
4.1 PA2020.0201 - 55 MELROSE ROAD ABERDEEN - 2 LOT SUBDIVISION

Author: **Alex Mountney, Planning Officer**

Endorser: **Kylie Lunson, Development Services Manager**

RECOMMENDATION

That the Planning Authority, pursuant to the provisions of the *Tasmanian Planning Scheme – Devonport 2020* and Section 57 of the *Land Use Planning and Approvals Act 1993*, approve application PA2020.0201 and grant a Permit to develop land identified as 55 Melrose Road, Aberdeen for the following purposes:

- 2 lot subdivision

Subject to the following conditions:

Planning Condition

1. The subdivision is to proceed generally in accordance with the submitted plans and documentation referenced as:
 - Proposed Subdivision – 55 Melrose Road, Aberdeen – Drawing No. 220144, dated 12/08/20 by Michell Hodgetts Surveyors; and
 - Bushfire Risk Assessment Report & Certificates by EnviroPlan Australia, dated 20/10/2020.

Infrastructure & Works Conditions

2. The existing roadside pipeline, which terminates outside Lot 2, is to be extended to terminate downstream of the proposed driveway for Lot 1. This will include the installation of a winged headwall at the terminating end. The open drain downstream of the headwall is to be realigned, as required, to suit the new headwall location.
3. A stormwater connection for Lot 2 is to connect to the extended pipeline in accordance with the National Construction Code and in accordance with Tasmanian Standard Drawings TSD-SW25 and TSD-SW26.
4. A sealed driveway for lot 1 is to be generally constructed in accordance with Tasmanian Standard Drawings TSD-R03 and TSD-R04 with a shallow dish to ensure no damming of overland flow from the upstream nature strip. The driveway is to comply with the sight distance requirements of Tasmanian Standard Drawing TSD-RF01.

TasWater Condition

5. The developer is to comply with the conditions specified in the Submission to Planning Authority Notice which TasWater has required to be included in the planning permit pursuant to section 56P(1) of the *Water and Sewerage Industry Act 2008*. A copy of this notice is attached. **Attachment 4.2.1**

Note: The following is provided for information purposes.

Future Street Addressing:

- Lot 1 on subdivision plan will retain the existing rural street address of 55 Melrose Road; and
- Lot 2 on the subdivision plan will have the rural street address 57 Melrose Road.

This complies with AS/NZS 4819.2011 *Rural and urban addressing*.

Council will accept either a sewer connection for lot 1 or a future on-site wastewater system. If a reticulated sewer connection is preferred this will need to be installed in accordance with TasWater requirements.

The property is mapped as being within a 'Priority vegetation area' under the *Tasmanian Planning Scheme – Devonport 2020*. Any vegetation removal other than the removal of garden vegetation for lot 2 will be subject to further planning scheme analysis.

The developer is to provide a scaled plan showing the dimensioned location of the stormwater connection to Council at the conclusion of the works.

The owner must, at their expense, repair any Council services (eg pipes, drains) and any road, crossover, footpath or other Council infrastructure that is damaged as a result of any works carried out by the developer, or their contractors or agents pursuant to this permit. These repairs are to be in accordance with any directions given by the Council.

A permit to work within the road reserve must be sought and granted prior to any works being undertaken within the road reserve. Additional directions from Council regarding the pipeline extension alignment will be given to the developer at this stage.

In regard to condition 5 the developer should contact TasWater – Ph 136992 with any enquiries.

In regard to conditions 2-4 the applicant should contact Council's Infrastructure & Works Department – Ph 6424 0511 with any enquiries.

General enquiries regarding this permit can be directed to Council's Development Services Department – Ph 6424 0511.

RELEVANCE TO COUNCIL'S PLANS & POLICIES

Council's Strategic Plan 2009-2030:

- | | |
|----------------|--|
| Strategy 2.1.1 | Apply and review the Planning Scheme as required, to ensure it delivers local community character and appropriate land use |
| Strategy 2.1.2 | Provide consistent and responsive development assessment and compliance processes |

SUMMARY

The purpose of this report is to enable Council acting as a Planning Authority to make a decision regarding planning application PA2020.0201 for a 2 lot subdivision at 55 Melrose Road, Aberdeen.

BACKGROUND

Planning Instrument:	<i>Tasmanian Planning Scheme – Devonport 2020</i>
Address:	55 Melrose Road, Aberdeen
Applicant:	Michell Hodgetts Surveyors
Owner:	Graeme & Dorothy Cooper
Proposal:	2 lot subdivision
Existing Use:	Residential
Zoning:	Rural Living - Zone A
Decision Due:	28/12/2020

SITE DESCRIPTION

The site is located on the southern side of Melrose Road, approximately 550m west of the Sheffield Road and Melrose Road intersection. The rectangular-shaped lot has an area of 1.913ha and falls gently towards Melrose Road. Located on the site is an existing weatherboard dwelling constructed in the 1950s and numerous outbuildings. The site is surrounded by a mix of established residential development and vacant lots on varying lot densities.

Figure 1 is a recent aerial image of the property and Figure 2 is a copy of the property's title.



Figure 1 - Aerial image of subject site and surround locality (DCC, 2019)

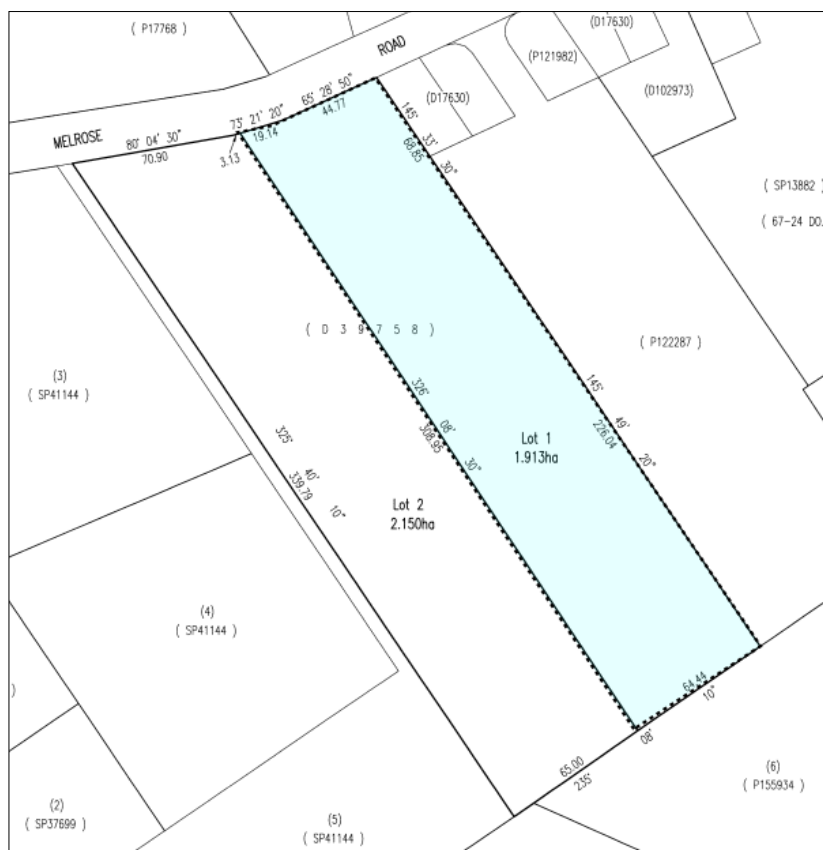


Figure 2 - Title plan of property - CT 176489/1 (The List, 2020)

APPLICATION DETAILS

The applicant is seeking approval for a 2 lot subdivision.

Lot 1 is an internal vacant lot and is proposed to have an area of 1.05ha. A new access is proposed for this lot.

Lot 2 encompasses the existing house and outbuildings and will have an area of 8400m². This lot will utilise the existing property access.

A copy of the subdivision plan is reproduced below as Figure 3. A full copy of the application documentation is appended as **Attachment 4.2.2**

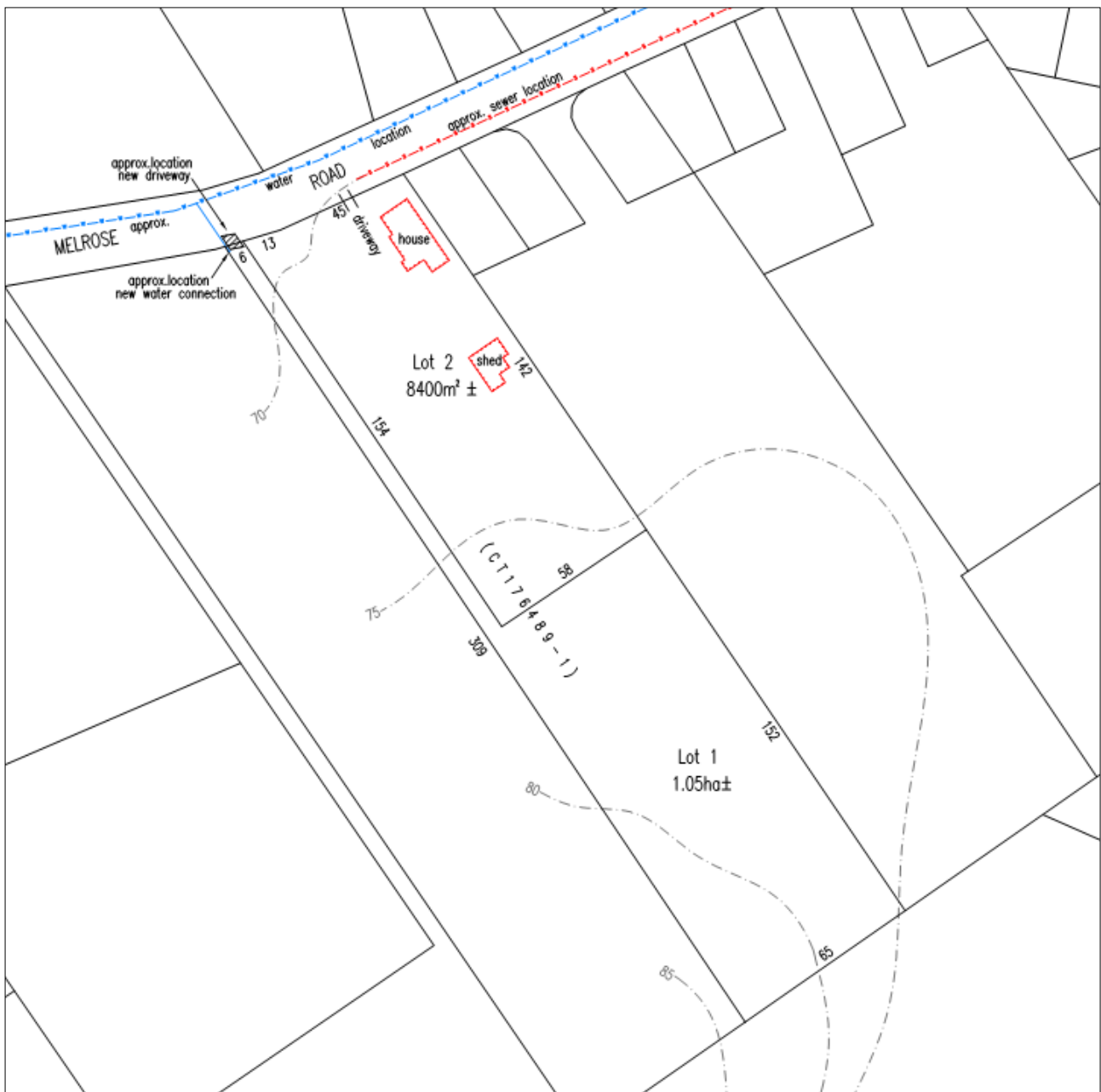


Figure 3 - Subdivision Plan (Michell Hodgetts, 2020)

PLANNING ISSUES

The land is zoned Rural Living – Zone A under the *Tasmanian Planning Scheme - Devonport 2020*.

The purpose of the Rural Living zone is:

“11.1.1 To provide for residential use or development in a rural setting where:

- (a) services are limited; or
- (b) existing natural and landscape values are to be retained.

11.1.2 To provide for compatible agricultural use and development that does not adversely impact on residential amenity.

11.1.3 To provide for other use or development that does not cause an unreasonable loss of amenity, through noise, scale, intensity, traffic generation and movement, or other offsite impacts.

11.1.4 To provide for Visitor Accommodation that is compatible with residential character."

(TPS-D, 2020)

A land-use zoning map of the site and surrounds is reproduced below as Figure 4.

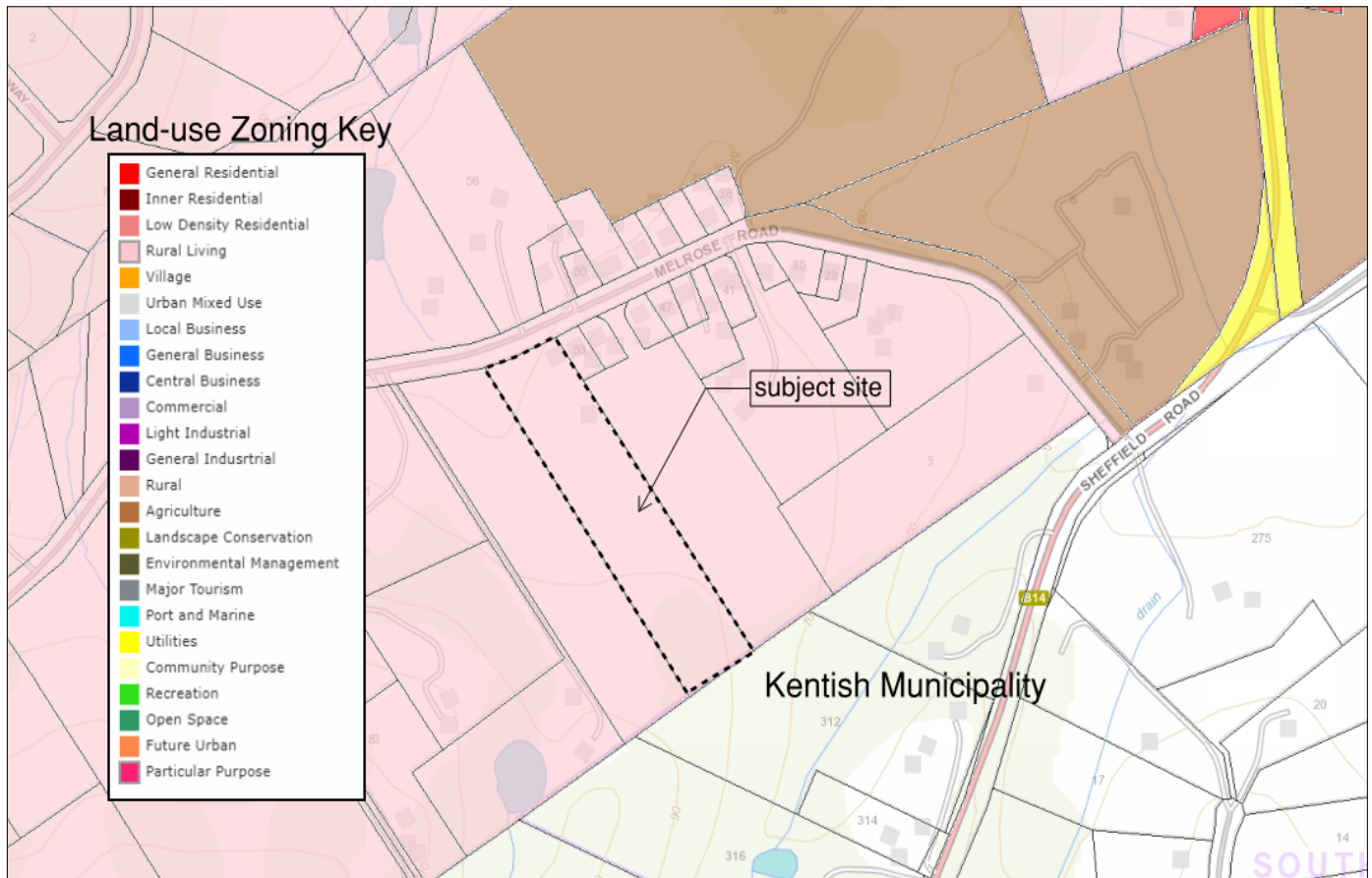


Figure 4 – Land-use zoning Map (The List, 2020)

Subdivision is permitted within the Rural Living zone provided the configuration can satisfy the relevant sections of the TPS-D at the acceptable solutions level. If a development standard cannot satisfy the acceptable solutions, the corresponding performance criteria is assessed to determine if a permit pathway can be supported. When the performance criteria are invoked, the discretionary planning approval process is triggered i.e public scrutiny process and Council acting as a planning authority can approve or refuse the application.

The relevant development standards pertinent to this application are reproduced below along with comment.

11.5 Development Standards for Subdivision

11.5.1 Lot design

Objective:	That each lot:
	(a) has an area and dimensions appropriate for use and development in the zone;
	(b) is provided with appropriate access to

	<p>a road; and</p> <p>(c) contains areas which are suitable for residential development.</p>
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must:</p> <p>(a) have an area not less than specified in Table 11.1 and:</p> <p style="padding-left: 40px;">(i) be able to contain a minimum area of 15m x 20m clear of:</p> <p style="padding-left: 80px;">a. all setbacks required by clause 11.4.2 A2 and A3; and</p> <p style="padding-left: 80px;">b. easements or other title restrictions that limit or restrict development; and</p> <p style="padding-left: 40px;">(ii) existing buildings are consistent with the setback required by clause 11.4.2 A2 and A3;</p> <p>(b) be required for public use by the Crown, a council or a State authority;</p> <p>(c) be required for the provision of Utilities; or</p> <p>(d) be for the consolidation of a lot with another lot provided each lot is within the same zone.</p>	<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <p>(a) the relevant requirements for development of existing buildings on the lots;</p> <p>(b) the intended location of buildings on the lots;</p> <p>(c) the topography of the site;</p> <p>(d) any natural or landscape values;</p> <p>(e) adequate provision of private open space; and</p> <p>(f) the pattern of development existing on established properties in the area,</p> <p>and must be no more than 20% smaller than the applicable lot size required by clause 11.5.1 A1.</p>
<p>A2</p> <p>Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a frontage not less than 40m.</p>	<p>P2</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be provided with a frontage or legal connection to a road by a right of carriageway, that is sufficient for the intended use, having regard to:</p> <p>(a) the width of frontage proposed, if any;</p> <p>(b) the number of other lots which have the land subject to the right of carriageway as their sole or principal means of access;</p>

	<p>(c) the topography of the site;</p> <p>(d) the functionality and useability of the frontage;</p> <p>(e) the ability to manoeuvre vehicles on the site; and</p> <p>(f) the pattern of development existing on established properties in the area,</p> <p>and is not less than 3.6m wide.</p>
<p>A3</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority.</p>	<p>P3</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be provided with reasonable vehicular access to a boundary of a lot or building area on the lot, if any, having regard to:</p> <p>(a) the topography of the site;</p> <p>(b) the length of the access;</p> <p>(c) the distance between the lot or building area and the carriageway;</p> <p>(d) the nature of the road and the traffic;</p> <p>(e) the anticipated nature of vehicles likely to access the site; and</p> <p>(f) the ability for emergency services to access the site.</p>

Table 11.1 Rural Living Zone minimum lot sizes

Rural Living Zone A	1ha
Rural Living Zone B	2ha
Rural Living Zone C	5ha
Rural Living Zone D	10ha

Regarding A1/P1, the property is zoned Rural Living - Zone A. The acceptable minimum lot size is 1ha. Lot 1 can satisfy A1 as it has an area of 1.05ha. In addition, this lot can achieve a building envelope in accordance with A1(i)(a)&(b). This lot is currently vacant and therefore A1(ii) is not required to be considered. In contrast, lot 2 (existing house lot) has an area of 8400m² which does not satisfy the acceptable area requirement. P1 can be comfortably supported as this lot accommodates the existing dwelling and is in accordance with the existing pattern of development observed within the site's vicinity.

