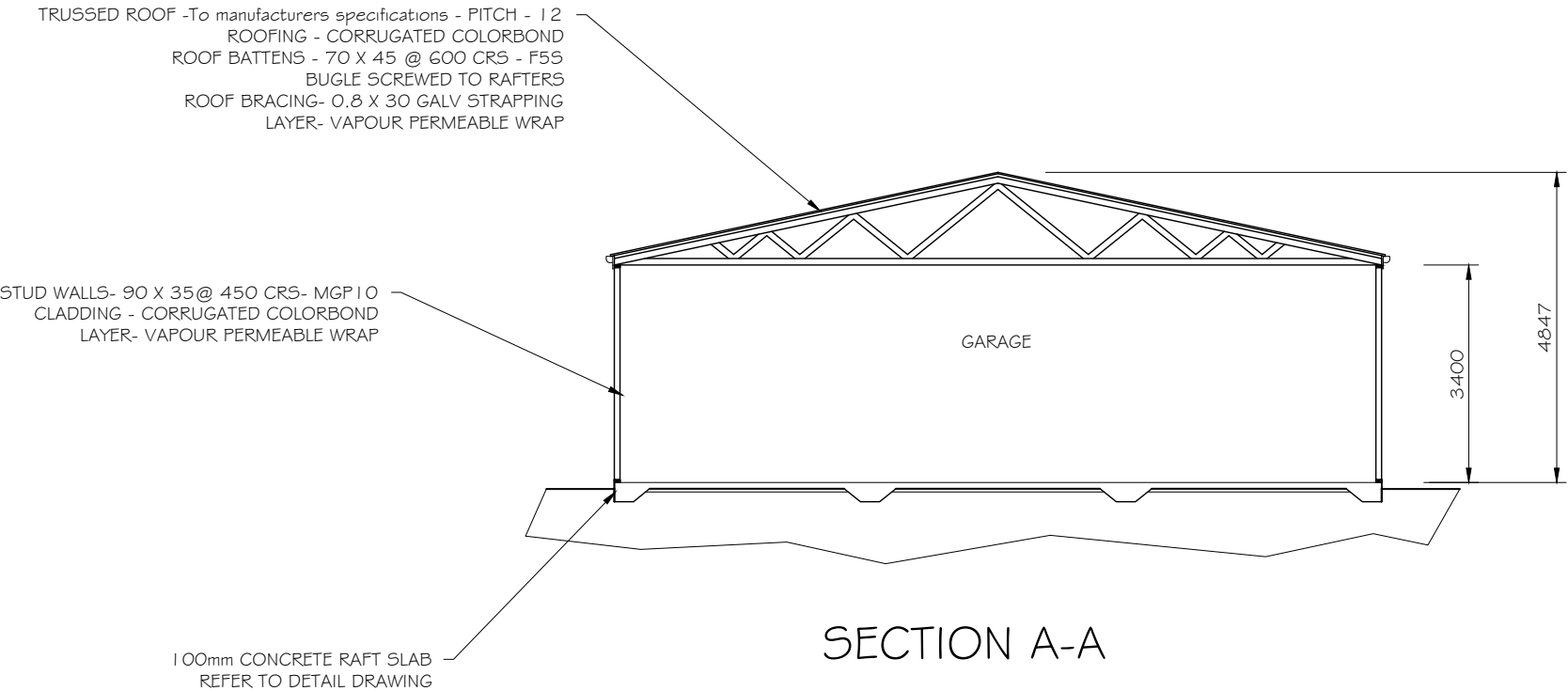
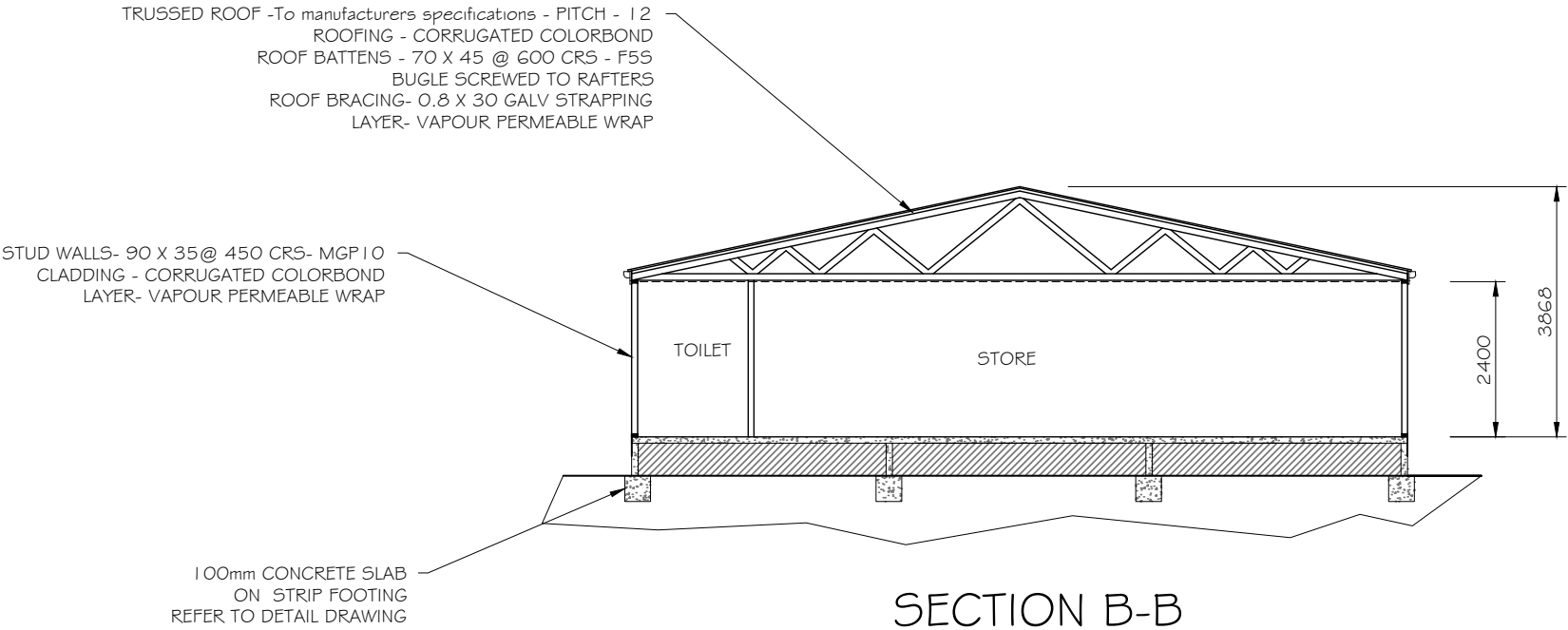
MASTER BUILDERS
TASMANIA
PREFERRED SUPPLIER

HIA
MEMBER

WOOD DRAFTING & DESIGN SERVICES
41 C Stewart St. Devonport Tas 7310
Mobile:- 0408 583 646
CC697C

Project:- NEW SHED				
M. HAMMERSLEY & D. SMITH 2 WOODLAND GROVE TUGRAH TAS 7310				
SECTIONS 1				SHEET
SCALE	DATE	REV	DRAW NUMB	03
1:100	01.03.21	0	SH-1744	OF 13