Concerning A2/P2, lot 1 has a frontage to Melrose Road less than 40m. This internal lot can satisfy P2 as it has a 6m access strip that is not burdened by adjoining properties.

Furthermore, this lot is intended for future residential development and a frontage of this width is considered sufficient. Lot 2 has a frontage in accordance with A2.

With respect to A3, Council's Infrastructure & Works Department is satisfied with the access locations for each lot. A condition will be included on the permit to ensure the future access for lot 1 is developed in accordance with the relevant engineering standards.

11.5.2 Roads

Objective:	<p>That the arrangement of new roads with a subdivision provides:</p> <p>(a) safe, convenient and efficient connections to assist accessibility and mobility of the community;</p> <p>(b) adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; and</p> <p>(c) the efficient ultimate subdivision of the entirety of the land and of surrounding land.</p>
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>The subdivision includes no new roads.</p>	<p>P1</p> <p>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety, convenience and legibility for vehicles, having regard to:</p> <p>(a) any relevant road network plan adopted by the council;</p> <p>(b) the existing and proposed road hierarchy;</p> <p>(c) maximising connectivity with the surrounding road network;</p> <p>(d) appropriate access to public transport; and</p> <p>(e) access for pedestrians and cyclists.</p>

A1 is satisfied as no new roads are proposed as part of this subdivision application.

11.5.3 Services

Objective:	That the subdivision of land provides services for the future use and development of the land.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must:</p> <p>(a) be connected to a full water supply service if the frontage of the lot is within 30m of a full water supply service; or</p> <p>(b) be connected to a limited water supply service if the frontage of the lot is within 30m of a limited water supply service,</p> <p>unless a regulated entity advises that the lot is unable to be connected to the relevant water supply service.</p>	<p>P1</p> <p>No Performance Criterion</p>
<p>A2</p> <p>Each lot, or a lot proposed in a plan of subdivision, excluding within Rural Living Zone C or Rural Living Zone D or for public open space, a riparian or littoral reserve or Utilities, must:</p> <p>(a) be connected to a reticulated sewerage system; or</p> <p>(b) be connected to a reticulated sewerage system if the frontage of each lot is within 30m of a reticulated sewerage system and can be connected by gravity feed.</p>	<p>P2</p> <p>Each lot, or a lot proposed in a plan of subdivision, excluding within Rural Living Zone C or Rural Living Zone D or for public open space, a riparian or littoral reserve or Utilities, must be capable of accommodating an on-site wastewater treatment system adequate for the future use and development of the land.</p>

In regard to A1, the application has been referred to TasWater for comment. Each lot will have a reticulated water connection and this matter will be reinforced as a permit condition.

Regarding A2/P2, the applicant has stated within their planning compliance statement that each lot will be connected to a reticulated sewerage system. Council's records indicate that the existing dwelling (lot 2) has a connection to the sewerage system. TasWater has not provided any conditions regarding the requirement for lot 1 to connect to the sewerage system. If the developer does not connect lot 1 to the sewerage system there is ample room to accommodate an on-site wastewater treatment system. This matter will be noted on the permit and a flexible approach can be supported.

In summary, the application is determined to satisfy the subdivision provisions for the Rural Living zone.

Two development codes are required to be considered as part of this application, these being the Natural Assets Code and the Bushfire-Prone Areas Code. Further information regarding both codes is discussed below.

C7.0 Natural Assets Code

Mapping under the Local Provisions Schedule (LPS) identifies the site as being within a 'Priority vegetation area'.

In this case, the property has been mostly cleared with small patches of remnant vegetation evident. The applicant has made no mention of land clearing as part of the subdivision application. A note will be included on the permit requiring any future land clearing (if intended) to be subject to further analysis against the TPS-D.

C13.0 Bushfire-Prone Areas Code

The property is mapped as being within a bushfire-prone area. As part of the application documentation, a bushfire assessment was submitted by an accredited bushfire assessor. The assessment demonstrates that this code can be satisfied at the acceptable solutions level.

COMMUNITY ENGAGEMENT

On 04/11/2020, Council received an application for the above development. Under Section 57(3) of the *Land Use Planning and Approvals Act 1993*, the Planning Authority must give notice of an application for a permit. As prescribed at Section 9(1) of the *Land Use Planning and Approvals Regulations 2014*, the Planning Authority fulfilled this notification requirement by:

- (a) Advertising the application in *The Advocate* newspaper on 25/11/2020;
- (b) Making a copy of the proposal available in Council Offices from the 25/11/2020;
- (c) Notifying adjoining property owners by mail on 24/11/2020; and
- (d) Erecting a Site Notice for display from the 25/11/2020.

The period for representations to be received by Council closed on 09/12/2020.

REPRESENTATIONS

One representation was received within the prescribed 14-day public scrutiny period required by the *Land Use Planning and Approvals Act 1993*.

The representation was received from the landowners of 61 Melrose Road, Aberdeen. This property adjoins the subject site to the immediate west. A copy of the representation is appended as **Attachment 4.2.3**

Before addressing the representation, provision 6.10 of the TPS-D states that the planning authority must take into account any representation received but, in the case of the exercise of discretion, only insofar as each such matter is relevant to the discretion being exercised.

In this case, the discretionary elements of the subdivision are the lot size of lot 2 being less than 1 ha and the frontage of lot 1 being less than 40m.

Sections of the representation are reproduced below along with comment.

Currently there is a timber and wire fence on the boundary between our property and 55 Melrose Road, Aberdeen. We understand under the terms of our contract when purchasing our property that this fence should remain. We request that Council please give us assurance in this matter.

Comment – Not relevant to the determination of this application.

We understand that our property is fully compliant with Council regulations to subdivide and that there would be no impediment for us doing so in the future if so desired. We request Council please give us assurance that when considering the above-mentioned permit application any future application that we may make regarding subdivision will not be negatively impacted and that we would not incur additional costs or refusal as a result of the above-mentioned permit application.

Comment - Not relevant to the determination of this application. As an observation, the property is subject to the same land-use zoning and if compliance with the TPS-D can be demonstrated the property can likely be further divided.

If a drainage pipe is to be installed in the culvert beside the road to allow ingress to the property from the road we request that Council consider our right to subdivide in that the drainage pipe should be of sufficient length to allow ingress from the road to our property to avoid what we regard as a complicated addition to the pipe with increased cost to ourselves in the event we apply for subdivision.

Comment - Not relevant to the determination of this application. The planning authority is considering 55 Melrose Road as the subdivision site.

We have an approved sewer line running to the TasWater main. A new driveway would go over this sewer line. Would Council please let us know how this would be managed. Would Council please assure us that we will not incur costs in this regard.

Comment - Not relevant to the determination of this application. As an observation any works associated with a development is executed at the developer's cost.

We understand that we will not be impacted by drainage management for the proposed subdivision or for the existing lot 1. Would Council confirm if this is correct please?

Comment – Drainage conditions will be included on the permit to ensure drainage for the land division is in accordance with relevant standards.

We request that Council please note that at our own cost we connected to the TasWater main sewer. Our hydraulic engineer, Mr Don Anderson, has not yet had time to complete the final sign off for the connection. We understand that as the connection and pipework are still our property it would be against regulations to share them with another user until they become TasWater property and under TasWater jurisdiction. Will the proposed subdivision require change or interruption to our sewer system? Has Council discussed with TasWater our approved and installed connection? We would appreciate Council's advice regarding this matter and assurance we will not be asked to change or incur costs regarding our sewer connection and that its operation will not be negatively affected.

Comment - Not relevant to the determination of this application.

Overall, the representation does not cite any concerns regarding the discretionary elements of the subdivision application. The representation is noted, however no changes to the design or additional conditions are thought necessary to the development proposal.

DISCUSSION

The proposal was initially submitted under the *Devonport Interim Planning Scheme 2013* however this scheme was replaced by the TPS-D during the assessment process. The change to the planning scheme has not altered the general requirements for subdivision in the Rural Living zone and the proposal remains able to gain approval.

As part of normal assessment procedure, the application has been referred to TasWater and Council Departments interested in development applications. Feedback received has been included as conditions or notes where appropriate.

FINANCIAL IMPLICATIONS

No financial implications are predicted, unless an appeal is made against the Council's decision to the Resource Management and Planning Appeal Tribunal. In such instance, legal counsel may be required to represent Council. The opportunity for such an appeal exists as a result of the Council determining to either refuse or approve the subdivision application.

RISK IMPLICATIONS

In its capacity as a planning authority under the *Land Use Planning and Approvals Act 1993* (LUPAA), Council is required to make a determination on this application for a discretionary planning permit. Due diligence has been exercised in the preparation of this report and there are no predicted risks associated with a determination of this application.

CONCLUSION

The application for a two lot subdivision at 55 Melrose Road, Aberdeen is recommended for conditional approval.

ATTACHMENTS

1. TasWater SPAN - PA2020.0201 - 55 Melrose Road [**4.1.1** - 2 pages]
2. Application - PA2020.0201 - 55 Melrose Road [**4.1.2** - 57 pages]
3. Representation - PA2020.0201 - 55 Melrose Road [**4.1.3** - 2 pages]



Submission to Planning Authority Notice

Council Planning Permit No.	PA2020.0201	Council notice date	04/11/2020
TasWater details			
TasWater Reference No.	TWDA 2020/01836-DCC	Date of response	20/11/2020
TasWater Contact	Sam Bryant	Phone No.	0474 933 294
Response issued to			
Council name	DEVONPORT COUNCIL		
Contact details	council@devonport.tas.gov.au		
Development details			
Address	55 MELROSE RD, ABERDEEN	Property ID (PID)	9603348
Description of development	2 Lot Subdivision		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Mitchell Hodgetts Surveyors	Proposed Subdivision 220144	--	12/08/2020
Conditions			
<p>SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL</p> <p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> 1. A suitably sized water supply with metered connections to each lot of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. <p>FINAL PLANS, EASEMENTS & ENDORSEMENTS</p> <ol style="list-style-type: none"> 3. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater as evidence of compliance with these conditions when application for sealing is made. <i>Advice: Council will refer the Final Plan of Survey to TasWater requesting Consent to Register a Legal Document be issued directly to them on behalf of the applicant.</i> 4. The Plan of Subdivision Council Endorsement Page is to note, pursuant to Section 83 of the Local Government (Building and Miscellaneous Provisions) Act 1993, that TasWater cannot provide a sewerage service to Lot 1 on the plan. <p>DEVELOPMENT ASSESSMENT FEES</p> <ol style="list-style-type: none"> 5. The applicant or landowner as the case may be, must pay a development assessment fee of \$211.63 and a Consent to Register a Legal Document fee of \$149.20 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater. 			



Advice

General

For information on TasWater development standards, please visit
<http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

A handwritten signature in black ink, appearing to read "J Taylor".

Jason Taylor

Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Office use
Application no. _____
Date received: _____
Fee: _____
Permitted/Discretionary _____

Devonport City Council

Land Use Planning and Approvals Act 1993 (LUPAA)

Devonport Interim Planning Scheme 2013

Application for Planning Permit

Use or Development Site

Street Address:

55 MELROSE ROAD, ABERDEEN

Certificate of Title Reference No.: CT 176489 / 1

Applicant's Details

Full Name/Company Name: MICHELL HODGETTS SURVEYORS

Postal Address: PO BOX 712, DEVONPORT 7310

Telephone: 6424 5144

Email: mhasurv@bigpond.net.au

Owner's Details (if more than one owner, all names must be provided)

Full Name/Company Name:

GRAEME ROBERT & DOROTHY MARY COOPER

Postal Address: 55 MELROSE ROAD, ABERDEEN 7310

Telephone: 0417 144 145

Email: cooperdg@bigpond.net.au



ABN: 47 611 446 016
PO Box 604
137 Rooke Street
Devonport TAS 7310
Telephone 03 6424 0511
www.devonport.tas.gov.au
council@devonport.tas.gov.au

Sufficient information must be provided to enable assessment against the requirements of the planning scheme.

Please provide one copy of all plans with your application.

Assessment of an application for a Use or Development

What is proposed?:

2 LOT SUBDIVISION

Description of how the use will operate:

RESIDENTIAL

Use Class (Office use only):

Applications may be lodged by email to Council - council@devonport.tas.gov.au
The following information and plans must be provided as part of an application unless the planning authority is satisfied that the information or plan is not relevant to the assessment of the application:

Application fee	
Completed Council application form	
Copy of certificate of title, including title plan and schedule of easements	
A site analysis and site plan at an acceptable scale on A3 or A4 paper (1 copy) showing:	
<ul style="list-style-type: none"> The existing and proposed use(s) on the site The boundaries and dimensions of the site Typography including contours showing AHD levels and major site features Natural drainage lines, watercourses and wetlands on or adjacent to the site Soil type Vegetation types and distribution, and trees and vegetation to be removed The location and capacity of any existing services or easements on the site or connected to the site Existing pedestrian and vehicle access to the site The location of existing adjoining properties, adjacent buildings and their uses Any natural hazards that may affect use or development on the site Proposed roads, driveways, car parking areas and footpaths within the site Any proposed open space, communal space, or facilities on the site Main utility service connection points and easements Proposed subdivision lot boundaries, where applicable Details of any proposed fencing 	
Where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 on A3 or A4 paper (1 copy) showing:	
<ul style="list-style-type: none"> Setbacks of buildings to property (title) boundaries The internal layout of each building on the site The private open space for each dwelling External storage spaces Car parking space location and layout Elevations of every building to be erected The relationship of the elevations to natural ground level, showing any proposed cut or fill Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites Materials and colours to be used on roofs and external walls 	
A plan of the proposed landscaping including:	
<ul style="list-style-type: none"> Planting concept Paving materials and drainage treatments and lighting for vehicle areas and footpaths Plantings proposed for screening from adjacent sites or public spaces 	
Details of any signage proposed	

Value of use and/or development\$

Notification of Landowner/s (s.52 Land Use Planning and Approvals Act, 1993)

If land is not in applicant's ownership

I, **JOHN TURNBULL of MICHELL HODGETTS SURVEYORS** declare that the owner/s of the land has/have been notified of my intention to make this application.

Applicant's signature: 

Date: 23/10/2020

If the application involves land owned or administered by the Devonport City Council

Devonport City Council consents to the making of this permit application.

General Manager's signature: _____

Date: _____

If the application involves land owned or administered by the Crown

Crown consent must be included with the application.

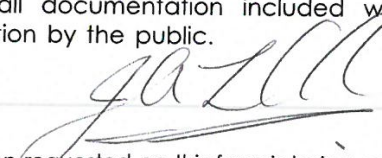
Signature

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that:

- if incomplete, the application may be delayed or rejected; and
- more information may be requested in accordance with s.54 (1) of LUPAA.

PUBLIC ACCESS TO PLANNING DOCUMENTS - DISCRETIONARY PLANNING APPLICATIONS (s.57 of LUPAA)

I understand that all documentation included with a discretionary application will be made available for inspection by the public.

Applicant's signature: 

Date: 23/10/2020

PRIVACY ACT

The personal information requested on this form is being collected by Council for processing applications under the Land Use and Planning Approvals Act 1993 and will only be used in connection with the requirements of this legislation. Council is to be regarded as the agency that holds the information.

Fee & payment options

Pay by Direct Deposit – BSB: 067-402 Account No. 000 000 13 – Please quote your application number.



Pay in Person at Service Tasmania – Present this notice to any Service Tasmania Centre, together with your payment. See www.service.tas.gov.au for opening hours.



Pay by Phone – Please contact the Devonport City Council offices on 64240511 during office hours, Monday to Friday.



Pay by Post – Cheques should be made payable to Devonport City Council and posted to PO Box 604, Devonport, Tasmania, 7310.

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 176489	FOLIO 1
EDITION 1	DATE OF ISSUE 10-Jan-2019

SEARCH DATE : 23-Oct-2020

SEARCH TIME : 02.43 PM

DESCRIPTION OF LAND

City of DEVONPORT

Lot 1 on Sealed Plan 176489

Derivation : Part of Lot 438, 500 Acres Gtd. to J.W. Gleadow &
Anor.

Prior CT 39758/1

SCHEDULE 1

GRAEME ROBERT COOPER and DOROTHY MARY COOPER

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP176489 FENCING PROVISION in Schedule of Easements

B279184A MORTGAGE to Tasmania Bank Registered 24-May-1989 at
noonB369959 MORTGAGE to Tasmania Bank Registered 07-Aug-1990 at
noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**FOLIO PLAN**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



OWNER: G.R. & D.M. COOPER FOLIO REFERENCE: F/R.39758-1 GRANTEE: PART OF LOT 438, 500 ACRES GTD TO JOHN WARD GLEADOW & ROBERT WILLIAM NUTT	PLAN OF SURVEY BY SURVEYOR: PAUL HODGETTS of MICHELL HODGETTS SURVEYORS Po.Box 712 DEVONPORT, 7310 LOCATION: CITY OF DEVONPORT SCALE 1:1500 LENGTHS IN METRES	REGISTERED NUMBER SP176489 APPROVED EFFECTIVE FROM 10 JAN 2019 <i>Alice Kawa</i> Recorder of Titles
--	---	---

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

Registered Land Surveyor 	Council Delegate
Date 	Date

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 1 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and

(2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and

(2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

FENCING PROVISION

In respect of each Lot shown on the plan the Vendor (Graeme Robert Cooper and Dorothy May Cooper) shall not be required to fence.

No other easements, covenants or profits a prendre are created to benefit or burden any of the lots shown on the plan.


Signed by Graeme Robert Cooper)
and Dorothy May Cooper the)
registered proprietors of the land)
comprised in folio of the register)
Volume 39758 Folio 1)
in the presence of:)


Graeme Robert Cooper


Dorothy May Cooper


Tanielle Jade Howard
First Floor
31 Stewart Street
DEVONPORT TAS 7310
Solicitor

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Graeme Robert Cooper and Dorothy May Cooper FOLIO REF: 39758/1 SOLICITOR & REFERENCE: Doolan & Brothers: 18/0539	PLAN SEALED BY: Devonport City Council DATE: 21/11/2018 PA2018.0088 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	



Application for Planning Permit
Proposed Subdivision
In the
Rural Living Zone
55 Melrose Road, Aberdeen

Supporting Documentation

14/09/2020

CONSULTANT DETAILS

Mr. Micheal Wells GradDipUrbRegPlan.BEnvDes

Town Planner, Bushfire Assessor, Building Designer, Fire Engineer (IFE)

Bushfire Accreditation No: BFP-128

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Document Status

Revision No	Author	Signature	Date
1	M. Wells		14/09/2020

Engagement & Invoicing Directions

EnviroPlan Australia (*the Agent*) has been engaged by G.R. & D.M. Cooper (*the Permit Holder*) to prepare documentation for a planning permit for a Proposed Subdivision located on land known as 55 Melrose Road, Aberdeen. Any Permit issued is affixed to land and not an individual.

The services rendered by *the Agent* are strictly limited to the preparation of documentation in order to obtain planning permissions only. *The Agent* is not to be considered as the "permit holder" as part of any permit condition issued by any Authority and is not responsible for any costs incurred through a *Permit Holder* enacting a permit condition.

In such circumstances where the primary *Permit Holder* named above sells land or otherwise relinquishes the land; the new permit holder is the party responsible for all costs and invoices incurred by enacting any permit issued that is affixed to the land.

Under **no circumstances** is EnviroPlan Australia (*the Agent*) to be invoiced as 'the responsible party for payment' for any invoice issued by the Planning Authority or TasWater (including any other referral agency) either as part of this primary planning application or at any stage thereafter.

The Land – Site**Title & Description**

The Certificate of Title for the subject site is C/T: 176489 / 1, PID: 9603348.

A copy of the title is provided as Annexure A.

The street address is 55 Melrose Road, Aberdeen and G.R. & D.M. Cooper are the owners.



Figure 1 – Location of land 55 Melrose Road, Aberdeen

The 1.89 ha property fronts onto Melrose Road and is located on southern side of the road.

Existing Use and Development

The current use of land is residential. Currently there is a dwelling and associated sheds located on the property.

Site Analysis**Topography**

The land slightly falls from South East to North West at an average of 3° over a 110 m run.

Drainage

Drainage to the site is via the following method:

- The site is serviced with a stormwater system that services the local area
- The site is serviced with a sewerage system that services the local area

Land Capability

The land is within a delineated area of the Land Capability Survey Tasmania by RM Morton and CJ Grose; Department of Primary Industry and Fisheries: Tasmania 1997. The soil classification of the subject site is Class 4+5 & 5. However the site has been rezoned and developed for another purpose and it therefore not considered as agricultural land under the definitions of the PAL Policy.

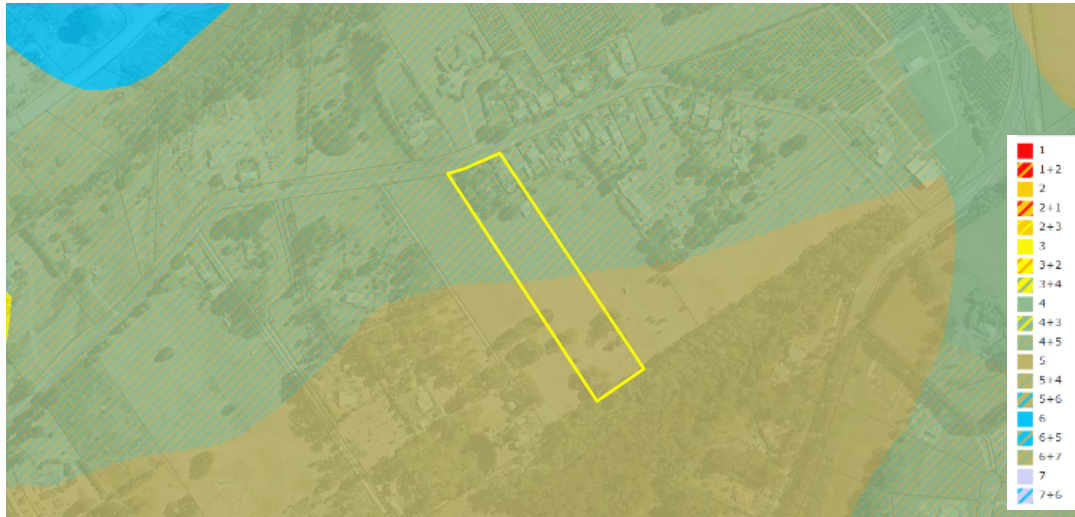


Figure 2 – Land Capability of site 55 Melrose Road, Aberdeen – source: www.thelist.tas.gov.au

Access

Access to the site is via the following method:

- Access to the subject land is off Melrose Road via a formed rural crossover.

Reticulated Services

The following describes the reticulated services that service the immediate area:

- Water reticulation is available to the subject site
- Sewer reticulation is available to the subject site
- Stormwater reticulation is available to the subject site
- Telephone services are available within the subject area
- Overhead electricity reticulation is available within the subject area

Surrounding Property Use

The surrounding land use is described as:

- North – residential use;
- East – residential use;
- South – bushland and residential use; and
- West – agricultural and residential uses.

Lands Limitations

No land limitations have been identified within the property boundaries.



Figure 3 – Landslide Layer, 55 Melrose Road, Aberdeen – source: www.thelist.tas.gov.au

Proposal

The applicants, G.R. & D.M. Cooper are seeking to construct a Proposed Subdivision under the Devonport Interim Planning Scheme 2013.

The proposal seeks to create a 2 lot subdivision with lot 2 containing the existing dwelling and sheds.

A copy of the proposal plans is included as Annexure B.

The applicant is applying to the Council, as the Planning Authority, to utilise its discretion and approve the development in accordance with the provisions of Section 57 of the Land Use Planning and Approvals Act 1993.

Planning Scheme Provisions

The applicable planning instrument is the Devonport Interim Planning Scheme 2013 and the subject land is zoned as Rural Living.

The relevant sections of the Planning Scheme are listed below for discussion. The relevant issue and item identifier is provided and states whether the proposal meets the Acceptable Solutions (AS) or the Performance Criteria (PC) for each relevant section.

The clauses that are not applicable to the proposal have not been discussed.

The applicable Scheme standards for development in the Rural Living Zone are described in the following relevant sections of the Devonport Interim Planning Scheme 2013:

13.0 Rural Living Zone

- 13.1 Zone Purpose
- 13.1.1 Zone Purpose Statements
- 13.1.2 Local Area Objectives
- 13.1.3 Desired Future Character Statements

13.2 Use Table**13.3 Use Standards****13.4 Development Standards**

- 13.4.1 Suitability of a site or lot for use or development
- 13.4.2 Dwelling density
- 13.4.3 Location and configuration of development
- 13.4.4 Acoustic and visual privacy for residential development
- 13.4.5 Private open space for multiple dwelling residential use
- 13.4.6 Setback of development for sensitive use
- 13.4.7 Subdivision
- 13.4.8 Reticulation of an electricity supply to new lots on a plan of subdivision

Part E Codes

- E1 Bushfire-Prone Areas Code
- E9 Traffic Generating Use and Parking Code

Part F Special Area Plans

- There are no specific area plans in relation to the Devonport Interim Planning Scheme 2013

13.0 Rural Living Zone**13.1 Zone Purpose****13.1.1 Zone Purpose Statements****13.1.1.1**

To provide for residential use or development on large lots in a rural setting where services are limited.

13.1.1.2

To provide for compatible use and development that does not adversely impact on residential amenity.

13.1.2 Local Area Objectives

The proposal is not inconsistent with the Local Area Objectives where:

13.1.2.1

- a) *Use and development retains a rural setting*
- b) *Rural living areas make efficient use of land and optimise available infrastructure through a balance between infill and redevelopment of established rural living areas and release of new land*
- c) *The type, scale and intensity of use or development is consistent with the capacity of infrastructure services, land capability, the level of risk from exposure to natural hazards, and the protection of land significant for primary production;*
- d) *Rural living areas provide opportunity for housing in single and multiple dwellings for individual, shared, and supported accommodation through private, public, and social investment;*
- e) *Rural living areas enable small-scale employment opportunities in home occupation and home based-business;*
- f) *New or intensified use or development is restricted if the limit of a constraint on residential use is unknown or uncertain.*
- g) *Rural living areas have no priority purpose for primary industry use*
- h) *The amenity and character of residential use is commensurate with the location of housing and support activity within a rural setting and is to take into account –*
 - i. *likely compromise as a result of factors arising from –*
 - a. *occupational and operational practices of primary industry and other use on adjacent rural land;*
 - b. *possible absence or under-provision of transport infrastructure and utilities;*

- c. possible absence of facilities for convenience retail, education, entertainment, health and social support, and for sports and recreation;
- d. likelihood for exposure to a natural hazard; and
- e. relative remoteness from an urban centre
- i) the effect of location and configuration of buildings within a site on –
 - a. apparent bulk and scale of buildings and structures within the rural setting;
 - b. opportunity for on-site provision of private open space and facilities for parking of vehicles;
 - c. opportunity for access to daylight and sunlight;
 - d. visual and acoustic privacy between adjacent dwellings; and
 - e. consistency of the streetscape

13.1.3 Desired Future Character Statements

The proposal is consistent with the applicable Desired Future Character Statement/s where:

13.1.3.1

- a) occur as discrete, contiguous, and ordered clusters of dwellings and associated buildings embedded in a rural setting;
- b) provide sites that are larger than suburban lots, although size is dependent on availability of utilities, land capability, and retention of a rural setting;
- c) provide housing as a predominant but not exclusive use;
- d) provide choice and diversity in the type and form of buildings for housing and non-housing development;
- e) provide buildings that are typically of one or two storeys;
- f) provide a landscape in which buildings are set well apart from buildings on adjacent sites and from the frontage road;
- g) have very low site coverage and sufficient unbuilt area to accommodate any requirement for on-site disposal or sewage or stormwater; and
- h) may be self-sufficient with respect to water supply and arrangements for the treatment and disposal of sewage and stormwater

13.2 Use Table

The proposal is described as 'Residential' in the Devonport Interim Planning Scheme 2013.

13.3 Use Standards

13.4 Development Standards

13.4.1 Suitability of a site or lot for use or development

Objective:

The minimum properties of a site and of each lot on a plan of subdivision are to –

- a) provide a suitable development area for the intended use;
- b) provide access from a road; and
- c) make adequate provision for a water supply and for the drainage and disposal of sewage and stormwater

Performance Criteria P1

A site or each lot on a plan of subdivision must –

- a) if intended for residential use be of sufficient size to be consistent with clauses 13.1.1, 13.1.2 and 13.1.3 having regard to –
 - i. the number, size and distribution of existing and approved lots on land in the vicinity;
 - ii. the pattern, intensity and character of established use and development on other lots in the vicinity;
 - iii. the capacity of any available or planned utilities; and
 - iv. capability of the land to accommodate residential use; and
- b) be of sufficient size for the intended use having regard to the effect of one or more of the following as are relevant to the size of a site or lot –
 - i. topography of the land and land in the vicinity;
 - ii. natural drainage of the land and land in the vicinity;
 - iii. the desirability of protecting native vegetation, landscape features, natural and cultural values;
 - iv. provision for management of exposure to natural hazards;
 - v. provision of an accessible building area;
 - vi. compliance to the acceptable solution criteria in any applicable standard for location and separation of a building;

- vii. *arrangements for the convenient provision of roads and access to the land;*
- viii. *arrangements for the provision of a water supply and for the drainage and disposal of sewage and stormwater;*
- ix. *any restriction or requirement of a lawful easement or statutory interest in the land; and*
- x. *Opportunity for solar access to a building area.*

Discussion:

Each proposed allotment are equivalent to the existing allotments within the vicinity in regards size and shape which is demonstrated in the submission plans. The proposed subdivision provides lots that are larger than suburban lots that contain residential uses and therefore is consistent with the establish character of the area. Each allotment is of sufficient size to accommodate a residential use and the proposal makes efficient use of the land having regards to the utilities in the area remaining consistent with P1 (a) & (b).

Acceptable Solutions A2

A site or each lot on a subdivision plan must have a separate access from a road –

- a) *across a frontage over which no other land has a right of access; and*
- b) *if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or*
- c) *by a right of way connecting to a road –*
 - i. *over land not required as the means of access to any other land; and*
 - ii. *not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and*
- d) *with a width of frontage and any access strip or right of way of not less than 6.0m; and*
- e) *the relevant road authority in accordance with the Local Government (Highways) Act 1982 or the Roads and Jetties Act 1935 must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan.*

Discussion:

Each lot has a separate access across a frontage which no other land has a right of access. Each frontage has a width that is not less than 6m and an application to the road authority has applied for with the intentions of the road authority is satisfied with the access arrangements.

Acceptable Solutions A3

A site or each lot on a plan of subdivision must be capable of connecting to a water supply –

- a) *from a connection to a water supply provided in accordance with the Water and Sewerage Industry Act 2008; or*
- b) *from a rechargeable drinking water system R6 with a storage capacity of not less than 10,000 litres if–*
 - i. *there is not a reticulated water supply; and*
 - ii. *development is for –*
 - a. *a single dwelling; or*
 - b. *a use with an equivalent population of not more than 10 people per day*

Discussion:

Lot 2 already has a connection to a water reticulation system and lot 1 is capable of connecting to a water reticulation system satisfying A2 (a) above.

Acceptable Solutions A4

A site or each lot on a plan of subdivision must be capable of draining and disposing of sewage and trade waste –

- a) *to a reticulated sewer system provided in accordance with the Water and Sewerage Industry Act 2008; or*
- b) *by on-site disposal if –*
 - i. *sewage or trade waste cannot be drained to a reticulated sewer system; and*
 - ii. *the development –*
 - a. *is for a single dwelling; or*
 - b. *provides for an equivalent population of not more than 10 people per day; or*
 - c. *creates a total sewage and waste water flow of not more than 1,000l per day; and*

- iii. the site has capacity for on-site disposal of domestic waste water in accordance with AS/NZS1547:2012 On-site domestic-wastewater management clear of any defined building area or access strip

Discussion:

Lot 2 already is connected to the existing sewer reticulation system and will remain unchanged as part of this application.

Lot 1 capable of connecting to the sewer reticulation system complying with A4 (a) above.

Acceptable Solutions A5

A site or each lot on a plan of subdivision must be capable of draining and disposing of stormwater –

- a) for discharge to a stormwater system provided in accordance with the Urban Drainage Act 2013; or
- b) if stormwater cannot be drained to a stormwater system –
 - i. for discharge to a natural drainage line, water body, or watercourse; or
 - ii. for disposal within the site if –
 - a. the site has an area of not less than 5000m²;
 - b. the disposal area is not within any defined building area;
 - c. the disposal area is not within any area required for the disposal of sewage;
 - d. the disposal area is not within any access strip; and
 - e. not more than 50% of the site is impervious surface; and
 - iii. the development is for a single dwelling

Discussion:

Lot 2 intends to retain the existing stormwater disposal system and lot 1 has sufficient area to contain on-site stormwater disposal for a single dwelling complying with A5 above.

13.4.2 Dwelling density

Objective:

Residential dwelling density [R7] is to –

- a) make efficient use of land for housing;
- b) optimise utilities and community services; and
- c) be consistent with any constraint on suitability of the land for residential use

Performance Criteria P1

The number of dwellings on a lot or site must be consistent with:

- a) clauses 13.1.1, 13.1.2 and 13.1.3 having regard to –
 - i. the size of any existing or approved lot or site on land in the vicinity; and
 - ii. the pattern, intensity and character of established use and development on other lots in the vicinity; and
- b) the capability of the land for residential use having regard to the effect of one or more of the following as are relevant to the size of a site or lot –
 - i. topography;
 - ii. natural drainage;
 - iii. the desirability of protecting native vegetation, landscape features, natural and cultural values;
 - iv. provision for management of exposure to natural hazards;
 - v. provision for access to the building area;
 - vi. compliance to the acceptable solution criteria in any applicable standard for location and separation of a building in relation to a frontage, side or rear boundary or zone boundary and from adjacent buildings;
 - vii. arrangements for the convenient provision of roads and access to the land;
 - viii. arrangements for the provision of a water supply and for the drainage and disposal of sewage and stormwater;
 - ix. any restriction or requirement of a lawful easement or statutory interest in the land; and
 - x. opportunity for solar access to each building.

Discussion:

Each proposed allotment are equivalent to the existing allotments within the vicinity in regards size and shape which is demonstrated in the submission plans. The proposed subdivision provides lots that are

larger than suburban lots that contain residential uses and therefore is consistent with the established character of the area. Each allotment is of sufficient size to accommodate a residential use and the proposal makes efficient use of the land having regards to the utilities in the area remaining consistent with P1 (a) & (b).

13.4.6 Setback of development for sensitive use

Objective:

Development for a sensitive use is to -

- a) minimise likelihood for conflict, interference, and constraint between the sensitive use and the use or development of land in a zone that is not for a residential purpose; and*
- b) minimise unreasonable impact on amenity of the sensitive use through exposure to emission of noise, fumes, light and vibration from road, rail, or marine transport*

Performance Criteria P1

The location of a building containing a sensitive use must -

- a) minimise likelihood for conflict, constraint or interference by the sensitive use on existing and potential use of land in the adjoining zone; and*
- b) minimise likely impact from existing and potential use of land in the adjoining zone on the amenity of the sensitive use*

Discussion:

The existing dwelling on lot 2 will retain its existing setbacks to the adjoining zone and will remain unchanged as part of this application. Additionally, since this is a continuation of an existing residential use, the building containing a sensitive use does not further constrain or interfere existing or potential uses adjoining land. Furthermore, the impact of existing and potential use of adjoining land does not further impact the amenity of the existing sensitive uses as this is an existing circumstance and does not change as part of this application. No new buildings form part of this application.

Acceptable Solutions A2

Development for a sensitive use must be not less than 50m from -

- a) a major road identified in the Table to this clause;*
- b) a railway;*
- c) land designated in the planning scheme for future road or rail purposes; or*
- d) a proclaimed wharf area*

Discussion:

The proposal is not located within 50m to a major road identified in the Table to this clause, a railway, future road or a proclaimed wharf area complying with A2 above.

13.4.7 Subdivision

Objective:

The division and consolidation of estates and interests in land is to create lots that are consistent with the purpose of the Rural Living zone

Acceptable Solutions A1

Each new lot on a plan of subdivision must be -

- a) intended for residential use;*
- b) a lot required for public use by the State government, a Council, a Statutory authority or a corporation all the shares of which are held by or on behalf of the State, a Council or by a statutory authority*

Discussion:

Each lot of the proposed subdivision is intended for a residential use complying with A1 (a) above.

Performance Criteria P2

- a) An internal lot on a plan of subdivision must be -*
 - i. reasonably required for the efficient use of land as a result of a restriction on the layout of lots with a frontage imposed by -*

- a. slope, shape, orientation and topography of land;
- b. an established pattern of lots and development;
- c. connection to the road network;
- d. connection to available or planned utilities;
- e. a requirement to protect ecological, scientific, historic, cultural or aesthetic values, including vegetation or a water course; or
- f. exposure to an unacceptable level of risk from a natural hazard; and
 - ii. without likely impact on the amenity of adjacent land

Discussion:

The proposed internal allotment layout design is a result due to the exiting shape and orientation of the subject land. The proposal layout of lots are of size and shape that is already present within the vicinity of the subject land. The proposal provides sufficient lot sizes that is capable of containing a residential dwelling and would provide sufficient setbacks to adjacent lands which would not negatively impact the amenity of adjacent lands remaining consistent with P1 above.

13.4.8 Reticulation of an electricity supply to new lots on a plan of subdivision

Objective:

Distribution and connection of reticulated electricity supply to new lots on a plan of subdivision is to be without visual intrusion on the streetscape or landscape qualities of the residential area

Performance Criteria P1

It must be impractical, unreasonable, or unnecessary to install electricity reticulation and site connections underground

Discussion:

Overhead electricity is already featured in the area and it would be impractical and unreasonable to install the electricity reticulation underground for the size of development.

Part E Codes

E1 Bushfire-Prone Areas Code

The proposal is a subdivision and is therefore subject to the provisions of the Code. A bushfire hazard management plan from an accredited person is featured as an annexure to this report.

E2 Airport Management Code – Not Applicable

The proposal is not located within the areas defined within the Air Navigation Services – Aircraft Operations Surfaces on planning scheme maps and is therefore not applicable to the code.

E3 Clearing and Conversion of Vegetation Code – Not Applicable

The proposal does not seek to modify any existing native vegetation communities, habitats or areas of vegetation and therefore this Code is not applicable to this application.

E4 Change in Ground Level Code – Not Applicable

The proposal does not alter any ground levels to existing or natural ground levels and therefore this Code is not applicable to this application.

E5 Local Heritage Code – Not Applicable

The proposal does not contain any heritage issues and therefore this Code is not applicable to this application.

E6 Hazard Management Code – Not Applicable

The proposal site is not subject to coastal inundation, erosion or recession and is not located within a watercourse, wetland or stormwater disposal area and therefore this Code is not applicable to this application.

E7 Sign Code – Not Applicable

The proposal does not contain any signage as part of the application and therefore this Code is not applicable to this application.

E8 Telecommunication Code – Not Applicable

The proposal is for a residential subdivision and does not contain any telecommunications infrastructure and therefore this Code is not applicable to this application.