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A3

MASTER BUILDERS
TASMANIA
PREFERRED SUPPLIER

HIA
MEMBER

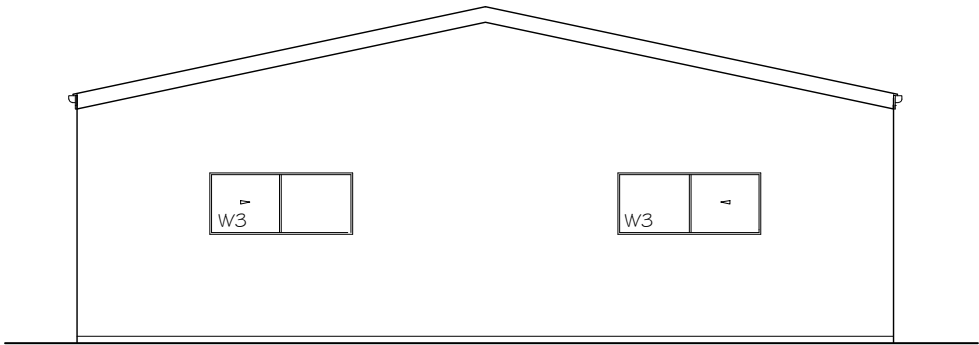
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SCALE	DATE	REV	DRAW NUMB	03
1:100	01.03.21	0	SH-1744	OF 13

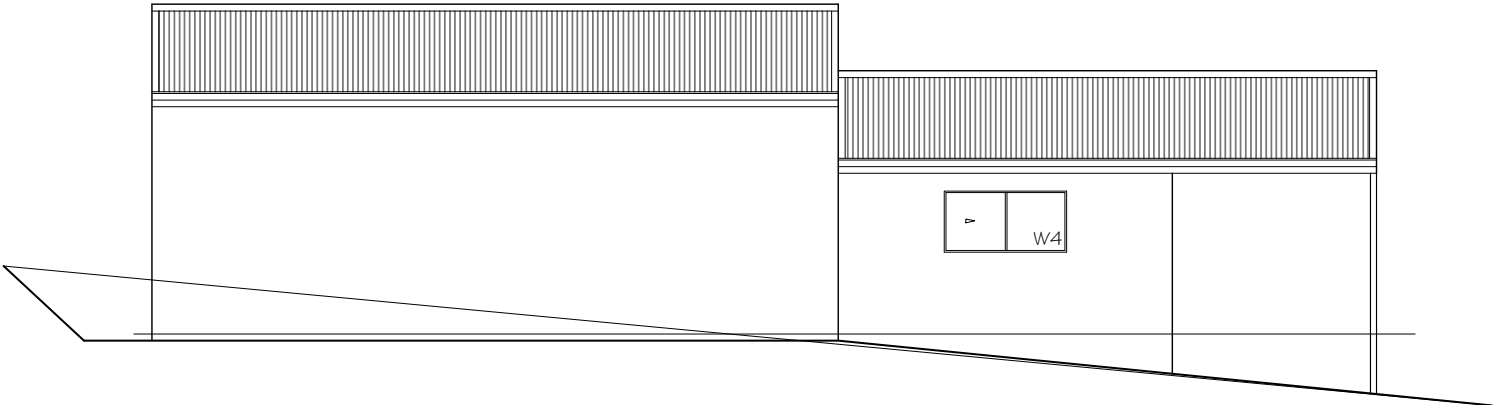
ALL DIMENSIONS IN MILLIMETRES IF IN DOUBT-DO NOT SCALE

LEGEND & NOTES - Elevations

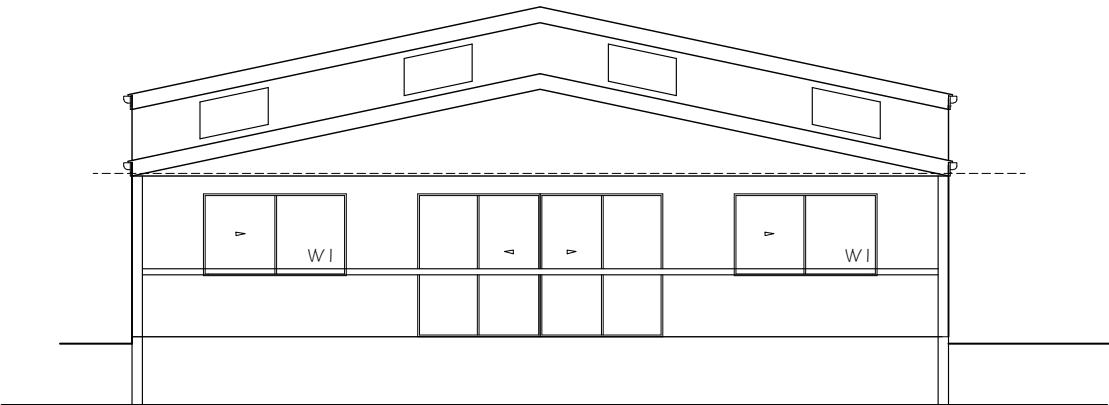
- Cj Control joint
- DP Downpipe
- SD Sliding door
- A Awning window
- F Fixed window
- CL Ceiling level
- FL Floor level



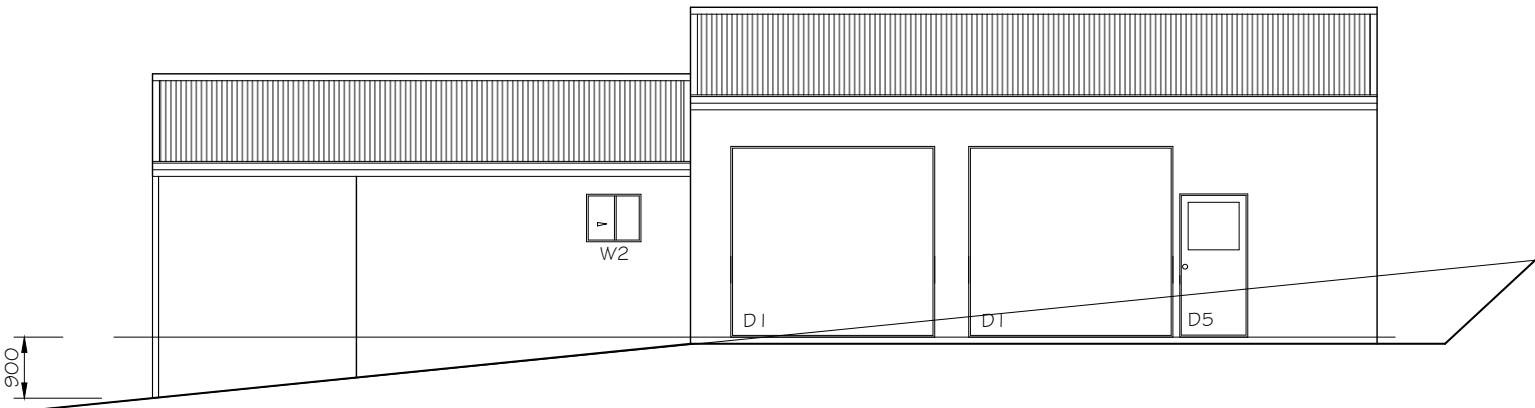
SOUTH-EAST ELEVATION



NORTH-EAST ELEVATION



NORTH-WEST ELEVATION



SOUTH-WEST ELEVATION



WOOD DRAFTING & DESIGN SERVICES
41 C Stewart St. Devonport Tas 7310
Mobile:- 0408 583 646
CC697C

Project:- NEW SHED				
M. HAMMERSLEY & D. SMITH 2 WOODLAND GROVE TUGRAH TAS 7310				
ELEVATIONS				SHEET
SCALE	DATE	REV	DRAW NUMB	05
1:100	01.03.21	0	SH-1744	OF 13

ALL DIMENSIONS IN MILLIMETRES IF IN DOUBT-DO NOT SCALE

LEGEND & NOTES - Window Schedule

Flyscreens to be fitted to all open-able windows and doors.