E9 Traffic Generating Use and Parking Code**E9.5 Use Standards****E9.5.1 Provision for parking****Objective:**

Provision is to be made for convenient, accessible, and usable vehicle parking to satisfy requirements for use or development without impact for use or development of other land or for the safety and operation of any road

Acceptable Solution – A1

Provision for parking must be –

- a) *the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code;*

Discussion:

Lot 1 has sufficient area to contain 2 car parking and lot 2 already contains 2 car parking spaces for the existing dwelling remaining consistent with the Table to this Code.

E9.5.2 Provision for loading and unloading vehicles**Objective:**

Provision is made for conveniently located and accessible areas for the loading and unloading of goods and materials and for the pick-up and set-down of passengers from vehicles

Acceptable Solution – A1

There must be provision within a site for –

- a) *on-site loading area in accordance with the requirement in the Table to this Code; and*
- b) *passenger vehicle pick-up and set-down facilities for business, commercial, educational and retail use at the rate of 1 space for every 50 parking spaces*

Discussion:

Not applicable – no requirement for a residential use in the Rural Living Zone.

E9.6.1 Design of vehicle parking and loading areas**Objective:**

Vehicle circulation, loading, and parking areas–

- a) *protect the efficient operation and safety of the road from which access is provided;*
- b) *promote efficiency, convenience, safety, and security for vehicles and users; and*
- c) *provide an appropriate layout and adequate dimension to accommodate passenger or freight vehicle associated with use of the site*

Acceptable Solution – A1.1

All development must provide for the collection, drainage and disposal of stormwater; and

Acceptable Solution – A1.2

Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village zones, the layout of vehicle parking area, loading area, circulation aisle and manoeuvring area must –

- a) *Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities - Off Street Car Parking;*
- b) *Be in accordance with AS/NZS 2890.2 (2002) Parking Facilities - Off Street Commercial Vehicles;*
- c) *Be in accordance with AS/NZS 2890.3 1993) Parking Facilities – Bicycle Parking Facilities;*
- d) *Be in accordance with AS/NZS 2890.6 Parking Facilities - Off Street Parking for People with Disabilities;*
- e) *Each parking space must be separately accessed from the internal circulation aisle within the site;*
- f) *Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a loading or parking space; and*
- g) *Be formed and constructed with compacted sub-base and an all-weather surface.*

Discussion:

The proposal provides collection, drainage and disposal of stormwater complying with A1.1.

Each allotment has sufficient area for the vehicle parking and manoeuvring areas to be in *accordance with AS/NZS 2890.1 (2004) – Parking Facilities - Off Street Car Parking* and each parking space is capable of being accessed within the allotment. Each allotment has sufficient area to provide forward movement and passing of vehicles and the existing/proposed driveways are/are intended to be constructed in an all-weather surface complying with A1.2 above.

Acceptable Solution – A2

Design and construction of an access strip and vehicle circulation, movement and standing areas for use or development on land within the Rural Living, Environmental Living, Open Space, Rural Resource, or Environmental Management zones must be in accordance with the principles and requirements for in the current edition of Unsealed Roads Manual – Guideline for Good Practice ARRB

Discussion:

The existing/proposed driveways are/are intended to be constructed in accordance with the relevant sections of the ARRB guidelines (chapters 1 to 11) satisfying A2 above.

E10 Water and Waterways Code – Not Applicable

The proposal is located approximately 44 metres away from the nearest water body to; exceeding the 30 metre requirement and therefore the Code is not applicable to this application.

Conclusion

This supporting documentation demonstrates that the proposal of a Proposed Subdivision supports and furthers the Planning Scheme aims and objectives, relevant Clauses and Schedules as set out for development within the Rural Living Zone.

Where the proposal does not comply with the Acceptable Solution (AS) it has been demonstrated that the Performance Criteria (PC) are satisfied and there is not an unreasonable loss of amenity as a consequence of this proposal. Therefore Council are requested to exercise its Discretionary powers in relation to this development.

With the above in mind, a planning permit for a Proposed Subdivision at 55 Melrose Road, Aberdeen is respectfully sought from the Planning Authority.





Bushfire Risk

Assessment Report & Certificates

for

G.R. & D.M. Cooper

55 Melrose Road

Date of Plan

20/10/2020

EnviroPlan Australia

Micheal Wells

Bushfire Accreditation No: **BFP-128**

ABN: 28 650 042 436

71a Bass Highway, Somerset

PO Box 546 Somerset, TAS 7322

Email: admin@enviropianaustralia.com.au

Consultant Details



Mr. Micheal Wells GradDipUrbRegPlan.BEnvDes

Town Planner, Bushfire Assessor, Building Designer, Fire Engineer, (IFE) Forest Botanist (FPA)

Bushfire Accreditation No: **BFP-128**

Scope of Assessors Accreditation

Micheal Wells (BFP-128) is accredited by the Chief Officer of the Tasmania Fire Service under Section 60B of the *Fire Service Act 1979* for the following Scope of Works:

1. *Certify a Bushfire Attack Level Assessment for **Building Work***
- 3A. *Certify Acceptable Solutions for **Buildings or Extensions***
- 3B. *Certify Acceptable Solutions for **Small Subdivisions** (less than 10 Lots or a single stage)*
- 3C. *Certify Acceptable Solutions for **Large Subdivisions** (10 lots or more or in multiple stages)*

Disclaimer

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Bushfires in Tasmania are an unpredictable natural phenomenon and preparing a Bushfire Hazard Management Plan increases your chances of defending your property and assists in the protection the people whom frequent it. This Fire Hazard Management Plan in no way guarantees immunity from a bushfire in or around your property or the effects thereof.

Any measures implemented based on the advice from *EnviroPlan Australia*, is offered as potential methods of reducing your properties risk of fire damage only and is not to be relied upon as a total solution. It in no way guarantees that any or all buildings on site will survive the effects of a bushfire nor does it guarantee the safety and security of any individuals whom frequent the property.

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Document Status

Revision No	Author	Signature	Date
1	M. Wells		20/10/2020

EnviroPlan Australia**Micheal Wells**Bushfire Accreditation No: **BFP-128**

ABN: 28 650 042 436

PO Box 546 Somerset, TAS 7322

Email: admin@enviropianaustralia.com.au**BUSHFIRE-PRONE AREAS CODE****CERTIFICATE¹ UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT 1993****1. Land to which certificate applies²**

Land that is the Use or Development Site that is relied upon for bushfire hazard management or protection.

Name of planning scheme or instrument:

Devonport Interim Planning Scheme 2013

Street address:

55 Melrose Road, Aberdeen, Tasmania 7310

Certificate of Title / PID:

CT: 176489 / 1 , PID: 9603348

Land that is not the Use or Development Site that is relied upon for bushfire hazard management or protection.

Street address:

Certificate of Title / PID:

2. Proposed Use or Development**Description of Use or Development:**

Proposed Subdivision

Code Clauses:
☐
☐

E1.4 Exempt Development

E1.5.2 Hazardous Use

☐
☒

E1.5.1 Vulnerable Use

E1.6.1 Subdivision

3. Documents relied upon

¹ This document is the approved form of certification for this purpose, and must not be altered from its original form.

² If the certificate relates to bushfire management or protection measures that rely on land that is not in the same lot as the site for the use or development described, the details of all of the applicable land must be provided.

Documents, Plans and/or Specifications

Title: Proposed Subdivision

Author: Michell Hodgetts Surveyors

Date: 8/12/2020 **Version:** 220144

Bushfire Hazard Report

Title: 55 Melrose Road

Author: Micheal Wells

Date: 20/10/2020 **Version:** 1

Bushfire Hazard Management Plan

Title: Bushfire Hazard Management Plan

Author: Micheal Wells

Date: 20/10/2020 **Version:** 1

Other Documents

Title:

Author:

Date: **Version:**

4. Nature of Certificate

<input checked="" type="checkbox"/>	E1.6 – Development standards for subdivision		
	E1.6.1 Subdivision: Provision of hazard management areas		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.1 P1	Hazard Management Areas are sufficient to achieve tolerable risk	
<input type="checkbox"/>	E1.6.1 A1 (a)	Insufficient increase in risk	
<input checked="" type="checkbox"/>	E1.6.1 A1 (b)	Provides BAL 19 for all lots	Report: Bushfire Hazard Management Report Section: Section 4 - Drawings / Specifications Author: Micheal Wells
<input type="checkbox"/>	E1.6.1 A1 (c)	Consent for Part 5 Agreement	

	E1.6.2 Subdivision: Public and fire fighting access		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.2 P1	Access is sufficient to mitigate risk	
<input type="checkbox"/>	E1.6.2 A1 (a)	Insufficient increase in risk	
<input checked="" type="checkbox"/>	E1.6.2 A1 (b)	Access complies with Tables E1, E2 & E3	Report: Bushfire Hazard Management Report Section: Section 4 - Drawings / Specifications Author: Micheal Wells

	E1.6.3 Subdivision: Provision of water supply for fire fighting purposes		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.3 A1 (a)	Insufficient increase in risk	
<input checked="" type="checkbox"/>	E1.6.3 A1 (b)	Reticulated water supply complies with Table E4	Report: Bushfire Hazard Management Report Section: Section 4 - Drawings / Specifications Author: Micheal Wells
<input checked="" type="checkbox"/>	E1.6.3 A1 (c)	Water supply consistent with the objective	Report: Bushfire Hazard Management Report Section: Section 4 - Drawings / Specifications Author: Micheal Wells
<input type="checkbox"/>	E1.6.3 A2 (a)	Insufficient increase in risk	
<input checked="" type="checkbox"/>	E1.6.3 A2 (b)	Static water supply complies with Table E5	Report: Bushfire Hazard Management Report Section: Section 4 - Drawings / Specifications Author: Micheal Wells
<input checked="" type="checkbox"/>	E1.6.3 A2 (c)	Static water supply is consistent with the objective	Report: Bushfire Hazard Management Report Section: Section 4 - Drawings / Specifications Author: Micheal Wells

5. Bushfire Hazard Practitioner³

Name:	<input type="text" value="Micheal Wells"/>	Phone No:	<input type="text" value="(03) 6411 1931"/>
Address:	<input type="text" value="71a Bass Highway"/>	Fax No:	<input type="text"/>
	<input type="text" value="PO Box 546"/>	Email Address:	<input type="text" value="admin@enviropianaustralia.com.au"/>
	<input type="text" value="Somerset TAS"/>	<input type="text" value="7322"/>	
Accreditation No:	<input type="text" value="BFP – 128"/>	Scope:	<input type="text" value="1, 3A, 3B & 3C"/>

6. Certification

I, certify that in accordance with the authority given under Part 4A of the Fire Service Act 1979 –

The use or development described in this certificate is exempt from application of Code E1 – Bushfire-Prone Areas in accordance with Clause E1.4 (a) because there is an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measure in order to be consistent with the objectives for all the applicable standards identified in Section 4 of this Certificate.

☐

or

There is an insufficient increase in risk from bushfire to warrant the provision of specific measures for bushfire hazard management and/or bushfire protection in order for the use or development described to be consistent with the objective for each of the applicable standards identified in Section 4 of this Certificate.

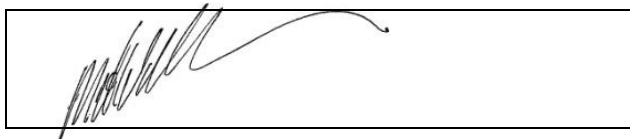
☐

and/or

The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and can deliver an outcome for the use or development described that is consistent with the objective and the relevant compliance test for each of the applicable standards identified in Section 4 of this Certificate.

☒

Signed:
certifier



Date:

Certificate No:

³ A Bushfire Hazard Practitioner is a person accredited by the Chief Officer of the Tasmania Fire Service under Part IVA of Fire Service Act 1979. The list of practitioners and scope of work is found at www.fire.tas.gov.au.

Section 2

**The Land – Site****Title & Description**

Phone Contact: 6424 5144
Land Owners: G.R. & D.M. Cooper
Owners Agent: Michell Hodgetts Surveyors
Property Location: 55 Melrose Road, Aberdeen Tasmania 7310
Property ID: 9603348
Certificate of Title: CT: 176489- 1
Lot Size: 1.89 ha (18900 m²)
Council: Devonport Council
Class of Building:
Type of Building:
Description of Work: Proposed Subdivision
Referenced Documents:

<i>Drawn By</i>	<i>Plan No</i>	<i>Revision No</i>	<i>Date</i>
Michell Hodgetts Surveyors	220144		12/08/2020

Aerial Image of Site

Figure 1 – Location of land 55 Melrose Road, Aberdeen

The 1.89 ha (18900 m²) property fronts onto Melrose Road and is located on the southern side of the road.

Existing Use and Development

The current use of land is residential use with a house and associated sheds located on the property.

Site Analysis

Bushfire Prone Areas Mapping

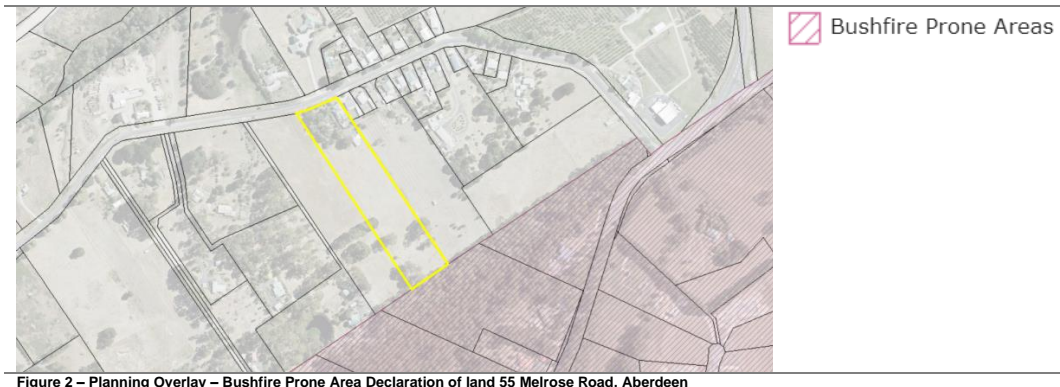


Figure 2 – Planning Overlay – Bushfire Prone Area Declaration of land 55 Melrose Road, Aberdeen

Topography

The land falls from South East to North West.

The average slope of the land is an average of 3° over a 110m run.

Access

The existing site access to the subject land is off Melrose Road via a formed rural roads crossover and does not require further upgrades as part of this development.

In order to be compliant – all site accesses must be in accordance with AS/NZ 2890.1 - *Parking Facilities - Off-Street Car Parking* and in particular *Section 3 Access Facilities to Off-Street Parking Areas and Queuing Areas*.

Road Class Descriptions & Conclusion:

(AADT = Annual Average Daily Traffic Volume)

4A: Main Road (>150 AADT)

- All weather road predominately two lane and unsealed; can be sealed if economically justified;
- Operating speed of 50-80 km/h according to terrain; and
- Minimum carriage width of 7m.

4B: Minor Road (150-50 AADT)

- All weather two lane road formed and gravelled or single lane sealed road with gravel shoulders;
- Operating speed of 30-70 km/h according to terrain; and
- Minimum carriage width of 5.5m

4C: Minor Road (50 – 10 AADT)

- Substantially a single lane two way dry weather formed (natural materials) track/road;
- Operating speed of 20-40 km/h according to terrain; and
- Minimum carriage width of 4m.

The RTA Guidelines (Guide to Traffic Generating Developments) average daily residential dwelling rates for vehicle movements at **9.0** / dwelling with a weekday hourly rate of **0.85** / dwelling.

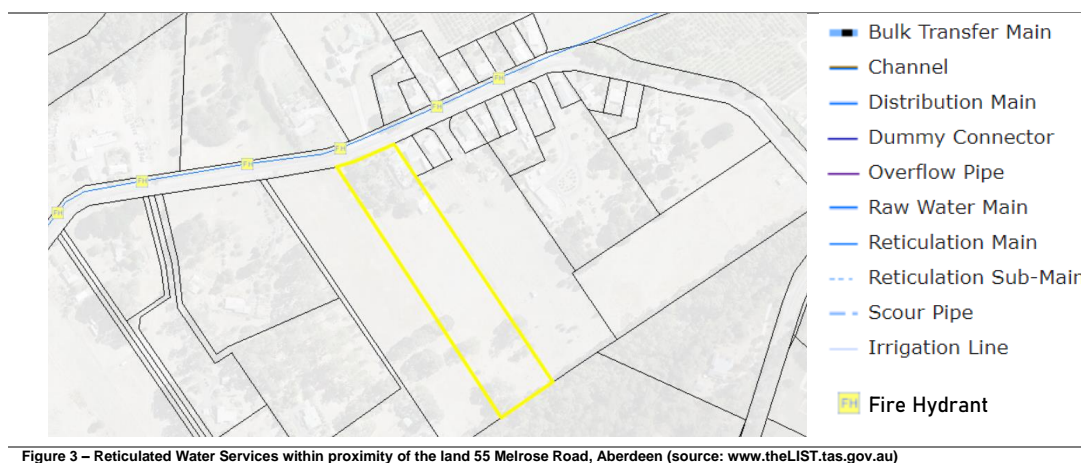
Currently on Melrose Road there is a total of 129 lots fronting onto the road which equates to 1161 movements per day (when fully inhabited and assuming a single dwelling per lot). The road corridor width is 21 m with a formed construction of 7 m (including shoulders) supporting the 4b road construction.

The road is constructed to Municipal Standards for public access and is constructed to accommodate large vehicle volumes for safe vehicular passage. The road can easily accommodate the increase in AADT placed by the proposal and does not pose a detriment to the safe access/egress for occupants, fire or other emergency personnel.

Water Services

The following best describes to available services to the site and any mitigation measures required by the development:

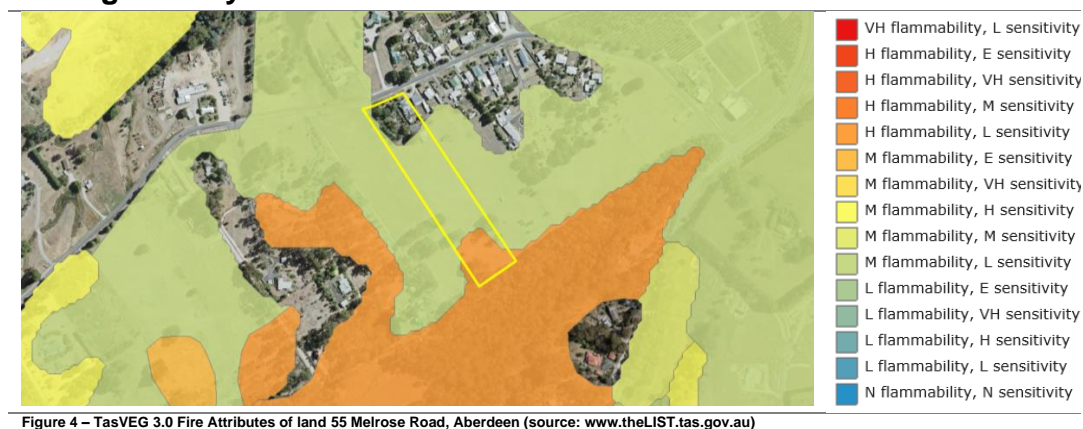
- Water reticulation services are within the subject area that feature fire hydrants.
- The fire plug located within proximity to the site is considered as a fire fighting water supply only and bulk on-site water storage facilities are required for the proposal.



Surrounding Property Use

- Lands to the north are residential uses;
- East are residential and agricultural uses;
- South is bushland; and
- West is agricultural uses.