Glazing Requirement as outlined in the attached Glazing Calculator can be achieved with the following within an aluminium frame:

Type	Glazing	U-value	SHGC
Awning	4Clr / 12Ar / 4Clr	4.8	0.51
Fixed window	4 / 12Ar / 4	4.8	0.59
Sliding door	5Clr / 12Ar / 5 Clr	4.8	0.59

Alternative options from glazing supplier may be presented to the designer and Building Surveyor in the form of a new Glazing Calculation

Glazing types available in Tasmania can be accessed at www.wers.net

Shower screens
1800H Semi-framless shower screens to comply with BCA Table 3.6.5 & AS1288. Minimum 4mm thick Grade A toughened safety glass, labelled to comply with industry standards.

Opaque bands
Where glazed doors or side panels are capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible as follows
- Marking in the form of an opaque band not less than 20mm in height;
- The upper edge is not less than 700mm above the floor;
- The lower edge is not more than 1200mm above the floor;

Flashing to wall openings
All openings must be adequately flashed using materials that comply with AS/NZS 2904
refer to drawing A05 for window head and sill details. Flashing to be installed with glazing manufacturer's specifications for brick veneer construction

ALL SLAZED WINDOWS & DOORS ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS 1288

WINDOW SCHEDULE												
HAMMERSLEY-SMITH - 1744 RLW - 3100 WIND RATING N2 - BAL N/A												
NUMBER	HEIGHT	WIDTH	QTY	U Value	SHG	OPENING	TYPE	GLAZING	LINTEL	STUD	WALL	ORIENTATION
W1	1.2	2.1	2	4.8	0.51	2.520	ALUMINIUM SLIDING - AWNING Grade A glass min - 4mm	Double	190 x 45 - hySPAN	Double	STUD	NORTH-WEST
W2	0.7	0.8	1	4.8	0.51	0.560	ALUMINIUM SLIDING - AWNING Grade A glass min - 4mm	Double	90 x 45 - hySPAN	Single	STUD	SOUTH-WEST
W3	0.9	2.1	2	4.8	0.51	0.567	ALUMINIUM SLIDING - AWNING Grade A glass min - 4mm	Double	190 x 45 - hySPAN	Double	STUD	SOUTH-EAST
W4	0.9	1.8	1	4.8	0.51		ALUMINIUM SLIDING - AWNING Grade A glass min - 4mm	Double	190 x 45 - hySPAN	Double	STUD	NORTH-EAST

DOOR SCHEDULE												
HAMMERSLEY-SMITH - 1744 RLW - 3100 WIND RATING N2 - BAL N/A												
NUMBER	HEIGHT	WIDTH	QTY	U Value	SHG	OPENING	TYPE	GLAZING	LINTEL	STUD	WALL	ORIENTATION
D1	2.8	3.0	2				ROLLER DOOR		240 X 63 -hySPAN	Double	STUD	SOUTH-WEST
D2	2.1	3.6	1	4.8	0.55	3.780	ALUMINIUM GLASS SLIDING	Double	300 X 63 -hySPAN	Double	STUD	NORTH-EAST
D3	2.1	2.4	1				FRENCH DOOR		190 x 45 - hySPAN	Double	STUD	
D4	2.04	1.0	5				TIMBER PANEL		90 x 45 - hySPAN	Single	STUD	SOUTH-WEST
D5	2.04	0.82	2				ALUMINIUM PANEL		90 x 45 - hySPAN	Single	STUD	



WINDOW SCHEDULE

WOOD DRAFTING & DESIGN SERVICES
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Mobile:- 0408 583 646
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Project:- NEW SHED				
M. HAMMERSLEY & D. SMITH 2 WOODLAND GROVE TUGRAH TAS 7310				
WINDOW SCHEDULE				SHEET
SCALE	DATE	REV	DRAW NUMB	06
1:100	01.03.21	0	SH-1744	OF 13

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LEGEND & NOTES - Slab Plan

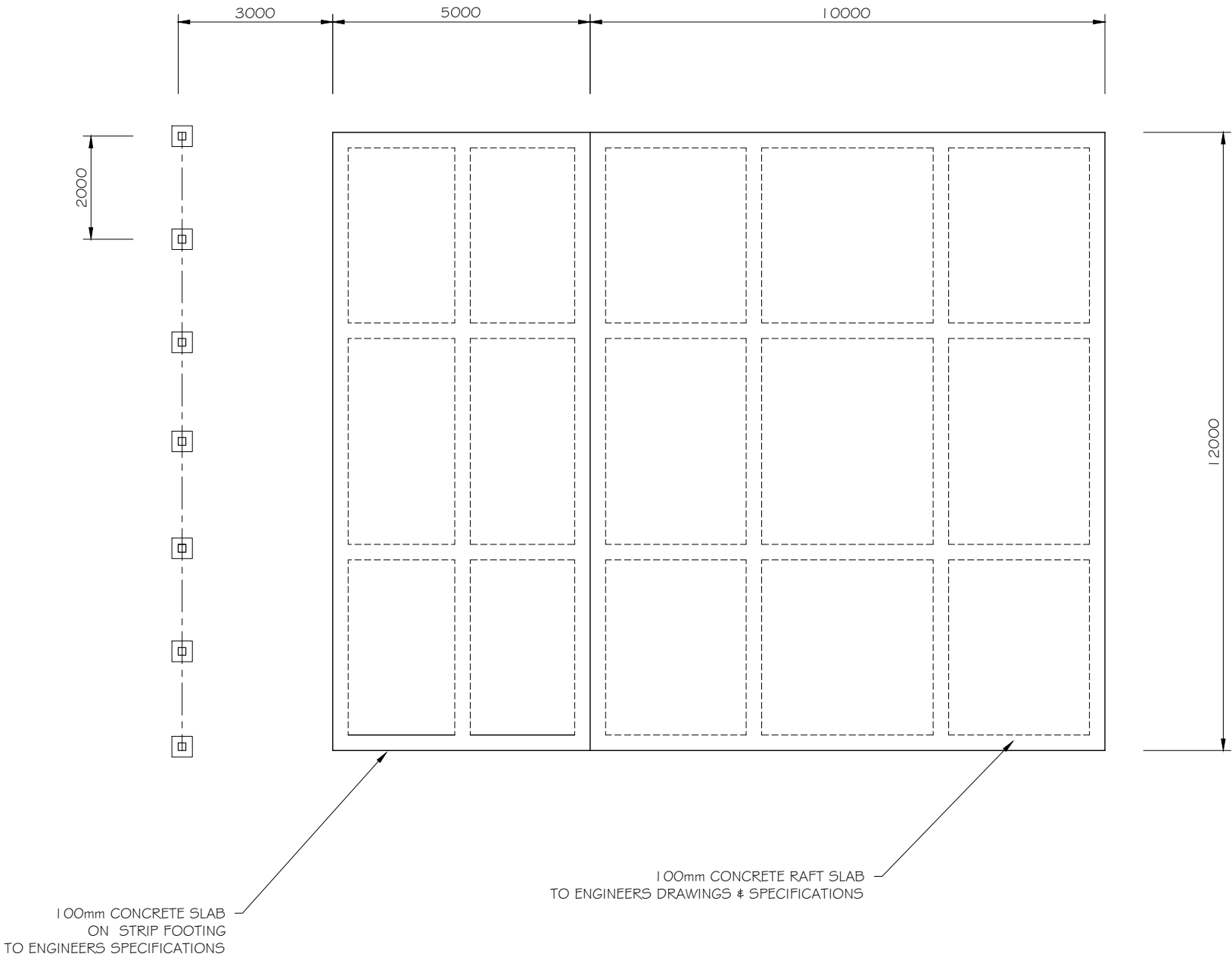
Existing levels
New levels

Foundation depth: 500mm
Foundation material: Weathered rock

Footings shall be founded on approved material having a bearing capacity of 100kPA

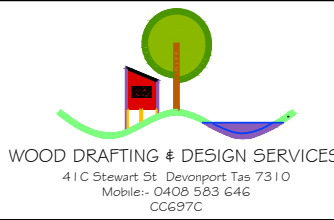
Concrete slump : 80mm
Concrete strength : 25MPa
Aggregate size : 20mm nominal
Finish : Steel trowel

All concrete shall be cured for 7 days. The Engineer's approval of the proposed method of curing shall be obtained before pouring.