TasVeg Overlay



The 'TasVEG Fire Attributes' layer defines the surrounding vegetation as being:

Vegetation Group	Fire Sensitivity / Flammability
Agricultural, Urban and Exotic Vegetation	M Flammability, L Sensitivity
Dry Eucalypt Forest and Woodland	H Flammability, L Sensitivity

The following vegetation table best describes the flora contained within the bushfire exposure:

Grassland

Generalised Description of the types of vegetation:

Forest:	<i>Open tree canopy dominated by eucalypt species (typically >10m in height) with crowns that touch or overlap. Canopy allows most sunlight to penetrate supporting growth of a prominent understorey layer varying between hard-leaved shrubs to luxuriant soft leaved shrubs, ferns and herbs.</i>
Woodland:	<i>Dominated by an open to sparse layer of eucalypts with the crowns rarely touching. Typically 15-35m high (may be shorter at sub-alpine altitudes). Diverse ground cover of grasses and herbs. Shrubs are sparsely distributed. Usually found on flat to undulating ground.</i>
Tall Heath (Scrub):	<i>Shrubby vegetation greater than 2 metres tall. Principal plant species include banksias, spider flowers, wattles, legumes, eucalypts, tea-trees, paper barks, she oaks, grass trees, cord rushes and sedges. Grasses are scarce. Not found in arid and semi arid locations. Includes Hawkesbury Sandstone vegetation with scattered over-storey trees and predominantly healthy understorey and coastal heath. May include some mallee eucalypts in coastal locations.</i>
Short Heath (Open Shrub):	<i>Shrubby vegetation less than 2 metres in height. Often more open in canopy. Principal plant species include banksias, spider flowers, wattles, legumes, eucalypts, tea-trees, paper barks, she oaks, grass trees, cord rushes and sedges. Grasses are scarce. Not found in arid and semiarid locations.</i>
Rainforest:	<i>Closed and continuous complex tree canopy composed of relatively soft, horizontally-held leaves. Generally lacking in eucalypts. Understorey typically includes ferns and herbs. Vines often present in canopy or understorey. Occur mainly in areas that are reliably moist, mostly free of fire and have soils of moderate to high fertility. Typically coastal and escarpment locations.</i>
Grassland:	<i>Dominated by perennial grasses and the presence of broad-leaved herbs on flat topography. Lack of woody plants. Plants include grasses, daisies, legumes, geraniums, saltbushes and Copperburrs.</i>
Managed Land:	<i>Non-vegetated or reduced vegetation areas such as: actively grazed pastures, maintained urban yards, maintained lawns, crops, orchards, vineyards, commercial nurseries, playing fields, golf course fairways, cleared parks, non-vegetated areas, formed roads and footpaths including cleared verges, waterways, etc.</i>

Proposal

The developer/s, G.R. & D.M. Cooper seeks to construct a Proposed Subdivision.

The proposal seeks to create a 2 lot subdivision with lot 2 containing the existing dwelling and sheds.

Intended Purpose of Plan

The plan is intended to satisfy the provisions of the Building Act 2016, including transitional Arrangements Building Regulations 2014 (Part 1A) and National Construction Code 2019.

Purpose

The purpose of this bushfire assessment report is to identify the Bushfire Attack Level (BAL) in accordance with AS 3959-2009 & 2018 Construction of Buildings in Bushfire Prone Areas, and Guidelines for Development in Bushfire Prone Areas of Tasmania 2005.

The BAL will enable the appropriate construction method and applicable construction requirements for the proposed building works to be designed in accordance with AS 3959-2009 & 2018, Part 3.7.4, 3.7.4.1 and 3.7.4.2 of the National Construction Code Amendment 2013, Building Act 2016, including transitional Arrangements Building Regulations 2014 (Part 1A) and National Construction Code 2019 and the Guidelines for Development in Bushfire Prone Areas of Tasmania.

General Information - Fire Danger Index:

The Fire Danger Index (FDI) is a measure of the probability of a bushfire starting, its rate of spread, intensity and the difficulty of extinguishment according to combinations of temperature, relative humidity, wind speed and available fuels, all of which is influenced by daily rainfall events and the time elapsed between such rainfall events.



The **FDI** in Tasmania is **50**.

Applicable Standard to which the plan relates

E1.6.1 Subdivision – Provision of Hazard Management Areas

The proposal provides for sufficient separation from building areas and bushfire-prone vegetation which reduces heat transfer and ember attack and provides protection for all lots contained within the proposal.

Objective <i>Subdivision provides for hazard management areas that:</i> <ul style="list-style-type: none"> a) <i>facilitate an integrated approach between subdivision and subsequent building on a lot;</i> b) <i>provide for sufficient separation of building areas from bushfire-prone vegetation to reduce the radiant heat levels, direct flame attack and ember attack at the building area; and</i> c) <i>provide protection for lots at any stage of a staged subdivision.</i> 	
Acceptable Solutions A1 <ul style="list-style-type: none"> (a) <i>TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of a subdivision; or</i> (b) <i>The proposed plan of subdivision:</i> <ul style="list-style-type: none"> i. <i>shows all lots that are within or partly within a bushfire-prone area, including those developed at each stage of a staged subdivisions;</i> ii. <i>shows the building area for each lot;</i> iii. <i>shows hazard management areas between bushfire-prone vegetation and each building area that have dimensions equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of Australian Standard AS 3959 – 2009 Construction of Buildings in Bushfire Prone Areas; and</i> iv. <i>is accompanied by a bushfire hazard management plan for each individual lot, certified by the TFS or accredited person, showing hazard management areas greater than the separation distances required for BAL 19 in Table 2.4.4 of Australian Standard AS 3959 – 2009 Construction of Buildings in Bushfire Prone Areas; and</i> c) <i>If hazard management areas are to be located on land external to the proposed subdivision the application is accompanied by the written consent of the owner of that land to enter into an agreement under section 71 of the Act that will be registered on the title of the neighbouring property providing for the affected land to be managed in accordance with the bushfire hazard management plan.</i> 	Performance Criteria P1 <i>A proposed plan of subdivision shows adequate hazard management areas in relation to the building areas shown on lots within a bushfire-prone area, having regard to:</i> <ul style="list-style-type: none"> (a) <i>the dimensions of hazard management areas;</i> (b) <i>a bushfire risk assessment of each lot at any stage of staged subdivision;</i> (c) <i>the nature of the bushfire-prone vegetation including the type, fuel load, structure and flammability;</i> (d) <i>the topography, including site slope;</i> (e) <i>any other potential forms of fuel and ignition sources;</i> (f) <i>separation distances from the bushfire-prone vegetation not unreasonably restricting subsequent development</i> (g) <i>an instrument that will facilitate management of fuels located on land external to the subdivision; and</i> (h) <i>any advice from the TFS.</i>
Performance: Discussion: Complies with A1 (b) above.	Acceptable Solution Satisfied

E1.6.2 Subdivision: Public and Fire Fighting Access

Objective Access roads to, and the layout of roads, tracks and trails, in a subdivision: <ul style="list-style-type: none"> (a) allow safe access and egress for residents, firefighters and emergency service personnel; (b) provide access to the bushfire-prone vegetation that enables both property to be defended when under bushfire attack and for hazard management works to be undertaken; (c) are designed and constructed to allow for fire appliances to be manoeuvred; (d) provide access to water supplies for fire appliances; and (e) are designed to allow connectivity, and where needed, offering multiple evacuation points. 	
Acceptable Solutions	Performance Criteria
A1 <ul style="list-style-type: none"> (a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant specific measures for public access in the subdivision for the purposes of fire fighting; or (b) A proposed plan of subdivision showing the layout of roads, fire trails and the location of property access to building areas is included in a bushfire hazard management plan that: <ul style="list-style-type: none"> i. Demonstrates proposed roads will comply with Table E1, proposed private accesses will comply with Table E2 and proposed fire trails will comply with Table E3; and ii. Is certified by the TFS or an accredited person. 	P1 A proposed plan of subdivision shows access and egress for residents, fire-fighting vehicles and emergency service personnel to enable protection from bushfires having regard to: <ul style="list-style-type: none"> (a) appropriate design measures, including: <ul style="list-style-type: none"> i. two way traffic; ii. all weather surfaces; iii. height and width of any vegetation clearances; iv. load capacity; v. provision of passing bays; vi. traffic control devices; vii. geometry, alignment and slope of roads, tracks and trails; viii. use of through roads to provide for connectivity; ix. limits on the length of cul-de-sacs and dead-end roads; x. provision of turning areas; xi. provision for parking areas; xii. perimeter access; and xiii. fire trails; (b) the provision of access to: <ul style="list-style-type: none"> i. bushfire-prone vegetation to permit the undertaking of hazard management works; and ii. fire fighting water supplies; and (c) any advice from the TFS.
Performance:	Acceptable Solution Satisfied
Discussion: Complies with A1(b) above and Table E2.	

Table E2 – Standards for Property Access

Element	Requirement
A Property access length is less than 30 metres; or access is not required for a fire appliance to access a water connection point	There are no specified design and construction requirements.
B Property access length is 30 metres or greater; or access for a fire appliance to a water connection point.	The following design and construction requirements apply to property access: <ul style="list-style-type: none"> a) All-weather construction; b) Load capacity of at least 20 tonnes, including for bridges and culverts; c) Minimum carriageway width of 4 metres; d) Minimum vertical clearance of 4 metres; e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway; f) Cross falls of less than 3 degrees (1:20 or 5%); g) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle; h) Curves with a minimum inner radius of 10 metres;

	<ul style="list-style-type: none"> i) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and j) Terminate with a turning area for fire appliances provided by one of the following: <ul style="list-style-type: none"> i. A turning circle with a minimum inner radius of 10 metres; or ii. A property access encircling the building; or iii. A hammerhead 'T' or 'Y' turning head 4 metres wide and 8 metres long
C Property access length is 200 metres or greater.	<p>The following design and construction requirements apply to property access:</p> <ul style="list-style-type: none"> a) The Requirements for B above; and b) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.
D Property access length is greater than 30 metres, and access is provided to 3 or more properties.	<p>The following design and construction requirements apply to property access:</p> <ul style="list-style-type: none"> a) Complies with Requirements for B above; and b) Passing bays of 2 metres additional carriageway width and 20 metres length must be provided every 100 metres.

E1.6.1.3 Subdivision – Provision of Water Supply for Fire Fighting Purposes

Objective Adequate, accessible and reliable water supply for the purposes of fire fighting can be demonstrated at the subdivision stage and allow for the protection of life and property associated with the subsequent use and development of bushfire-prone areas	
Acceptable Solutions	Performance Criteria
A1 In areas serviced with reticulated water by the water corporation: <ul style="list-style-type: none"> (a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of a water supply for fire fighting purposes; (b) A proposed plan of subdivision showing the layout of fire hydrants, and building areas, is included in a bushfire hazard management plan approved by the TFS or accredited person as being compliant with Table E4; or (c) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire. 	P1 No Performance Criteria
Performance:	Acceptable Solution Satisfied
Discussion: Lot 2 ONLY Complies with A1 (b) above and Table E4.	
Acceptable Solutions	Performance Criteria
A2 In areas that are not serviced by reticulated water by the water corporation: <ul style="list-style-type: none"> (a) The TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant provision of a water supply for firefighting purposes; or 	P2 No Performance Criteria

<p>(b) The TFS or an accredited person certifies that a proposed plan of subdivision demonstrates that static water supply, dedicated to fire fighting, will be provided and located compliant with Table E5; or</p> <p>(c) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for firefighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.</p>	
Performance:	Acceptable Solution Satisfied
Discussion: Lot 1 ONLY Complies with A1 (c) above and Table E5.	

Table E4 – Reticulated Water Supply for Fire Fighting

Element	Requirement
A <i>Distance between building area to be protected and water supply</i>	<i>The following requirements apply:</i> <ol style="list-style-type: none"> <i>The building area to be protected must be located within 120 metres of a fire hydrant; and</i> <i>The distance must be measured as a hose lay, between the water connection point and the furthest part of the building area.</i>
B <i>Design criteria for fire hydrants</i>	<i>The following requirements apply:</i> <ol style="list-style-type: none"> <i>Fire hydrant system must be designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03 – 2011-3.1 MRWA 2nd Edition; and</i> <i>Fire hydrants are not installed in parking areas.</i>
C <i>Hardstand</i>	<i>A hardstand area for fire appliances must be provided:</i> <ol style="list-style-type: none"> <i>No more than 3 metres from the hydrant, measured as a hose lay;</i> <i>No closer than 6 metres from the building area to be protected;</i> <i>With a minimum width of 3 metres constructed to the same standard as the carriageway; and</i> <i>Connected to the property access by a carriageway equivalent to the standard of the property access.</i>

Table E5 – Static Water Supply for Fire Fighting

Element	Requirement
A <i>Distance between building area to be protected and water supply</i>	<i>The following requirements apply:</i> <ol style="list-style-type: none"> <i>The building area to be protected must be located within 90 metres of the water connection point of a static water supply; and</i> <i>The distance must be measured as a hose lay, between the water connection point and the furthest part of the building area.</i>
B <i>Static Water Supplies</i>	<i>A static water supply:</i> <ol style="list-style-type: none"> <i>May have a remotely located offtake connected to the static water supply;</i> <i>May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times;</i> <i>Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems;</i>

	<p>d) Must be metal, concrete or lagged by non-combustible materials if above ground; and</p> <p>e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2009, the tank may be constructed of any material provided that the lowest 400mm of the tank exterior is protected by:</p> <ul style="list-style-type: none"> i. Metal; ii. Non-combustible material; or iii. Fibre-cement a minimum of 6mm thickness.
C Fittings, pipework and accessories (including stands and tank supports)	<p>Fittings and pipework associated with a water connection point for a static water supply must:</p> <ul style="list-style-type: none"> a) Have a minimum nominal internal diameter of 50mm; b) Be fitted with a valve with a minimum nominal internal diameter of 50mm; c) Be metal or lagged by non-combustible materials if above ground; d) Where buried, have a minimum depth of 300mm (compliant with AS/NZS 3500.1-2003 Plumbing and Drainage, Part 1 Water Services Clause 5.23); e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to fire fighting equipment; f) Ensure the coupling is accessible and available for connection at all times; g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length); h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and i) Where a remote offtake is installed, ensure the offtake is in a position that is: <ul style="list-style-type: none"> i. Visible; ii. Accessible to allow connection by firefighting equipment; iii. At a working height of 450 – 600mm above ground level; and iv. Protected from possible damage, including damage by vehicles.
D Signage for static water connections	<p>The firefighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:</p> <ul style="list-style-type: none"> a) Comply with water tank signage requirements within Australian Standard AS 2304-2011 Water storage tanks for fire protection systems; or b) Comply with the Tasmania Fire Service Water Supply Guideline published by the Tasmania Fire Service.
E Hardstand	<p>A hardstand area for fire appliances must be:</p> <ul style="list-style-type: none"> a) No more than 3 metres from the firefighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); b) No closer than 6 metres from the building area to be protected c) With a minimum width of 3 metres constructed to the same standard as the carriageway; and d) Connected to the property access by a carriageway equivalent to the standard of the property access.

Section 3



EnviroPlan Australia
Micheal Wells
Bushfire Accreditation No: **BFP-128**

Bushfire Attack Level (BAL) Assessment

Property Address: 55 Melrose Road, Aberdeen, Tasmania 7310
Municipality: Devonport
Date of Assessment: 20/10/2020

Type of Work

Building Class Adopted: Not Applicable
Proposal Description: Proposed Subdivision

Fire Danger Index

FDI Adopted: **50**

Vegetation Type

Classification Adopted: **Grassland**

BAL Assessment

BAL Determination Sheet – Lot 1

EnviroPlan Australia Micheal Wells

Bushfire Accreditation No: **BFP-128**
 Scope of Accreditation: **1, 3A, 3B & 3C**
 Parent Title - PID: **9603348** CT: **176489 / 1**



Classification for each side of the Site

Vegetation Class	N <input checked="" type="checkbox"/>	S <input checked="" type="checkbox"/>	E <input checked="" type="checkbox"/>	W <input checked="" type="checkbox"/>	Exclusions (where applicable)
Group A - Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Group B - Woodland	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Group C - Shrubland	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Group D - Scrub	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Group E - Mallee/Mulga	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Group F - Rainforest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Group G (FDI 50) - Grassland	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Group H – Managed Land	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Vegetation Proximity

Distance classified vegetation to	Show distance in metres			
	N 16	S 16	E 16	W 16

Closest Exposure: 16 metres

Note: If there is no classification vegetation within 100m of the site then the BAL is LOW for that part of the site.

Land Slope

	N <input checked="" type="checkbox"/>	S <input checked="" type="checkbox"/>	E <input checked="" type="checkbox"/>	W <input checked="" type="checkbox"/>
Slope under the classified vegetation	Upslope			
	Upslope/0° <input type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>	Upslope/0° <input type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>
	Downslope			
	>0 to 5° <input checked="" type="checkbox"/>	>0 to 5° <input type="checkbox"/>	>0 to 5° <input checked="" type="checkbox"/>	>0 to 5° <input type="checkbox"/>
	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>
	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>
	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>
BAL value for each side of site	12.5	12.5	12.5	12.5

Site BAL Assessment

BAL classification adopted for site is: BAL - 12.5

Note 1: Site BAL is adopted from the highest BAL rating on any single exposure.

Note 2: BAL – LOW, BAL – 12.5, BAL – 19, BAL – 29, BAL – 40 & BAL – FZ (Flame Zone)

BAL Assessment

BAL Determination Sheet - Lot 2

EnviroPlan Australia
Micheal Wells

Bushfire Accreditation No: **BFP-128**
 Scope of Accreditation: **1, 3A, 3B & 3C**
 Parent Title - PID: **9603348** CT: **176489 / 1**



Classification for each side of the Site

Vegetation Class	N <input checked="" type="checkbox"/>	S <input checked="" type="checkbox"/>	E <input checked="" type="checkbox"/>	W <input checked="" type="checkbox"/>	Exclusions (where applicable)
Group A - Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Group B - Woodland	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Group C - Shrubland	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Group D - Scrub	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Group E - Mallee/Mulga	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Group F - Rainforest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Group G (FDI 50) - Grassland	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Group H - Managed Land	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Vegetation Proximity

Distance classified vegetation to	Show distance in metres			
	N 9	S 16	E 10	W 16

Closest Exposure: 10 metres

Note: If there is no classification vegetation within 100m of the site then the BAL is LOW for that part of the site.

Land Slope

Slope under the classified vegetation	N <input checked="" type="checkbox"/>	S <input checked="" type="checkbox"/>	E <input checked="" type="checkbox"/>	W <input checked="" type="checkbox"/>
	Upslope	Upslope	Upslope	Upslope
Upslope/0°	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Downslope				
>0 to 5°	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
>5 to 10°	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
>10 to 15°	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
>15 to 20°	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BAL value for each side of site	LOW	12.5	19	12.5

Site BAL Assessment

BAL classification adopted for site is: BAL - 19

Note 1: Site BAL is adopted from the highest BAL rating on any single exposure.

Note 2: BAL - LOW, BAL - 12.5, BAL - 19, BAL - 29, BAL - 40 & BAL - FZ (Flame Zone)

Section 4



Bushfire Hazard Management Plan

Note: Specifications must be read in conjunction with the Bushfire Hazard Management Plan that accompanies this Bushfire Risk Report

GENERAL

This plan is to be read in conjunction with the bushfire risk assessment report. Ensure that all contractors and consultants are provided with a full copy of this plan. All services are to be located on site by contractors prior to commencement of works. Notify the Council Authorities and Bushfire Risk Assessor if any variation in Building Layout or Classified Vegetation occurs.

CLASSIFICATION

This development has BAL separation distances determined in accordance with Method 1 of Section 2.2 of AS3959.2009 & 2018 Construction of Buildings in Bushfire-Prone Areas. Separation distances between the building area and the Classified Vegetation are appropriate and in accordance with the requirements of Table 4.4(d)(1b) of the Directors Determination for Building in Bushfire-Prone Areas.