FOUNDATION PLAN



 <p>WOOD DRAFTING & DESIGN SERVICES 41 C Stewart St. Devonport Tas 7310 Mobile:- 0408 583 646 CC697C</p>	Project:- NEW SHED				
	M. HAMMERSLEY & D. SMITH 2 WOODLAND GROVE TUGRAH TAS 7310				
	FOUNDATION PLAN				SHEET
	SCALE	DATE	REV	DRAW NUMB	07 OF 13
1:100	01.03.21	0	SH-1744		

ALL DIMENSIONS IN MILLIMETRES
IF IN DOUBT-DO NOT SCALE

DP
90 Ø

LEGEND & NOTES - Roof Plan

Colourbond custom orb roof sheeting crest fixed
at side laps with 3 fixing for internal spans and 5
for end spans

Fix with RoofZips M6 x 50mm (or equal)
Colour: Windspray

REFER TO :-

CONDENSATION IN BUILDINGS-
Tasmanian Designers' Guide
- Version 2

DUCTED EXHAST TO EAVE

ADD CONTINUOUS GAP SUPPLY VENT X 5mm
TO BCA 3.8.7.4

EXTERNAL WALLS DOTTED
BELOW



ROOF PLAN

A3

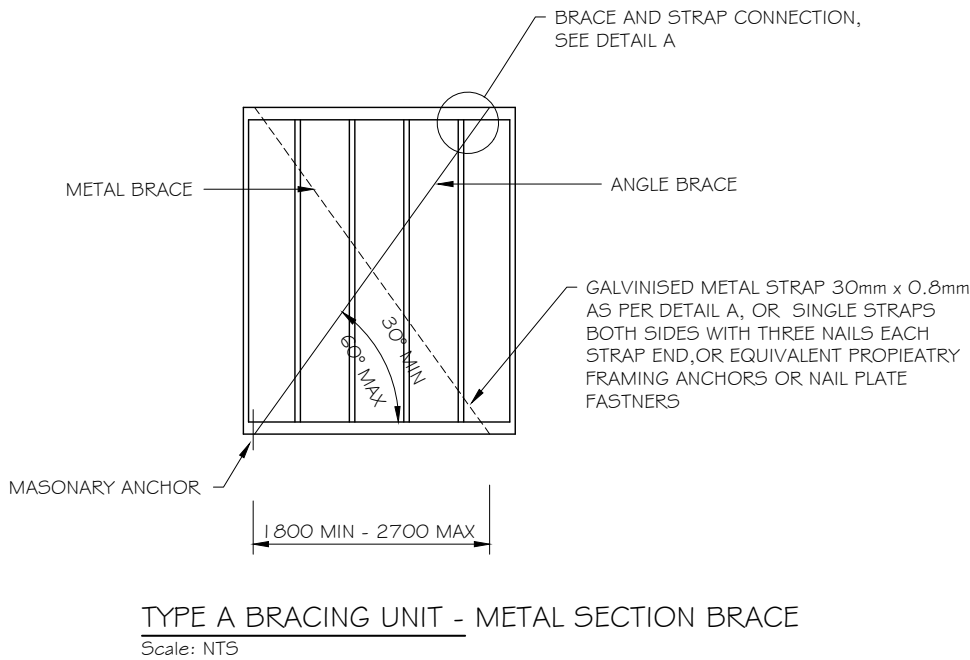
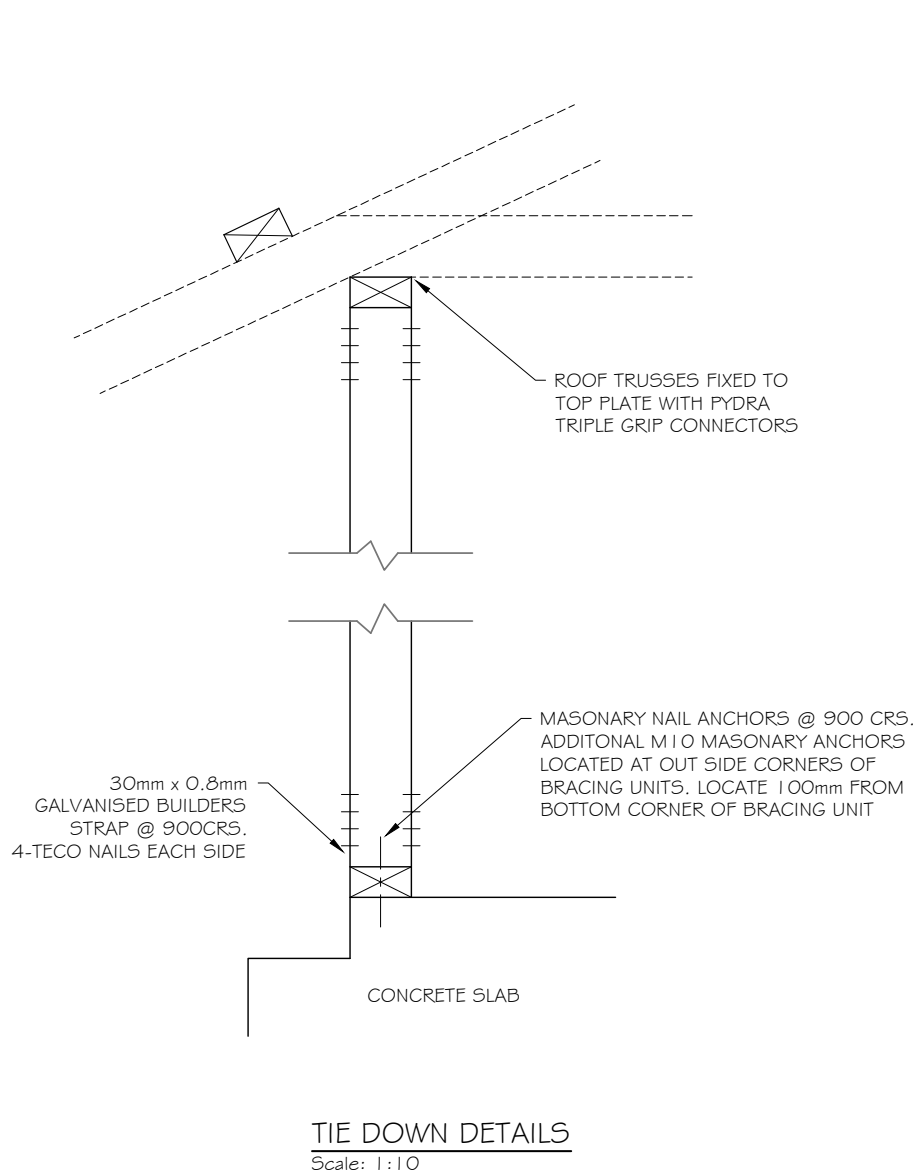
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PREFERRED SUPPLIER

HIA
MEMBER

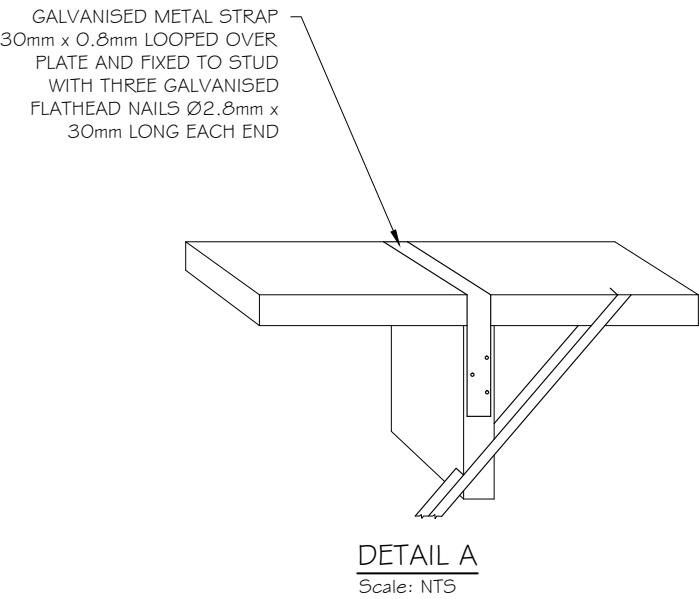
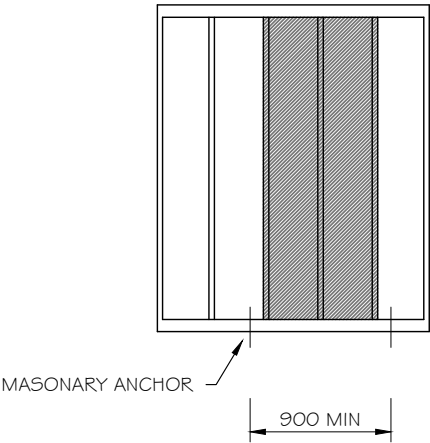
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Mobile:- 0408 583 646
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Project:- NEW SHED				
M. HAMMERSLEY & D. SMITH 2 WOODLAND GROVE TUGRAH TAS 7310				
ROOF PLAN				SHEET
SCALE	DATE	REV	DRAW NUMB	08 OF 13
1:100	01.03.21	0	SH-1744	

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PLYWOOD BRACING
FIX PLYWOOD PANELS WITH GALVINISED FLATHAED NAILS DIA 2.8mm x30mm LONG MIN. OR EQUIAIVLENT AT 150mm CENTRES ALONG ALL EDGES AND 300mm CENTRES ALONG INTERMEDIATE STUDS. NAILS SHALL BE LOCATED A MINIMUM OF 7mm FROM PANEL EDGES



THICKNESS OF PLYWOOD FOR TYPE A BRACING UNITS

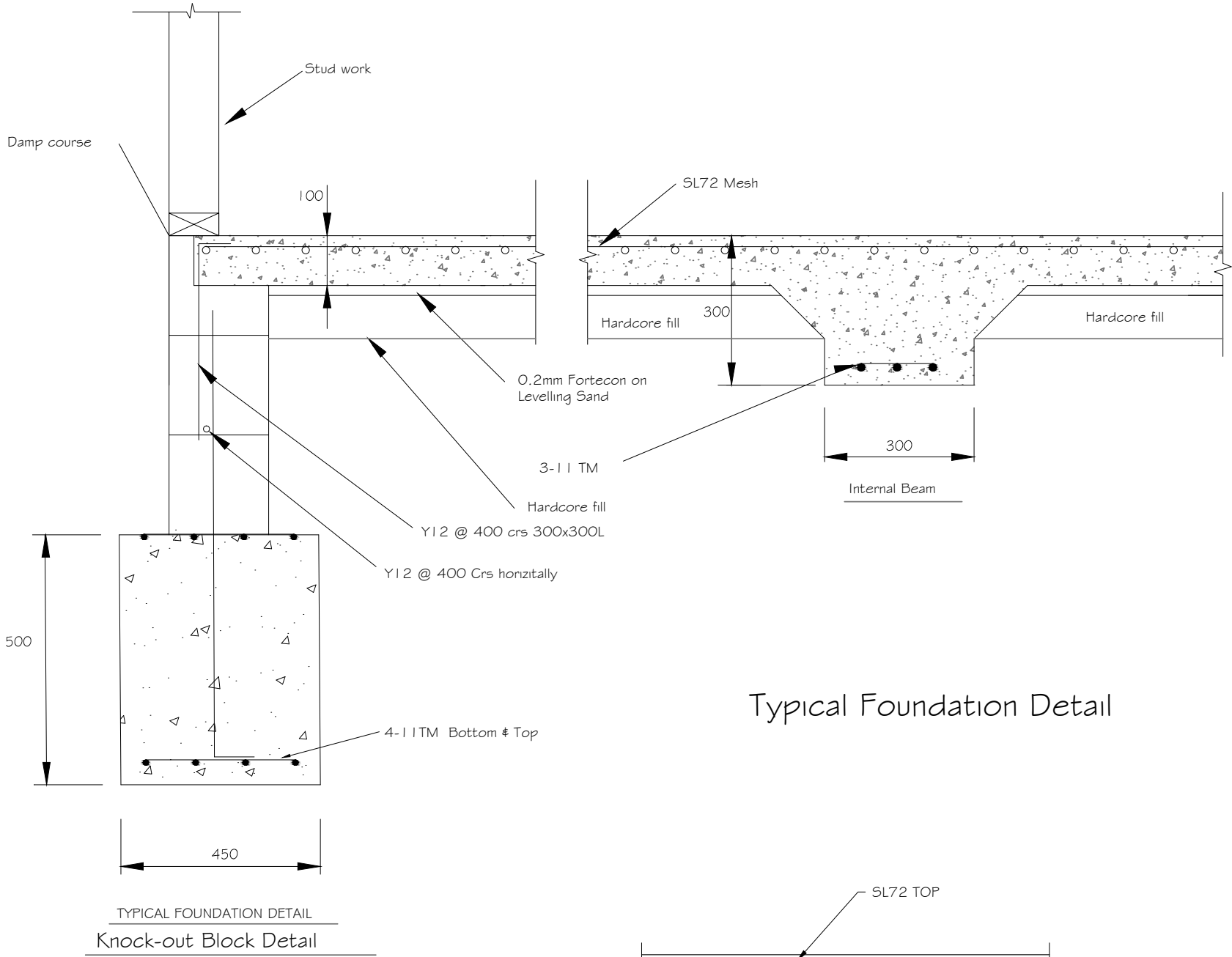
Plywood stress grade	Plywood thickness, mm	
	Maximum stud spacing,mm	
F8	450	600
F11	7	9
F14	4.5	7
F14	4	6
F27	3	4.5



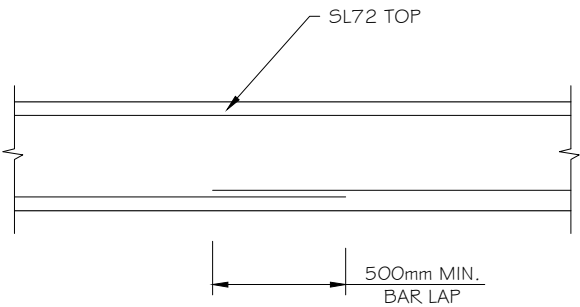
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41 C Stewart St. Devonport Tas 7310
Mobile:- 0408 583 646
CC697C

Project:- NEW SHED				
M. HAMMERSLEY #				
D. SMITH				
2 WOODLAND GROVE				
TUGRAH				
TAS 7310				
BRACING DETAILS				SHEET
SCALE	DATE	REV	DRAW NUMB	09
1:100	01.03.21	0	SH-1744	OF 13