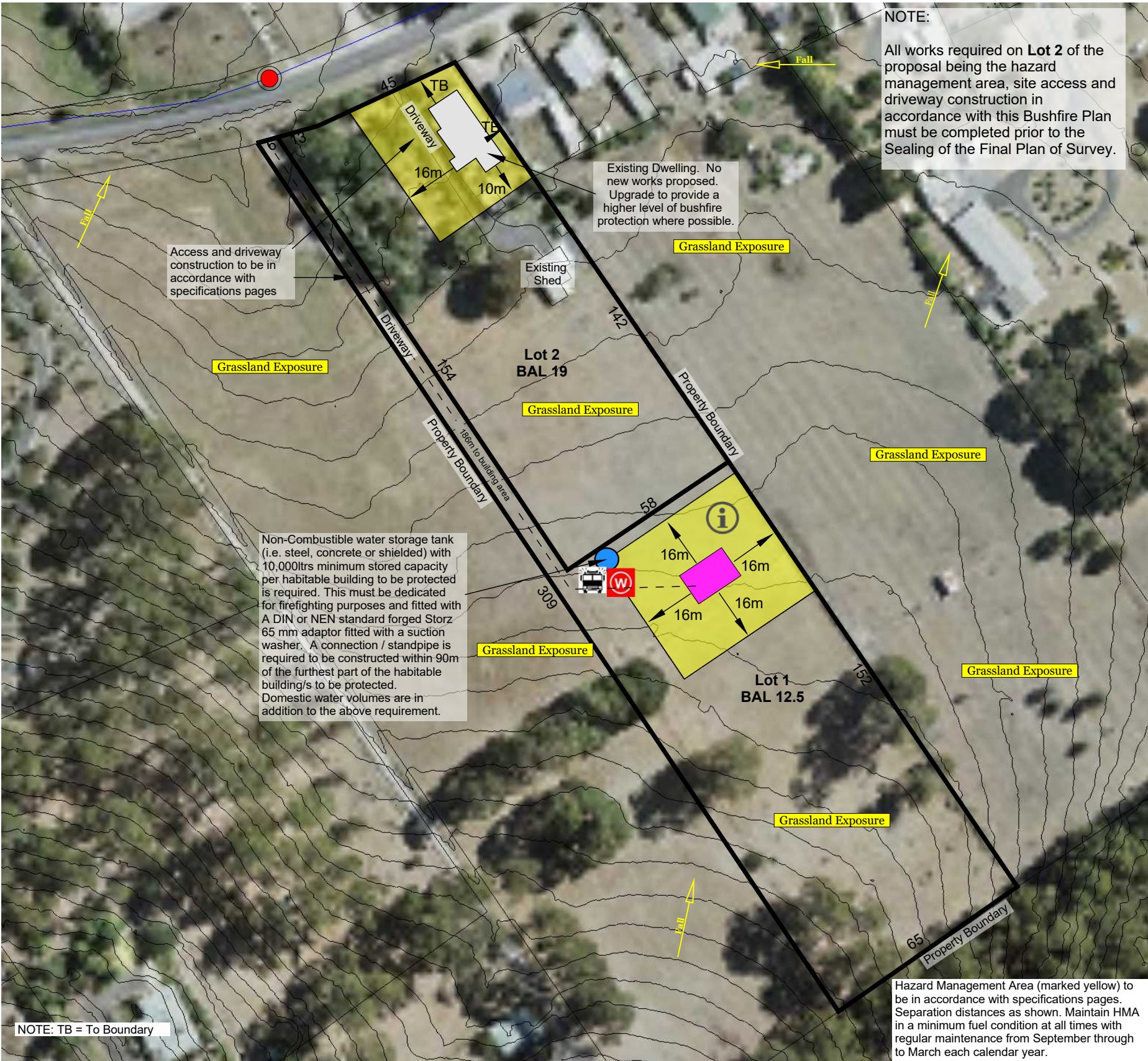
SPECIFICATIONS TO BE FOLLOWED

The Specifications featured as an annexure to this Plan form the basis of how to construct, manage and maintain the property in accordance with this Plan.

Indicative Compliance Only
Lots featuring this sign do not require physical construction works to be installed on the identified lot prior to the Sealing of the Final Plan of Survey. Areas, envelopes, tanks and hard stand areas and driveways are for demonstration purposes only in regard to the Bushfire Prone Areas Code of the Planning Scheme.

Certified Plan
**BAL-As
Shown**

Micheal Wells
Scope: 1, 3A, 3B & 3C
BFP-128



Lot no.	Assessed BAL
1	12.5
2	19

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CLIENT
GR & DM Cooper
PROJECT
55 Melrose Road, Aberdeen

PID:
9603348
CT:
176489/1

DRAWN BY
M Wells
ISSUE
20/10/2020

SCALE @ A3
1: 1250

DESIGNERS DESCRIPTION:
Michell Hodgetts & Assoc
DESIGNERS REFERENCE NUMBERS:
220144

KEY INDEX - RETICULATED WATER REQUIREMENTS

HMA Existing Building Water Main
 Building Area Fire Hydrant

Subdivision - Reticulated Areas

Demonstration of compliance for the purposes of the Bushfire Areas Code

DESCRIPTION
Bushfire Hazard Management Plan

B0.1

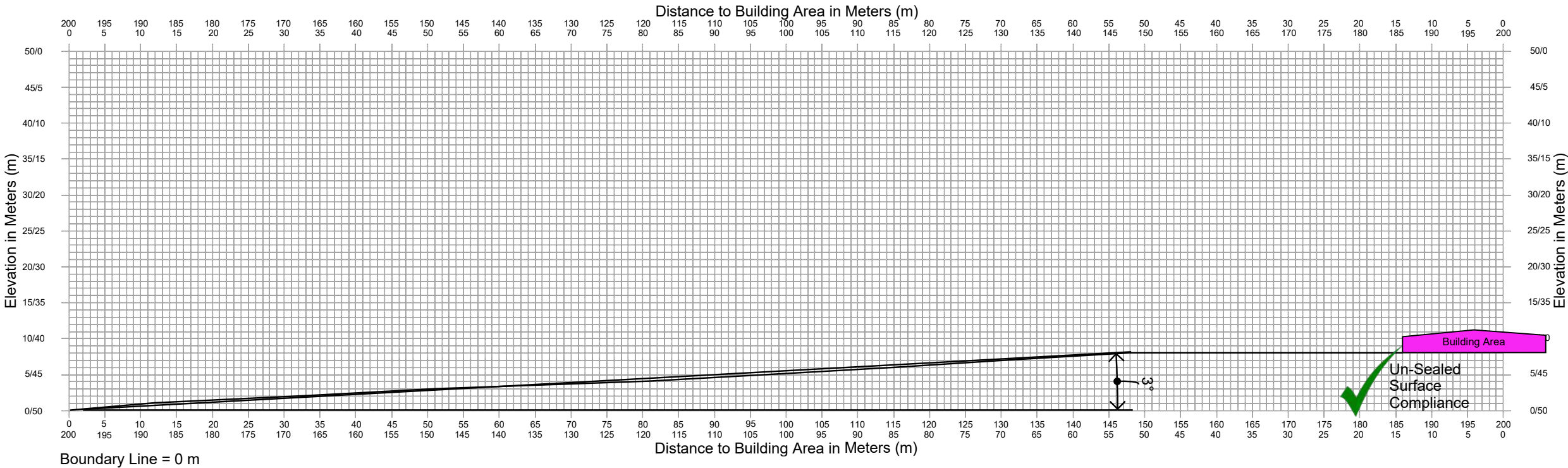
Internal Access Driveway - Gradient Assessment

NOTE: Assessed or indicative driveway angle/s many be improved at time of construction through minor land modifications to enable greater vehicular access

Upslope / Downslope Table

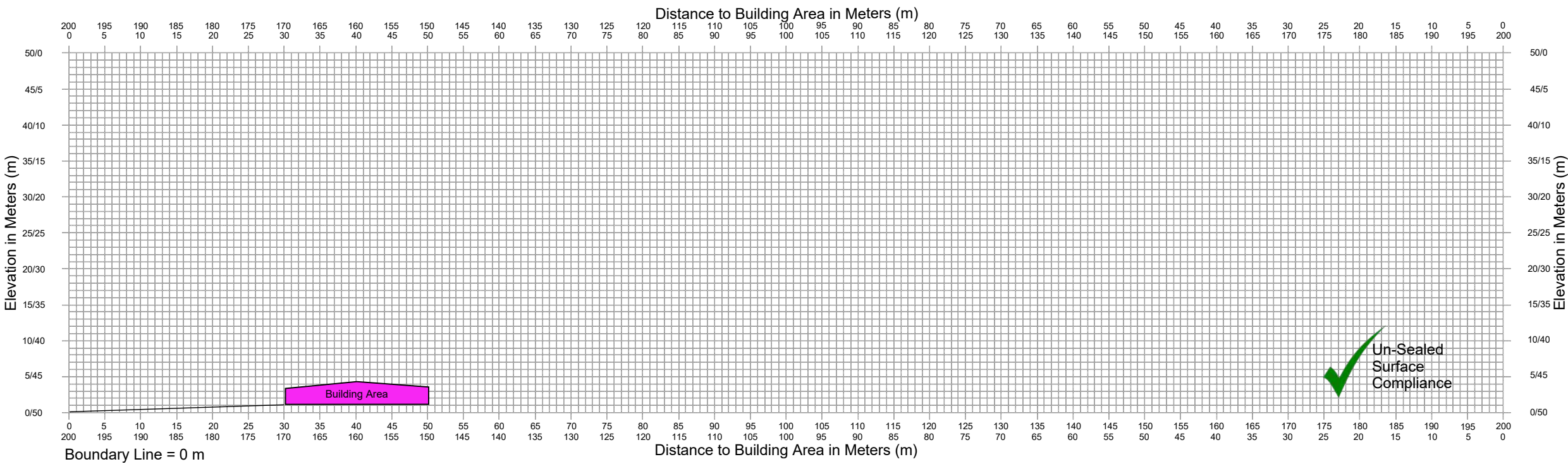


Assessed Indicative Driveway Gradient Angle/s - Long Driveways - Lot 1



Scale
1:600

Assessed Indicative Driveway Gradient Angle/s - Long Driveways - Lot 2



Scale
1:600

Annexure
B0.2

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CLIENT	PID:	DRAWN BY	DESIGNERS DESCRIPTION:
GR & DM Cooper	9603348	M Wells	Michell Hodgetts & Assoc
PROJECT	CT:	ISSUE	DESIGNERS REFERENCE NUMBERS:
55 Melrose Road, Aberdeen	176489/1	20/10/2020	220144

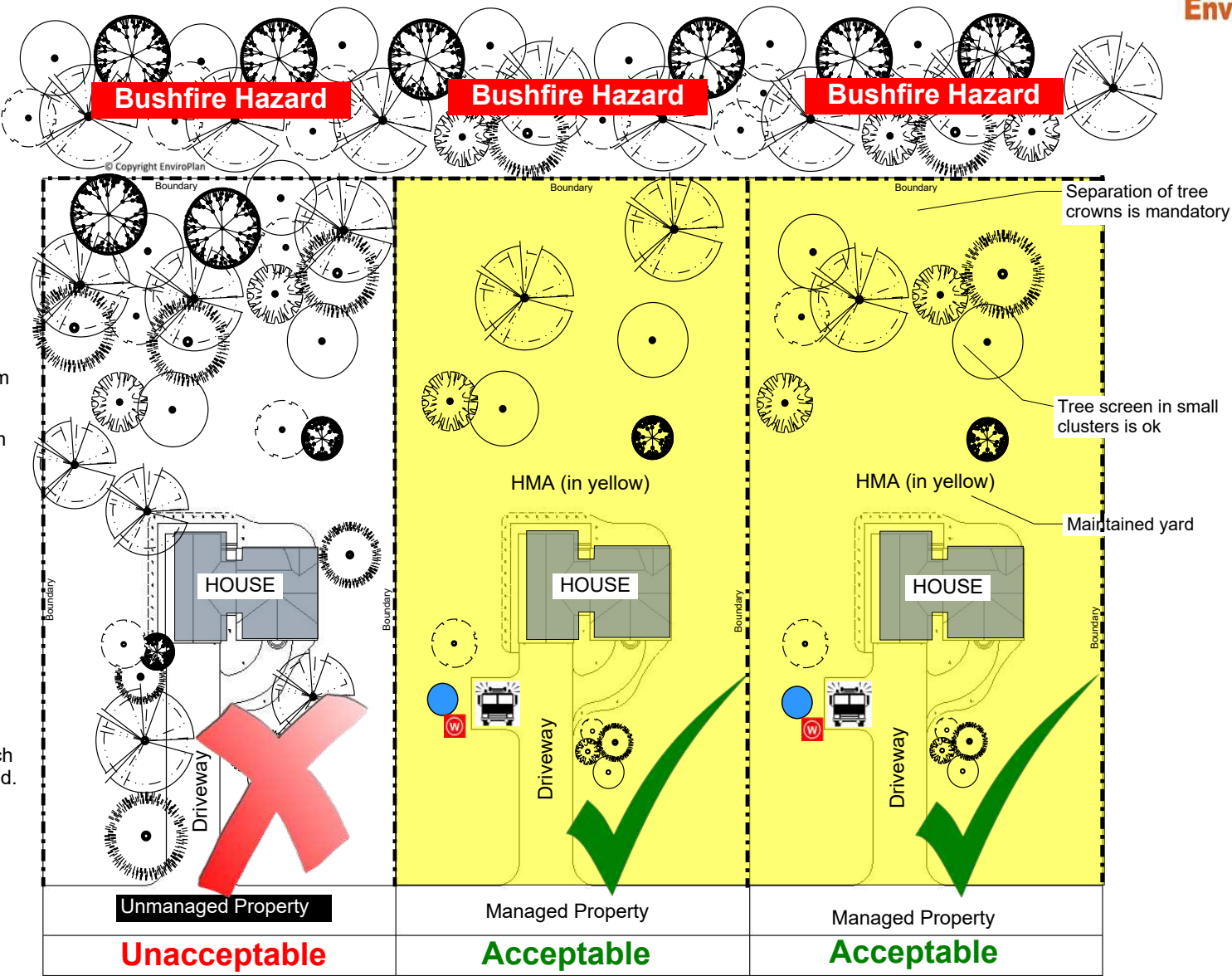
Compliance assessment to existing topography without land modifications

Specifications - General for Hazard Management Areas (HMA)

The following Specifications Pages detail works required to achieve compliances to the Bushfire Prone Areas requirements for Planning and Building Permits within the State of Tasmania and may differ to existing site conditions. Modifications to existing site conditions will be required in order to achieve compliance to any habitable buildings featured on the proposal plans.



- A Hazard Management Area (HMA) must be established around the habitable structure/s to be protected in accordance with the distances specified on B0.1 of this plan.
- Lawns within the HMA must be well maintained during the fire season from September through to March and kept as 'short cropped'.
- Paths and driveways must be constructed of non-combustible materials.
- Dams, uncovered water storages, orchards, vegetable gardens, waste water systems and tanks etc. should be located on the fire prone site of the proposed structure.
- Only fire retardant plants of the low flammability type (fire resisting garden plants - TFS) should be planted in the HMA.
- No vegetation must be able to fall onto the proposed structure.
- The owner/s must maintain tree crowns within the HMA to have a horizontal separation of 5m from each crown.
- Trees of significant establishment should be retained so as to create a screen to protect from radiant heat transfer and ember attack.
- The HMA must be located in accordance with the provisions of this plan.
- It is the responsibility of the land owner to maintain the landscaping in accordance with this Bushfire Hazard Management Plan.
- All paths and pedestrian areas within 1m of any habitable structure on the subject site must be constructed of non-combustible materials (i.e. stone, paving, concrete, pebbles etc).
- Vegetation along pathways should be of a low flammability type and in accordance with the Tasmania Fire Service's brochure - Fire Retardant Garden Plants. Plants that produce a lot of debris should be avoided. Trees and shrubs that retain dead material in branches, or which shed long strips of bark, or rough fibrous bark, or large quantities of leaves should be avoided.
- Vines on walls or tree canopies over roofed areas should be avoided.
- Timber, woodchip and flammable mulches cannot be used and brush and timber fencing should be avoided.
- Total shrub cover should be kept to a maximum of 20% of the available area.
- Clear space from any habitable structures of at least 4 times the mature height of any shrubs planted.
- Shrubs must not be planted in cluster forms or clumps within the HMA.
- Remove ground level fuels and trim the bottom of tree canopies to at least a height of 2m from ground level.
- Minimise ground level fuels wherever possible.



SPECIFICATIONS PAGE

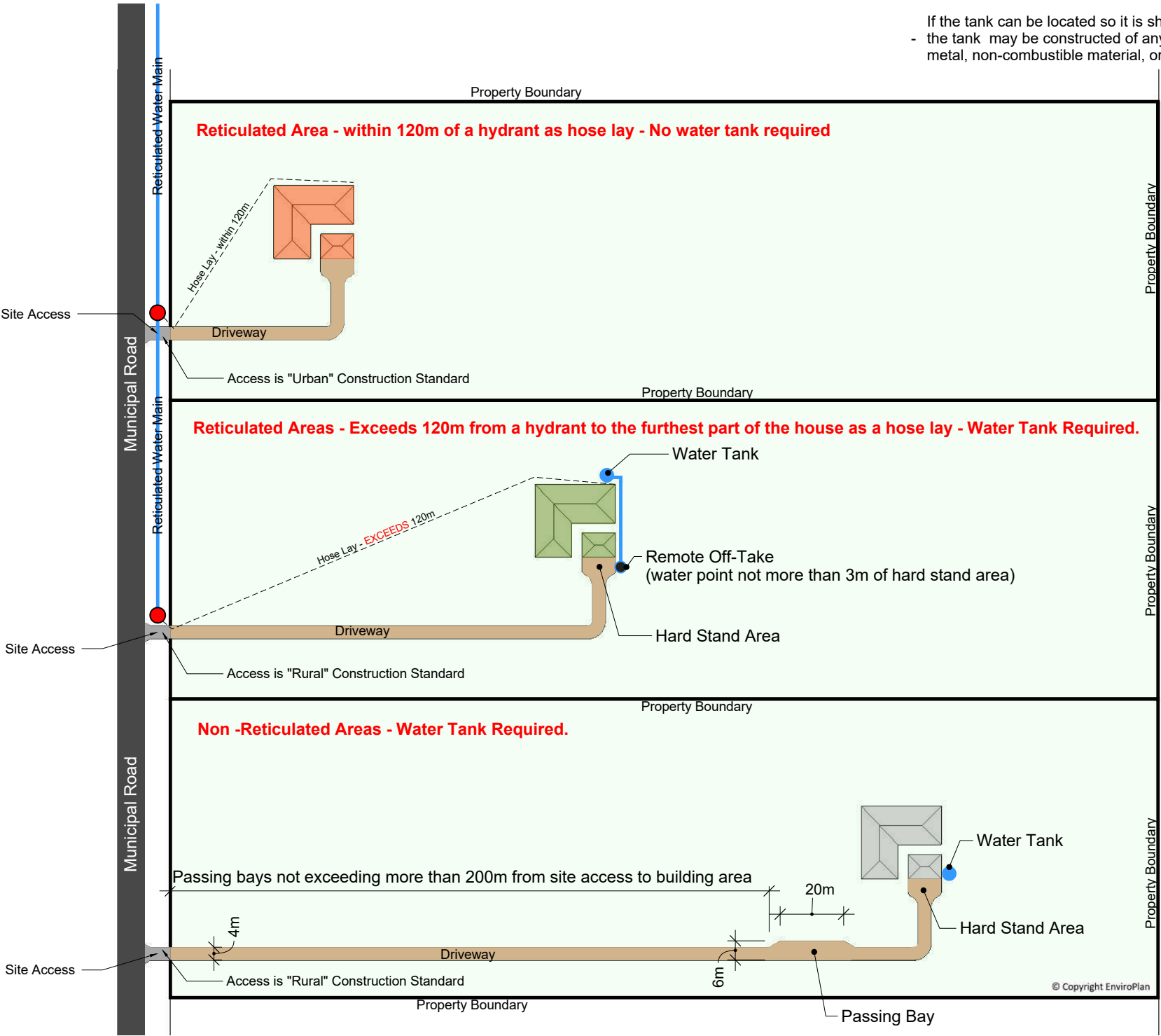
Water Supply & Access Details

Specifications - Static Water Supply - Distance to Building Area

- A static water connection point must be located within 90m of the building area
- The distance between the static water connection and the furthest part of the habitable building must be measured as a hose lay and must not exceed 120m.