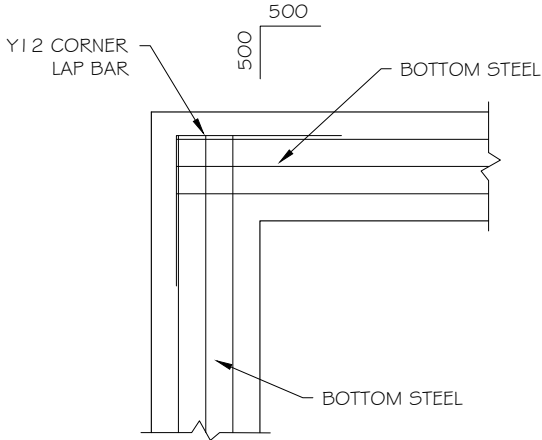
ALL DIMENSIONS IN MILLIMETRES
IF IN DOUBT-DO NOT SCALE



Typical Foundation Detail



BAR LAP DETAIL
1:10



Typical Foundation Detail
CORNER JUNCTION
1:10

NOTE:-
FOR FOUNDATION DETAILS,
BRACING, RETAINER WALL
REFER TO ENGINEERS DRAWINGS
& SPECIFICATIONS

- Notes:
1. All concrete to be 25 MPa
 2. All foundations to be poured on approved base
 3. Minimum cover to reinforcing steel to be 50mm
 4. Provide adequate drainage to ensure that foundations are free draining at all times.
 5. Site soil classification M
 6. Design wind speed 41 m/s
 7. Read in conjunction with project specification

A3

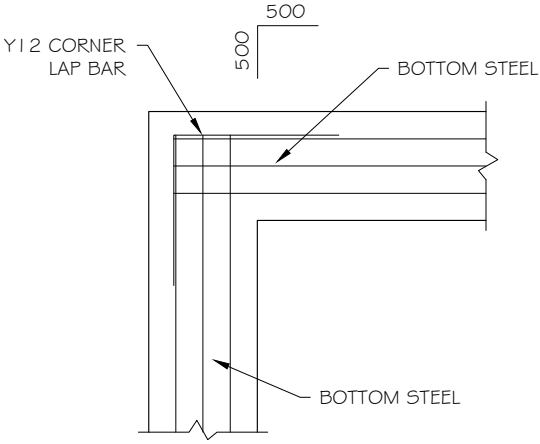
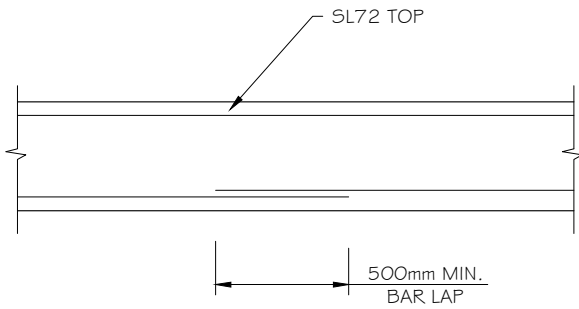
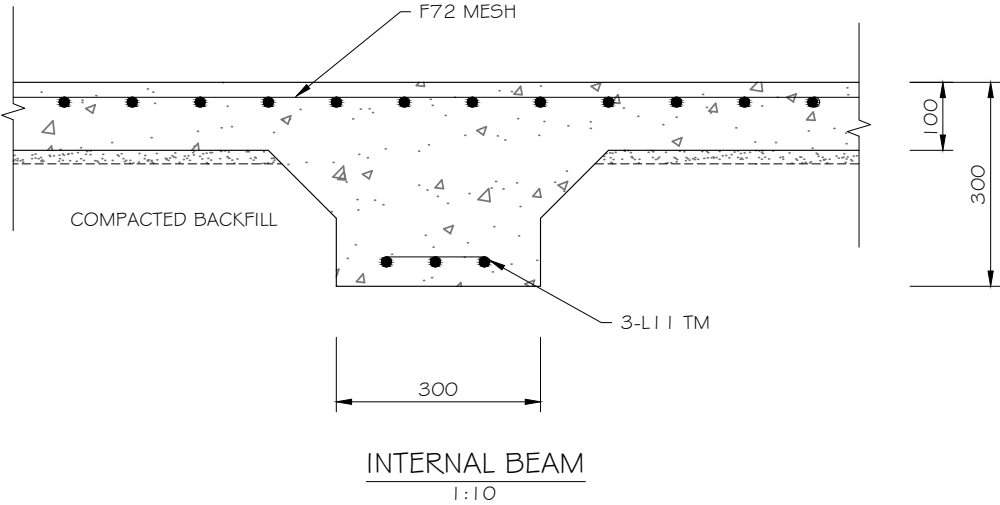
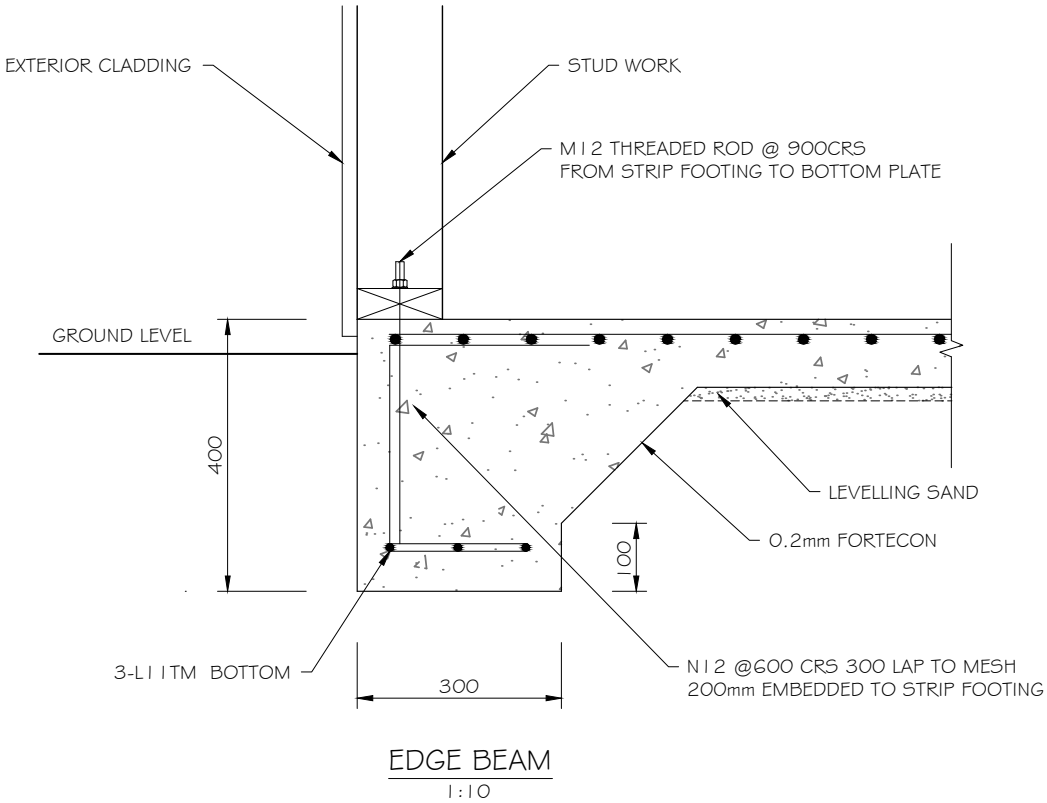
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HIA
MEMBER

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Mobile:- 0408 583 646
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Project:- NEW SHED				
M. HAMMERSLEY & D. SMITH 2 WOODLAND GROVE TUGRAH TAS 7310				
FOUNDATION DETAILS 1				SHEET
SCALE	DATE	REV	DRAW NUMB	10
1:10	01.03.21	0	SH-1744	OF 13

ALL DIMENSIONS IN MILLIMETRES
IF IN DOUBT-DO NOT SCALE



- Notes:
- 1. All concrete to be 25 MPa
 - 2. All foundations to be poured on approved base
 - 3. Minimum cover to reinforcing steel to be 50mm
 - 4. Provide adequate drainage to ensure that foundations are free draining at all times.
 - 5. Site soil classification M
 - 6. Design wind speed 41 m/s
 - 7. Read in conjunction with project specification

A3

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Mobile:- 0408 583 646
CC697C

Project:- NEW SHED				
M. HAMMERSLEY #				
D. SMITH				
2 WOODLAND GROVE				
TUGRAH				
TAS 7310				
FOUNDATION DETAILS 2				SHEET
SCALE	DATE	REV	DRAW NUMB	11
1:10	01.03.21	0	SH-1744	OF 13

ALL DIMENSIONS IN MILLIMETRES IF IN DOUBT-DO NOT SCALE

NCC COMPLIANCE NOTES

Generally all work is to be in accordance with the Nation Construction Code (NCC) and relevant Australian Standards (AS).