Specifications - Static Water Supplies

- The bulk water supply (dam, tank, pool etc) required by this development may have a remotely located off-take that is connected to the static water supply.
- The water supply can be used for a combination use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times.
- The static water supply must be a minimum of 10,000 litres per habitable building to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems - domestic supply is in addition to this amount.
- The water storage tank must be metal, concrete or lagged by non-combustible materials if above ground.
- If the tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2009 / 2018;
- the tank may be constructed of any material provided that the lowest 400mm of the tank exterior is protected by metal, non-combustible material, or fibre-cement sheet of a minimum of 6mm thickness.



Example Lot 1 - Bushfire Prone Area

- Hazard Management Area is required (not shown here)
- BAL rating applied to dwelling



Example Lot 2 - Bushfire Prone Area

Requires additional works

- Hazard Management Area is required (not shown here)
- BAL rating applied to dwelling
- Bulk water storages are required
- Can position tank elsewhere (conditions apply)
- Can use a remote off-take (conditions apply)



Example Lot 3 - Bushfire Prone Area

Requires additional works

- Hazard Management Area is required (not shown here)
- BAL rating applied to dwelling
- Bulk water storages are required
- Can position tank elsewhere (conditions apply)
- Can use a remote off-take (conditions apply)
- Requires passing bay/s if very long driveway

NOTE: Multiple passing bays may be required

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CLIENT: GR & DM Cooper
PROJECT: 55 Melrose Road, Aberdeen
PID: 9603348
CT: 176489/1
DRAWN BY: M Wells
ISSUE: 20/10/2020
DESIGNERS DESCRIPTION: Michell Hodgetts & Assoc
DESIGNERS REFERENCE NUMBERS: 220144

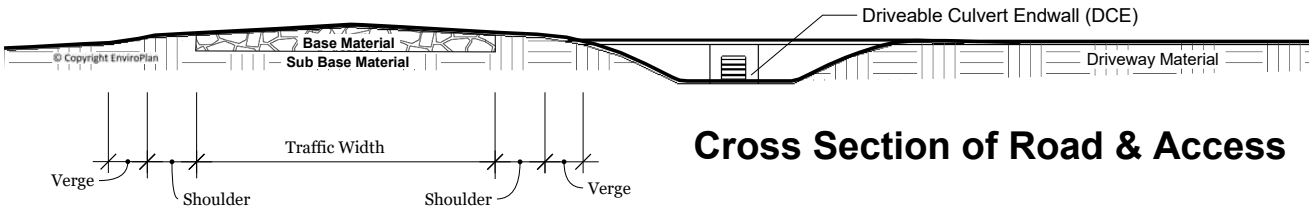
● Fire Hydrant ● Remote Off-Take — Water Main

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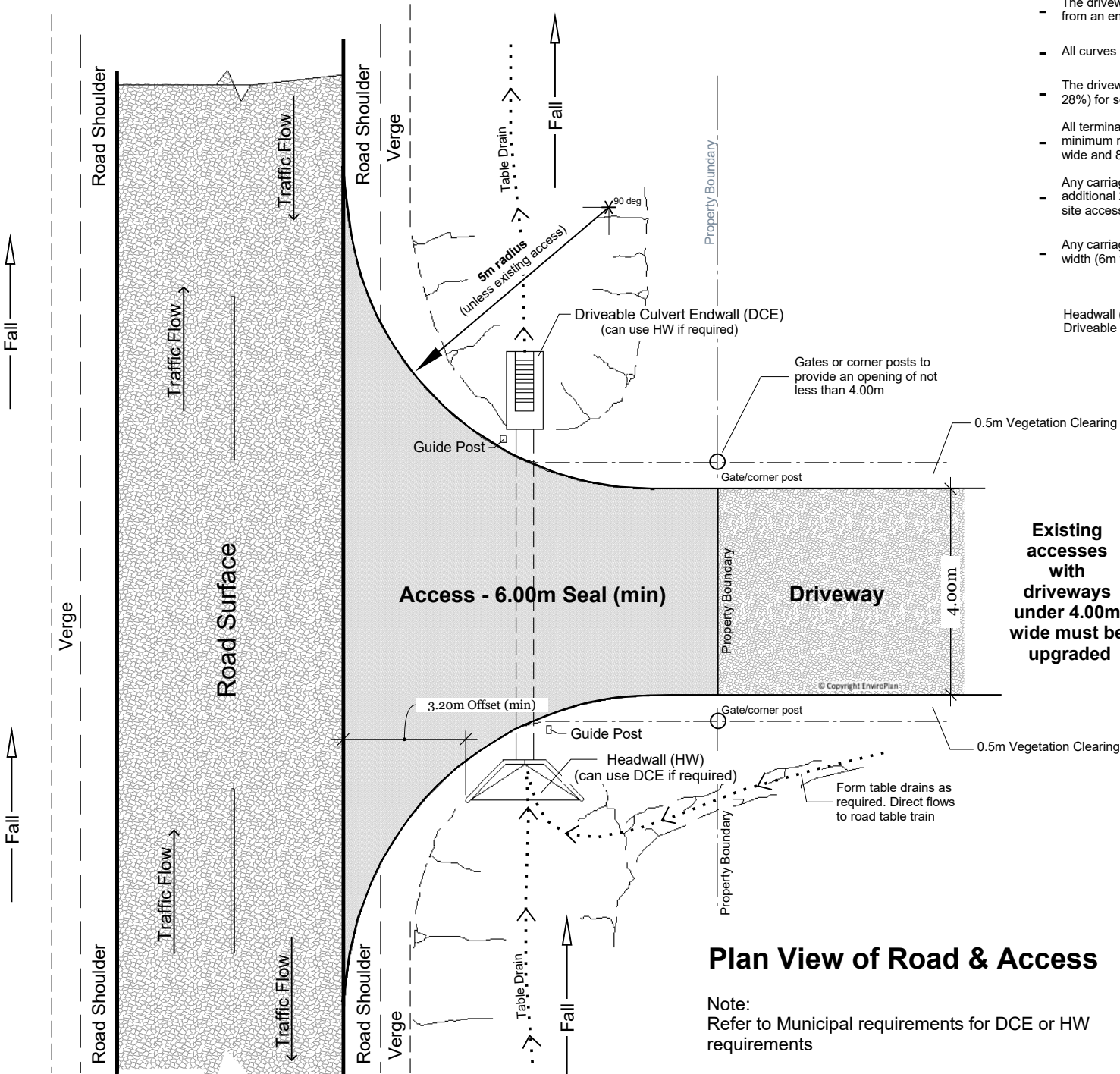
Annexure
B0.4

SPECIFICATIONS PAGE

Bushfire Prone Areas Property Access Detail - Rural Construction Standard



Cross Section of Road & Access

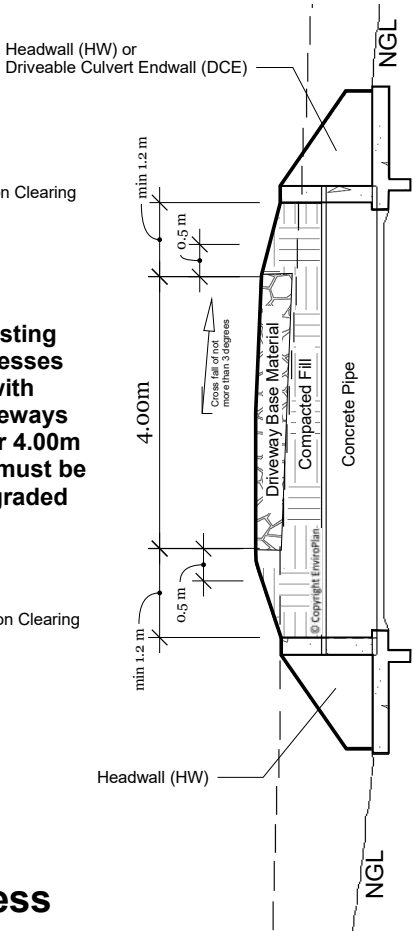


Plan View of Road & Access

Note:
Refer to Municipal requirements for DCE or HW requirements

Specifications - Property Access Exceeding 30m to Building Area

- The property access must be constructed to an all-weather construction with a load capacity of at least 20 tonnes including any bridge or culverts if applicable.
- The driveway from the access to the building area must be a minimum of 4m wide with a vertical clearance of 4m.
- The driveway must have a minimum horizontal vegetation clearance of 0.5m.
- The driveway must have cross falls of less than 3 degrees (1:20 or 5%) and dips of less than 7 degrees (1.8 or 12.5%) from an entry and exit angle.
- All curves on the driveway must contain a minimum inner radius of 10 meters.
- The driveway must have cross falls of less than 3 degrees (1:20 or 5%) and a maximum grade of 15 degrees (1:3.5 or 28%) for sealed roads and / or 10 degrees (1:5.5 or 18%) for unsealed roads.
- All terminations of driveways must be provided with a turning area for fire appliances by either a turning circle with a minimum radius of 10m, a property access encircling the habitable building or a hammerhead 'T' or 'Y' turning head 4m wide and 8m long.
- Any carriageway accessing up to 2 properties that exceeds 200m in length must provide passing bay/s with a minimum additional 2m carriageway width (6m total) and 20m in length and must not exceed 200m in separation between the site access to the building area.
- Any carriageway accessing 3 or more properties must be provided with passing bay/s with a minimum 2m carriageway width (6m total) and 20m in length and shall not exceed 100m in separation from the site access to the building area.



Cross Section of Culvert & Access

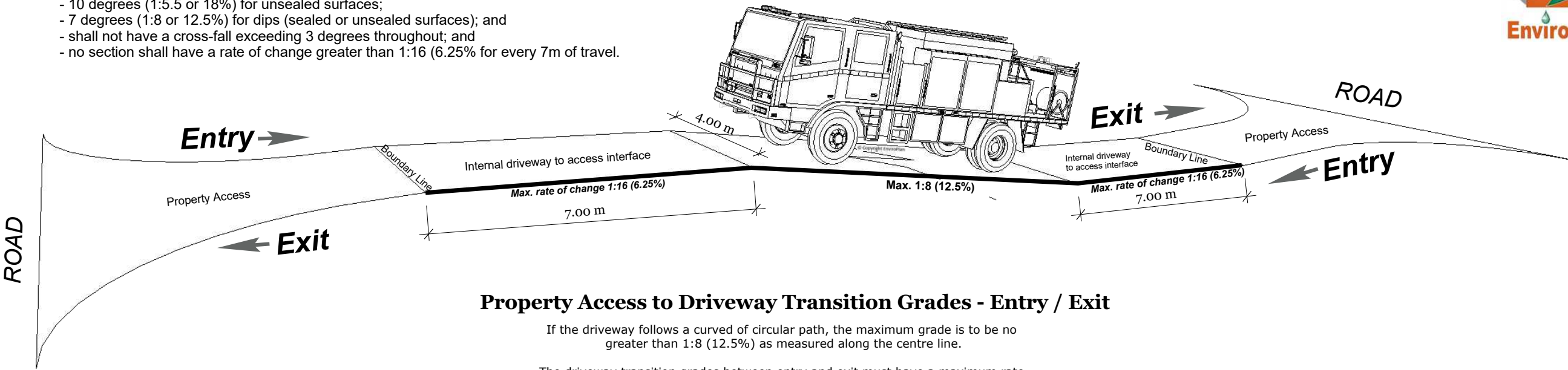
Existing accesses with driveways under 4.00m wide must be upgraded

Bushfire Prone areas Property Access / Driveway Interface (Rural Access) - Maximum Gradient Details

NOTE: Assessed or indicative driveway angle/s may be improved at time of construction through minor land modifications to enable greater vehicular access



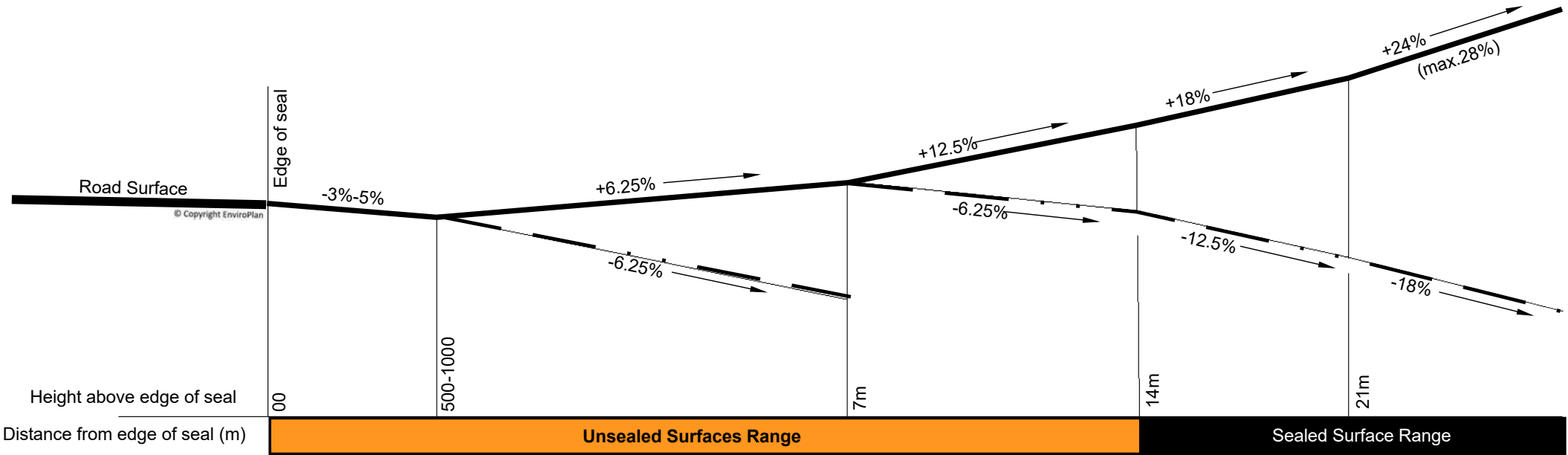
- The grade of the driveway is to be no steeper than:
- 15 degrees (1:3.5 or 28%) for sealed surfaces;
 - 10 degrees (1:5.5 or 18%) for unsealed surfaces;
 - 7 degrees (1:8 or 12.5%) for dips (sealed or unsealed surfaces); and
 - shall not have a cross-fall exceeding 3 degrees throughout; and
 - no section shall have a rate of change greater than 1:16 (6.25% for every 7m of travel).



Property Access to Driveway Transition Grades - Entry / Exit

If the driveway follows a curved of circular path, the maximum grade is to be no greater than 1:8 (12.5%) as measured along the centre line.

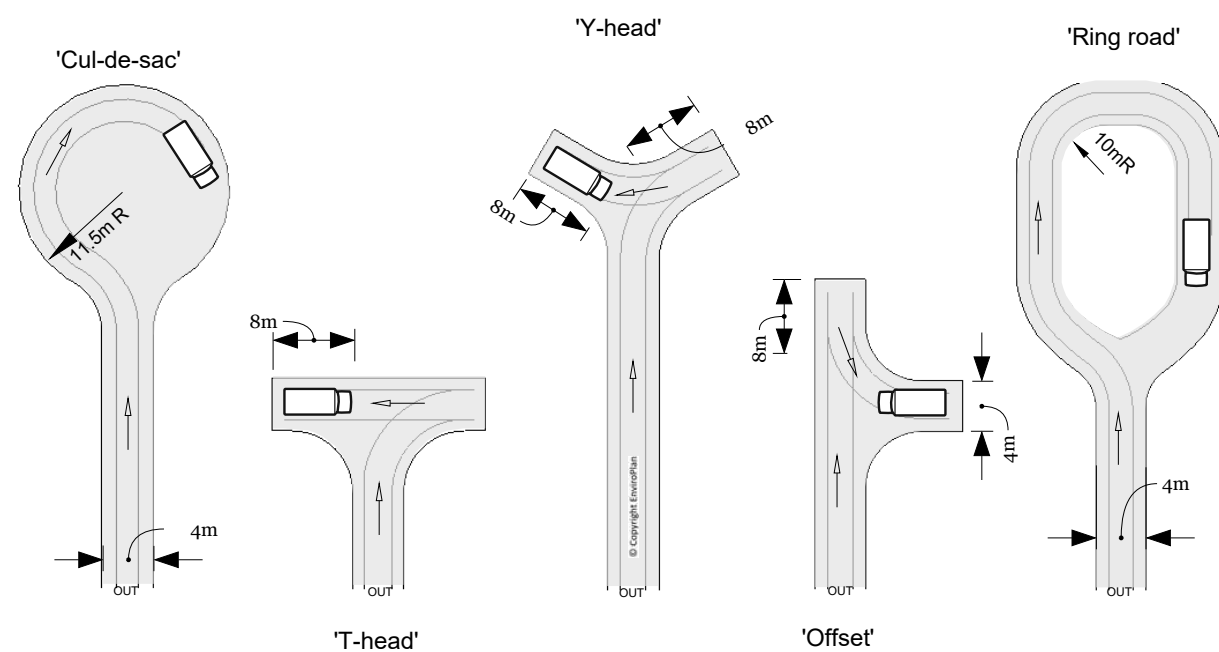
The driveway transition grades between entry and exit must have a maximum rate of change of 1:16 (6.25%) for every 7m of travel.