SITEWORKS

Excavation and filling of site to be in accordance with NCC Part 3.1 and AS 2870.
Drainage works to be in accordance with NCC Part 3.1.2 # AS/NZS 3500.3 and AS 3500.5
Surface drainage - finished ground to fall away from building 50mm in first 1000mm.
Finished slab level to be
- 150 above finished ground.
- 50 above paved surfaces.
Fill to prevent ponding of water under suspended floors.

FOOTINGS AND SLABS

Generally to be accordance with AS 2870 .
Preparation for placement of concrete and reinforcement to be to AS 2870.
Concrete # steel reinforcement to be in accordance with AS 2870.
The site classification to be in accordance with AS 2870.
Alternatively footings # slabs to be in accordance with Structural Engineers design # specification.

MASONRY

Generally masonry walls to be constructed in accordance with NCC 3.3 # AS 3700 and AS 4773
Un-reinforced masonry to NCC 3.3.1 .
Reinforced masonry to NCC 3.3.2.
Masonry accessones to NCC 3.3.3.
Weatherproofing of masonry to NCC 3.3.4.

FRAMING

Timber framing to be in accordance with NCC 3.4.0 and AS 1684.
Manufactured timber members to be in accordance with prescribed framing manual.
Sub floor ventilation in accordance with NCC 3.4.1 .
Sub floor area to be clear of organic materials # rubbish. Provide vent openings in substructure walls at a rate of 6000mm2 / m of wall length, with vents not more than 600 mm from corners. Subfloor to contain no dead air spaces.
150 mm clearance required to underside of floor framing members unless specified otherwise by flooring matenal specification.
Tie down and bracing of frame to be in accordance with AS 1684.
Wind load design to be in accordance with AS 4055.
Structural steel framing to be in accordance with NCC 3.4.4, AS 4100, AS 4600 # structural engineers design # specification.

ROOF AND WALL CLADDING

Generally to be in accordance with NCC 3.5.
Roof cladding to be in accordance with NCC 3.5.1 .
Wall cladding to be in accordance with NCC 3.5.3.
Roof tiles AS2049 # AS 2050
Metal sheet roofing AS 1562.1
Plastic sheet roofing AS/NZS 4256.1,.,2.,3 #. 5 # AS/NZ 1562.3.
Colorbond Roofing to comply with corrosion protection NCC 3.5.1.3.
Gutters and downpipes, generally to be in accordance with NCC 3.5.2 # AS/NZS 3500.3. # The Tasmanian Plumbing Code.
Eaves, internal and valley guttering to have cross sectional area of 6500mm2.
Downpipes to be 90 dia. or 100x50 rectangular section at max. 12 000 crs and to be within 1200 of internal/ valley gutter.
Wall cladding to be installed in accordance with NCC 3.5.3. # Manufacturer's specification.
Flashings to NCC 3.5.3.6.

GLAZING

Generally glazing to be in accordance with NCC 3.6 and AS 1288.
Refer to window legend for sizes and type.

FIRE SAFETY

Generally to be in accordance with NCC 3.7.
Fire separation to be in accordance with NCC 3.7.1 .
External walls and gable ends constructed within 900 of boundary or 1800 to another Class 1 building on the same lot are to extend to the underside of non combustible roofing / eaves # are to be constructed of a masonry skin 90 thick or have an FRL of 60/60/60.
Roof lights are not to be placed closer than 900 from boundary, or 1800 from another class 1 building on the same lot.
Smoke alarm installation to be in accordance with NCC 3.7.2. and AS 3786 Locations indicated on floor plan.
Installation locations
ceilings - 300 away from wall junction.
cathedral ceiling - 500 down from apex.
walls - 300 down from ceiling junction.
Heating appliances generally to be in compliance with NCC 3.7.3
AS 2918
Fireplace - extend hearth 150 to side of opening.
300 in front of opening
Freestanding - extend hearth 400 beyond unit.
Freestanding appliance to be 1200 from combustible wall surface. 50 from masonry wall. Heat shield - min 90 thick masonry with 25 air gap to combustible wall, extend 600 above unit.
Flue installation to NCC 3.7.3.5.
Top of chimney/flue to terminate min 300 above highest part of building within 3600mm.
Construction in Bush Fire Area to be in accordance with NCC 3.7.4 # AS 3959.

HEALTH AND AMENITY

Generally wet area waterproofing to be in accordance with AS 3740 and NCC 3.8.1 .
Waterproofing of surfaces in shower areas to a height 1.8 above finished floor. Wall surfaces adjacent to plumbing fixtures, bath etc. to be protected to a height of 150 above fixture.
Ceiling heights to be in accordance with NCC 3.8.2.
Membrane to be Class 3 Hydraban by Laticrete or equal.

FACILITIES

Generally to be in accordance with NCC 3.8.3.
Required facilities in accordance with 3.8.3.2. Refer to plan for locations.
Sanitary compartment to be in accordance with NCC 3.8.3.3. Refer to plan for detail.
Provision of natural light to be in accordance with NCC 3.8.4
Windows / rooflights to provide light transmission area equal to 10% of floor area of room.
Ventilation to be in accordance with NCC 3.8.5. and AS 1668.2 for mechanical ventilation. Exhaust fan from bathroom / wc to be vented to outside.
Natural ventilation to be provided at a rate of 5% of room floor area, in accordance with NCC 3.8.5.2.

STAIR CONSTRUCTION

Generally to be in accordance with NCC 3.9.1 .
Stairs.
Maximum of 18 risers and minimum of 2 risers to each flight.
Riser opening to be less than 125.
Treads to have non slip surface or nosing.
Riser - min. 115, max. 190.
Going - min 240, max. 355.
Slope relationship to be 700 max, 550 min (2r + 1g)
Balustrade.
Generally in accordance with NCC 3.9.2.
Balustrade required where area is not bounded by a wall or where level exceeds 1000 above floor level to finished floor or ground level.
865 high on stairs, measured from line of stair nosing. 1000 high above floor or landing.
Openings between balusters / infill members to be constructed so as not to allow 125 sphere to pass between members. Where floor level exceeds 4000 above lower level, infill members between 150 and 760 above floor level, to be constructed so as to prevent climbing.

SWIMMING POOLS

Generally swimming pools and safety fences to be constructed in accordance with NCC 3.9.3. and AS 1926

ENERGY EFFICIENCY

Generally in accordance with NCC 3.12
Climate Zone 7 applicable to Tasmania (Zone 8 applicable to Alpine areas)
Alternative sollution.
Building to achieve a minimum 6 star energy rating using a thermal calculation method complying with ABCB protocol for house energy rating software, carried out by a qualified and NATHERS registered energy rating consultant.

BUILDING FABRIC

Generally in accordance with NCC 3.12.1
BUILDING FABRIC INSULATION
Insulation to be fitted to form continuous barrier to roof/ceiling, walls and floors.

ENERGY EFFICIENCY(continued)

REFLECTIVE BUILDING MEMBRANE

Installed to form 20mm airspace between reflective face and external lining / cladding, fitted closely up to penetrations / openings, adequately supported and joints to be lapped min. 150
BULK INSULATION

To maintain thickness and position after installation
Continuous cover without voids except around services / fittings.

ROOF INSULATION

Roof construction to achieve miniumum Total R Value of-

Roof Colour	Climate Zone	
	7	8
Off white Cream	4.1	6.3
Zinc, Galv, Light Grey, Yellow, Buff	4.6	6.3
Dark Grey, Red, Green	5.1	6.3

R4.3 for climate zone 7.
R4.8 for climate zone 8.
Roof lights to comply with NCC 3.12.1.3
EXTERNAL WALLS
External wall construction to achieve minimum Total R Value of -
R2.8 for climate zone 7.
R3.8 for climate zone 8.
Wall surface density minimum - 220kg/m2
FLOORS
Generally in accordance with NCC 3.12.1.5
Suspended floor with an unenclosed perimeter required to achieve a minimum Total R Value of-
R2.75 for unenclosed in climate zone 7.
R3.25 for unenclosed in climate zone 8.
For enclosed perimeter treatment, the underfloor airspace and it's enclosure may be included in the total R value calculation.
Concrete slab on ground with an in slab heating system to be isolated to R1.0 around vertical edge of slab perimeter.
ATTACHED CLASS 10a BUILDING
External wall or separating wall between class 1 building required to achieve a minimum Total R Value equal to the external wall R Value.

EXTERNAL GLAZING

Generally in accordance with NCC 3.12.2

BUILDING SEALING

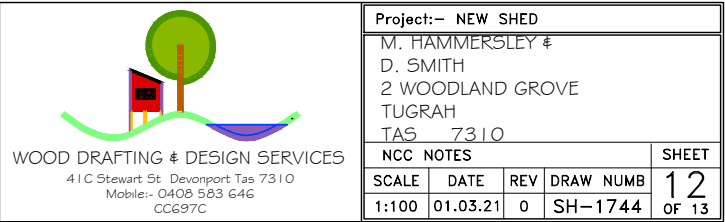
Generally in accordance with NCC 3.12.3
Chimneys or flues to be fitted with sealing damper or flap.
Roof lights to habitable rooms to be fitted with operable or permanent seal to minimize air leakage.
External windows # doors to habitable rooms / conditioned spaces to be fitted with air seal to restrinct air infiltration.
Exhaust fans to habitable rooms / conditioned spaces to be fitted with self closing damper or filter
Building envelope to be constructed to minimize air leakage.
Construction joints and junctions of adjoining surfaces to be tight fitting and sealed by caulking, skirting, architraves and cornices.

AIR MOVEMENT

Generally in accordance with NCC 3.12.4

SERVICES

Generally in accordance with NCC 3.12.5
Hot water supply system designed and installed in accordance with AS/NZS 3500



ALL DIMENSIONS IN MILLIMETRES IF IN DOUBT-DO NOT SCALE

1. FALLS, SLIPS AND TRIPS

1.1 WORKING AT HEIGHTS

1.1.1 DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off site or at ground level to minimise the risk of workers falling more than two metres, However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The Builder should provide a suitable banner wherever a person is required to work in a situation where falling more than two metres is a possibility.

1.1.2 DURING OPERATION OR MAINTENANCE

Houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roofs or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders and trestles should be used in accordance with relevant codes of practice, regulations or legislation.

Buildings where scaffolding, ladders and trestles are not appropriate:

Cleaning and maintenance of windows, walls, roofs or other components of the building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

1.1.3 ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

1.2 SLIPPERY OR UNEVEN SURFACES

1.2.1 FLOOR FINISHES - Specified

If finishes have been specified by the Designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

1.2.2 FLOOR FINISHES - By Owner

If the Designer has not been involved in the selection of surface finishes, the Owner is responsible for the selection of surface finishes in the pedestrian-trafficable areas of the building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZS 4586:2004.

1.2.3 STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to the design requirements for the building, steps and/or ramps are included in the building that may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warnings during construction, maintenance, demolition, and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and, in particular, access to areas where maintenance is routinely carried out, to ensure that surfaces have not moved or cracked such that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce risk of trips and falls at the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

2.1 LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around the building is likely to involve persons working above ground level or above floor levels. Where this occurs, one of the following measures should be taken to avoid objects falling, from the area where work is being carried out, onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toe boards to scaffolding and work platforms.
3. Provide a protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

2.2 BUILDING COMPONENTS

During construction, renovation or demolition of the building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse, which may injure persons in the area, is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured, and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

Buildings on a major road, narrow road or steeply inclined road:

Parking of vehicles or loading/unloading of vehicles on the roadway may cause a traffic hazard. During construction, maintenance or demolition of the building, designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for supervision of these areas;

Buildings where on-site loading/unloading is restricted:

Construction of the building may require loading and unloading materials on the roadway.

Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

All buildings:

Busy construction and demolition sites present a risk of collision when deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be implemented for the work site.

4. SERVICES

General:

Rupture of services during excavation for other activity creates a variety of risks including release of hazardous material. Existing services may be located on or around the building site. Where known, these are identified on the drawings, but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig, Telstra, etc.), appropriate excavation practice should be used and, where necessary, specialist contractors should be engaged.

Locations with underground power lines:

Underground power lines may be located in or around the site. All underground power lines must be disconnected or accurately located and adequate warning signs used prior to any construction, maintenance or demolition work commencing.

Locations with overhead power lines:

Overhead power lines may be located on or near the site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical, adequate warning in the form of bright-coloured tape or signage should be used, or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25 kg should be lifted by two or more workers or by a mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way that minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of the building will require the use of portable tools and equipment. These should be fully maintained in accordance with the manufacturers' specifications and not used where faulty or, in the case of electrical equipment, not carrying a current electrical safety tag.

All safety guards and devices should be regularly checked and Personal Protective Equipment should be used in accordance with the manufacturer's specification.

6. HAZARDOUS SUBSTANCES

6.1 ASBESTOS

For alterations to or demolition of a building constructed prior to 1990, if the building was constructed prior to:

1990 - it may contain asbestos

1986 - it is likely to contain asbestos,

either in cladding material or in fire-retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

6.2 POWDERED MATERIALS

Many materials used in construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment, including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

6.3 TREATED TIMBER

The design of the building may include provision for inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

6.4 VOLATILE ORGANIC COMPOUNDS

Many types of glues, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturers' recommendations for use must be carefully considered at all times.

6.5 SYNTHETIC MINERAL FIBRE

Glass fibre, rock wool, ceramic and other material used for thermal or acoustic insulation may contain synthetic mineral fibre which may be harmful if inhaled, or if it comes into contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment, including protection against inhalation of harmful material, should be used when installing, removing or working near bulk insulation material.

6.6 TIMBER FLOORS

The building may contain timber floors that have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application, and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

7.1 EXCAVATION

Construction of the building and some maintenance on the building may require excavation and installation of items within the excavation. Where practical, installation should be carried out using methods that do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

7.2 ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within the building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment shall be provided.

7.3 SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within the building may require access by construction and maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These shall be maintained throughout the life of the building. Where workers are required to enter small spaces, they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Where public access to construction and demolition sites and to areas under maintenance causes risk to workers and the public, warning signs and secure barriers to unauthorised access shall be provided. Areas of electrical installations, excavations, plant or loose materials shall be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

The building has been designated as a residential building. If the building, at a later date, is used or intended for use as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement legislation should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

Non-residential buildings where the end-use has not been identified:

The building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end user.

Non-residential buildings where the end-use is known:

The building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date, a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH-RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZS 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents, it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

NOTE:

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THIS PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO, OWNER BUILDER, RENOVATORS, SUBCONTRACTORS, CONSULTANTS, MAINTAINERS AND DEMOLISHERS.