Rural Driveway Profile - Max. Gradients
Culvert removed for clarity

Annexure
B0.6

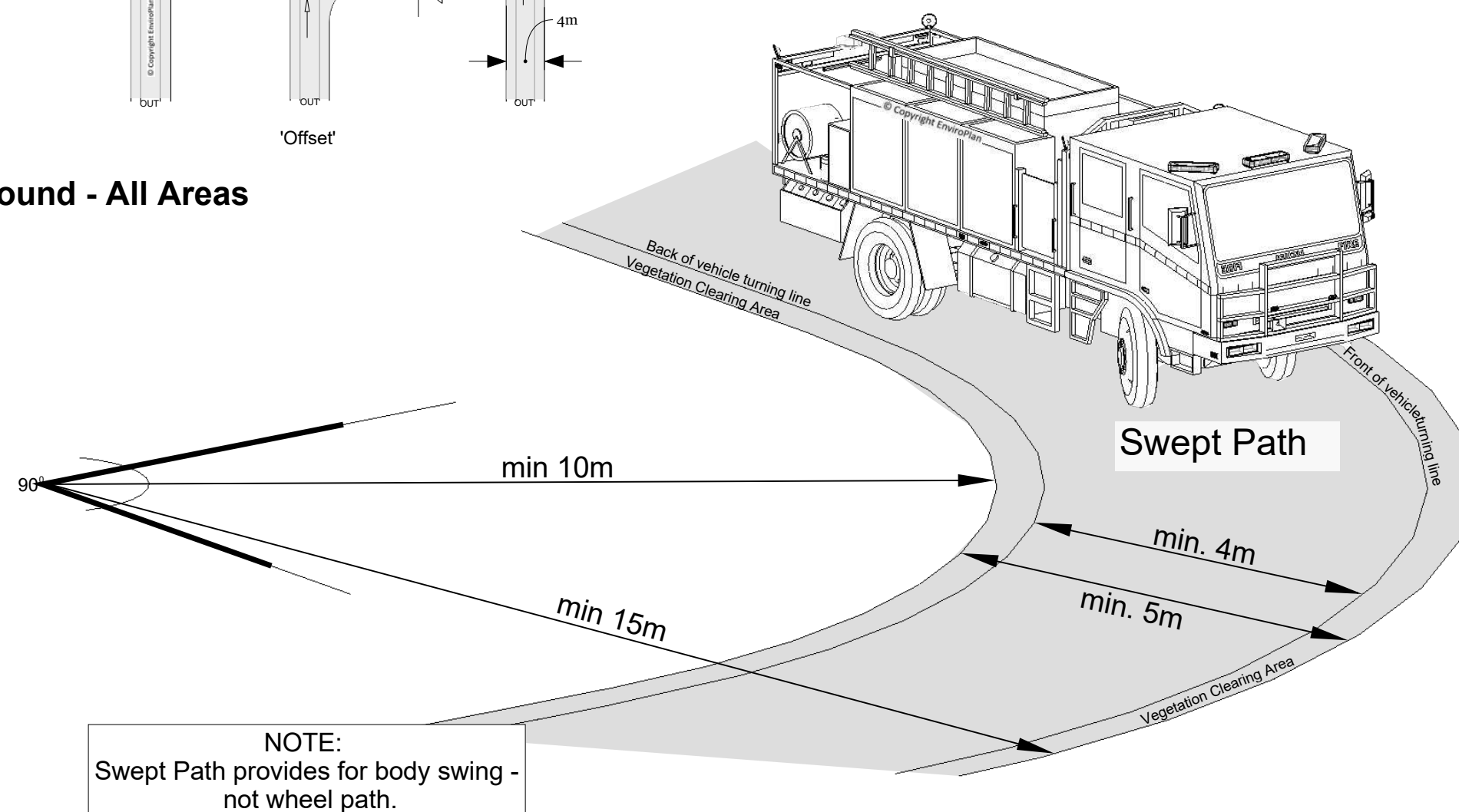
Bushfire Prone Areas Property Driveways & Fire Trails



Appropriate turning areas for all internal access driveways

- min 4m driveway width
- min 8m long turning head
- min 10m inner radius on all driveway turns

Turnaround - All Areas



Turning Radius - All Areas

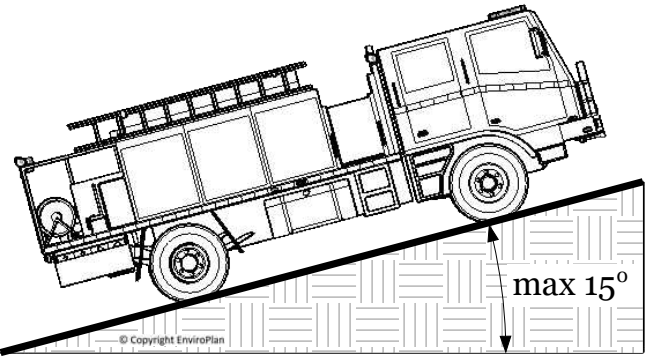
Turning Radius for all internal access driveways

SPECIFICATIONS PAGE

Bushfire Prone Areas Property Driveways & Fire Trails (cont)

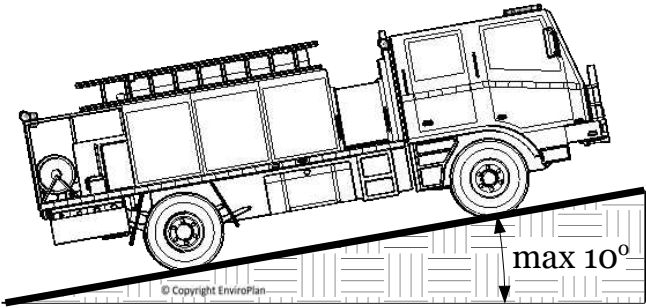
Specifications - Fire Trails

- Fire trails shall be constructed to a four-wheel drive all-weather construction with a load capacity of 20 tonnes including bridges and culverts if applicable.
- The fire trail carriage width must be a minimum of 4m wide with a 4m vertical clearance.
- The fire trail must have a horizontal vegetation clearance of 2m from the edge of the carriageway
- All roads must have a cross fall of less than 3 degrees (1:20 or 5%) and a maximum dip of 7 degrees (1:8 or 12%) for sealed fire trails and / or 10 degrees (1:1.5 or 18%) for unsealed driveways.
- All curves must have a minimum inner radius of 10 meters.
- If gates are installed at the fire trail entry the minimum width of the gate must be 3.6m and if locked keys must be provided to the TFS.
- All terminations of carriageways must be provided with a turning area for fire appliances by either a turning circle with a minimum radius of 10m, a property access driveway encircling the habitable building or a hammerhead 'T' or 'Y' turning head 4m wide and 8m long.
- Any fire trail exceeding 200m in length must provide passing bay/s at a minimum additional 2m carriageway width (6m total) and 20m in length not exceeding every 200m in separation from the site access to the building area.



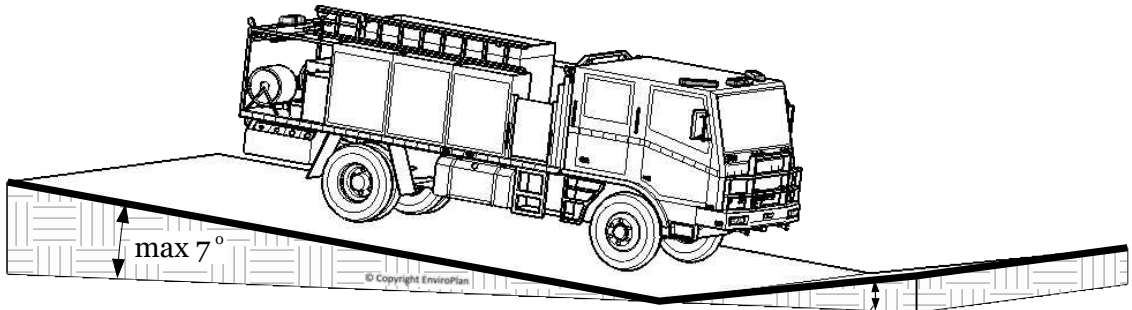
Sealed Surface Gradient

sealed driveways & roads shall not exceed a maximum grade 15 degrees (1:3.5 or 28%)



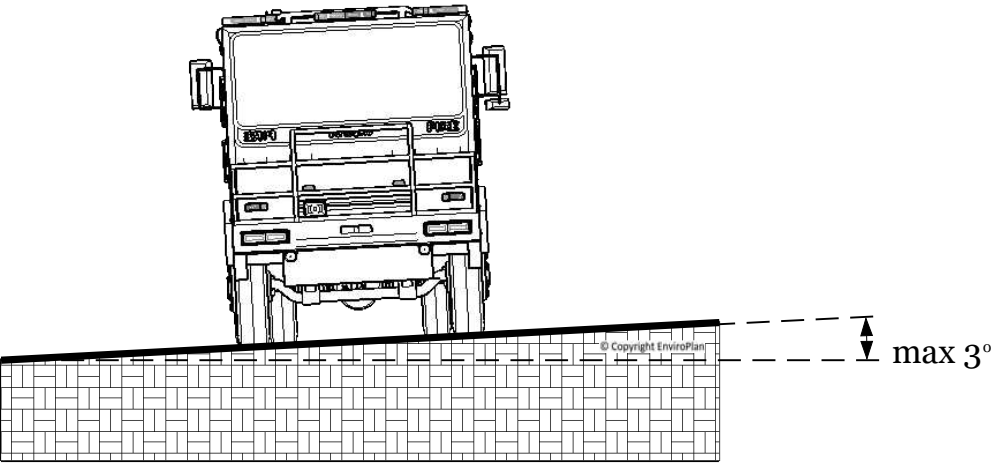
Un-sealed Surface Gradient

unsealed driveways & roads shall not exceed a maximum grade 10 degrees (1:5.5 or 18%)



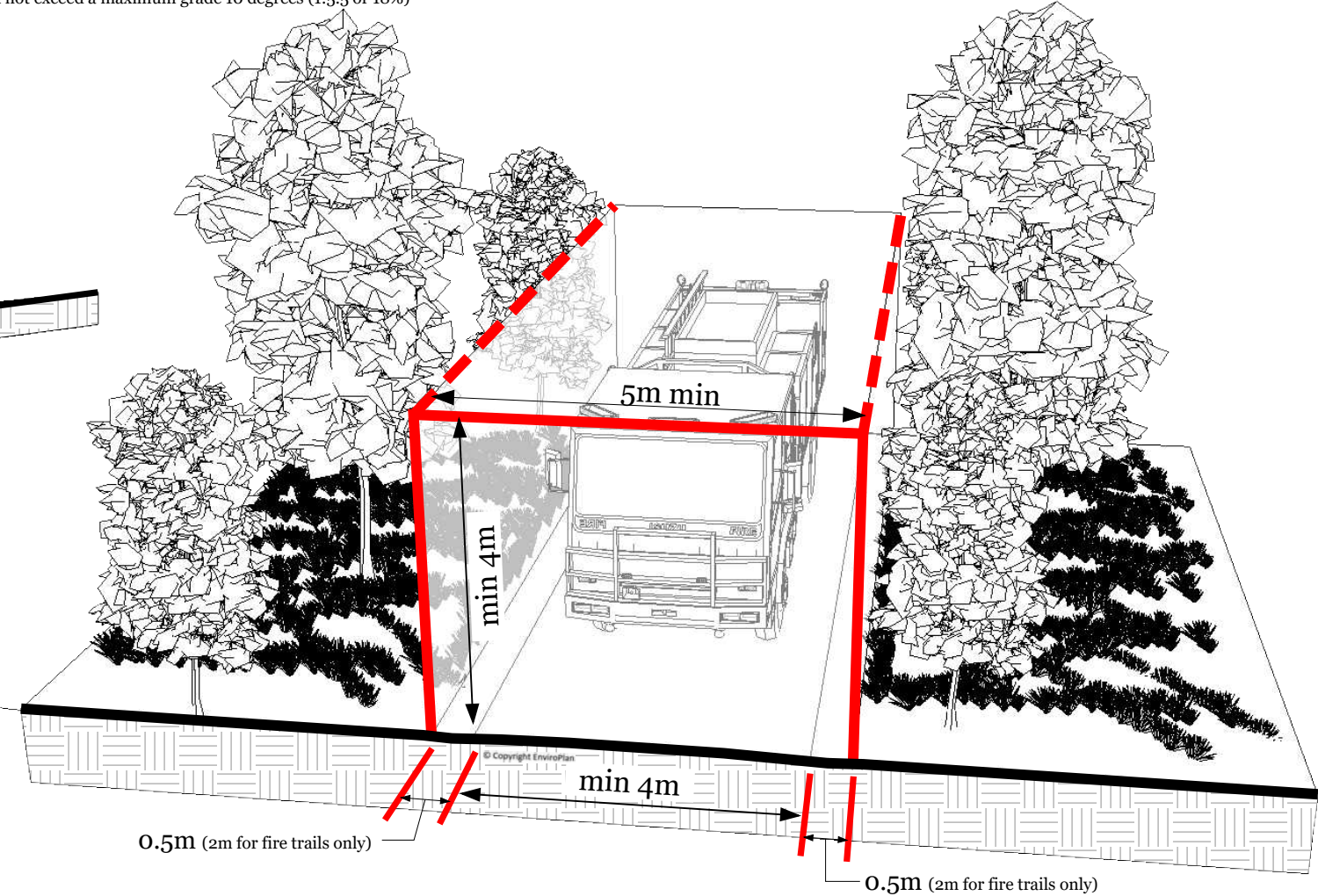
Dips Gradient

dips shall not exceed a maximum entry and exit angle of 7 degrees (1:8 or 12.5%) and the cross-fall gradient shall not exceed a maximum grade 3 degrees (1:20 or 5%)



Cross-fall Gradient

the cross-fall gradient shall not exceed a maximum grade 3 degrees (1:20 or 5%) (all seals)



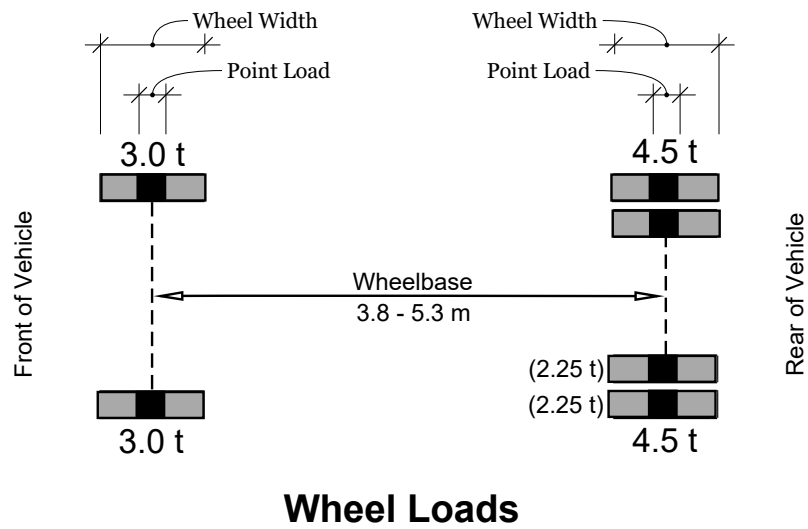
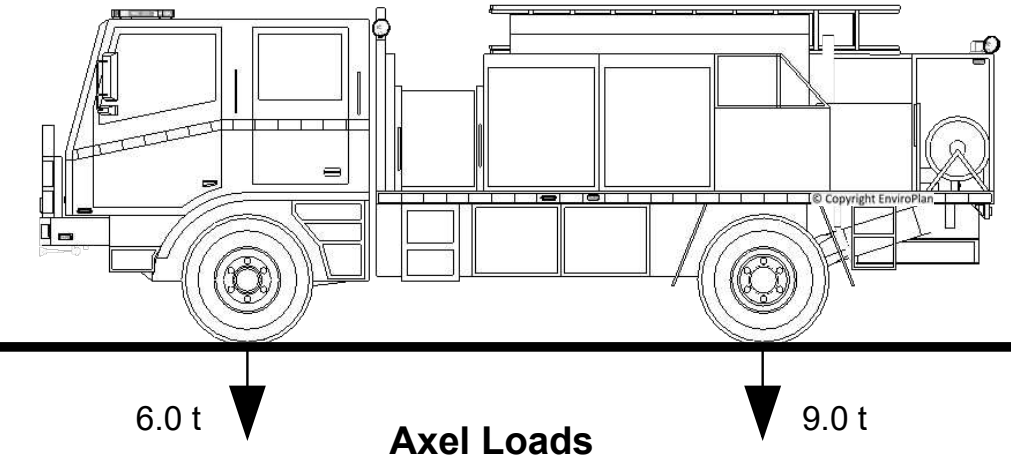
Vegetation Clearance & Property Access Driveway Construction

The property driveway must be constructed to an all-weather construction with a load capacity of at least 20 tonnes including any bridges or culverts (if applicable)

SPECIFICATIONS PAGE

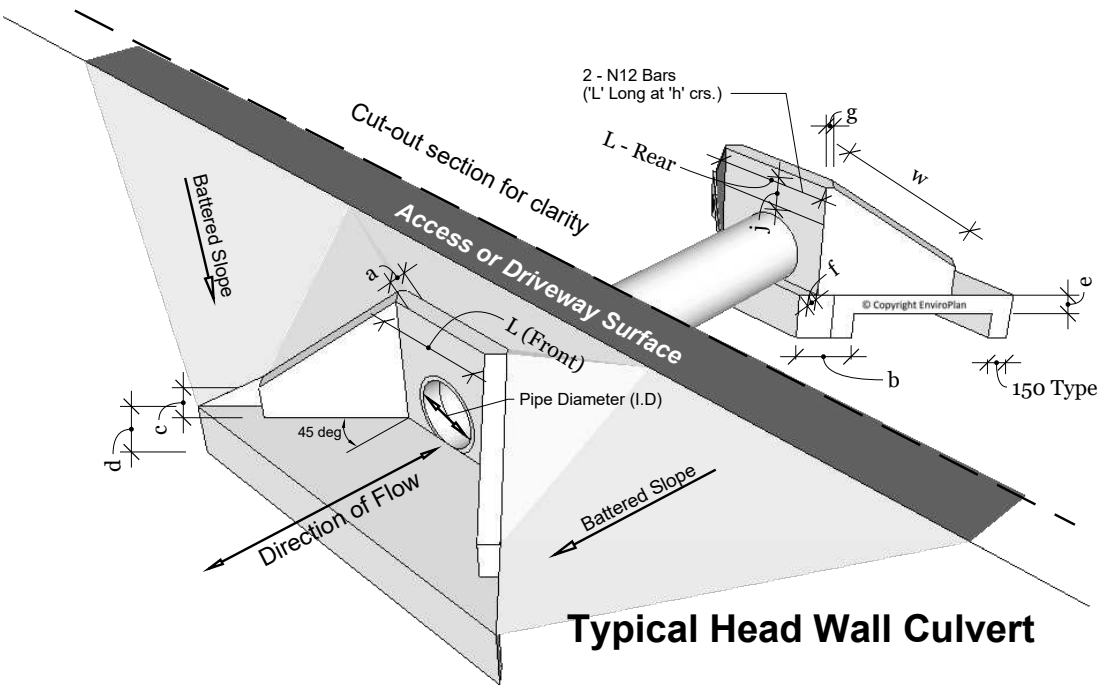
Bushfire Prone Areas - Culverts / Bridges and Load Capacities

The maximum weight of a general fire appliance is 15 tonnes. The static load should be used when determining forces acting through load bearing structures and surfaces. The minimum design requirement for loading capacities for any bridge or culvert is 20 tonnes which allows for an adequate safety margin.



Point Load Construction Notes

- 1 Hardstand areas must be founded on solid ground and are not to be located over culverts or bridges, suspended floors or wharf areas (or the like).
- 2 Hardstand areas must not be located over municipal reticulation mains (water, sewer, stormwater or gas mains)
- 3 The driveway surface and hardstand area/s are to have a binding and hardness to withstand point loads exerted through each tyre (seen in black above).
- 4 Tyres are typically inflated around 850 kPa pressure. If the driveway or hardstand areas has insufficient surface integrity, the point load will result in localised damage to the trafficable surface
- 5 Access or Driveway surface must maintain cover of 1/2 the diameter of the pipe measured from the top of the culvert pipe to finished surface level.



Pipe Diameter (I.D)	300	375	450	525	600	675	750	825	900
Headwall Dimensions (mm)									
a	150	150	150	150	175	175	200	200	225
b	300	300	300	300	375	375	400	400	425
c	300	300	300	300	350	350	350	350	350
d	375	375	375	375	530	530	530	530	530
e	150	150	150	150	175	175	200	200	225
f	75	75	75	75	100	100	100	100	100
g	40	40	40	40	50	50	50	50	50
h	70	70	70	70	75	75	100	100	125
j	200	200	200	200	300	300	300	300	300
w	700	700	850	1000	1100	1300	1450	1600	1750
vol. of Concrete (m3)	0.329	0.375	0.485	0.621	0.981	1.220	1.483	1.702	2.027
Reinforcing (all bars N12)									
L - (Rear)	845	921	1017	1099	1204	1287	1388	1470	1575
L - (Front)	803	880	975	1057	1140	1223	1305	1387	1471
Reo. Length (mm)	1648	1801	1992	2156	2344	2510	2693	2857	3046
Reo. Mass (kg) *	1420	1509	1687	1776	1954	2131	2220	2398	2486

* Does not include SL82 mesh to slab

For further details refer to TSD-SW17-v1 of IPWEA Standard Drawings

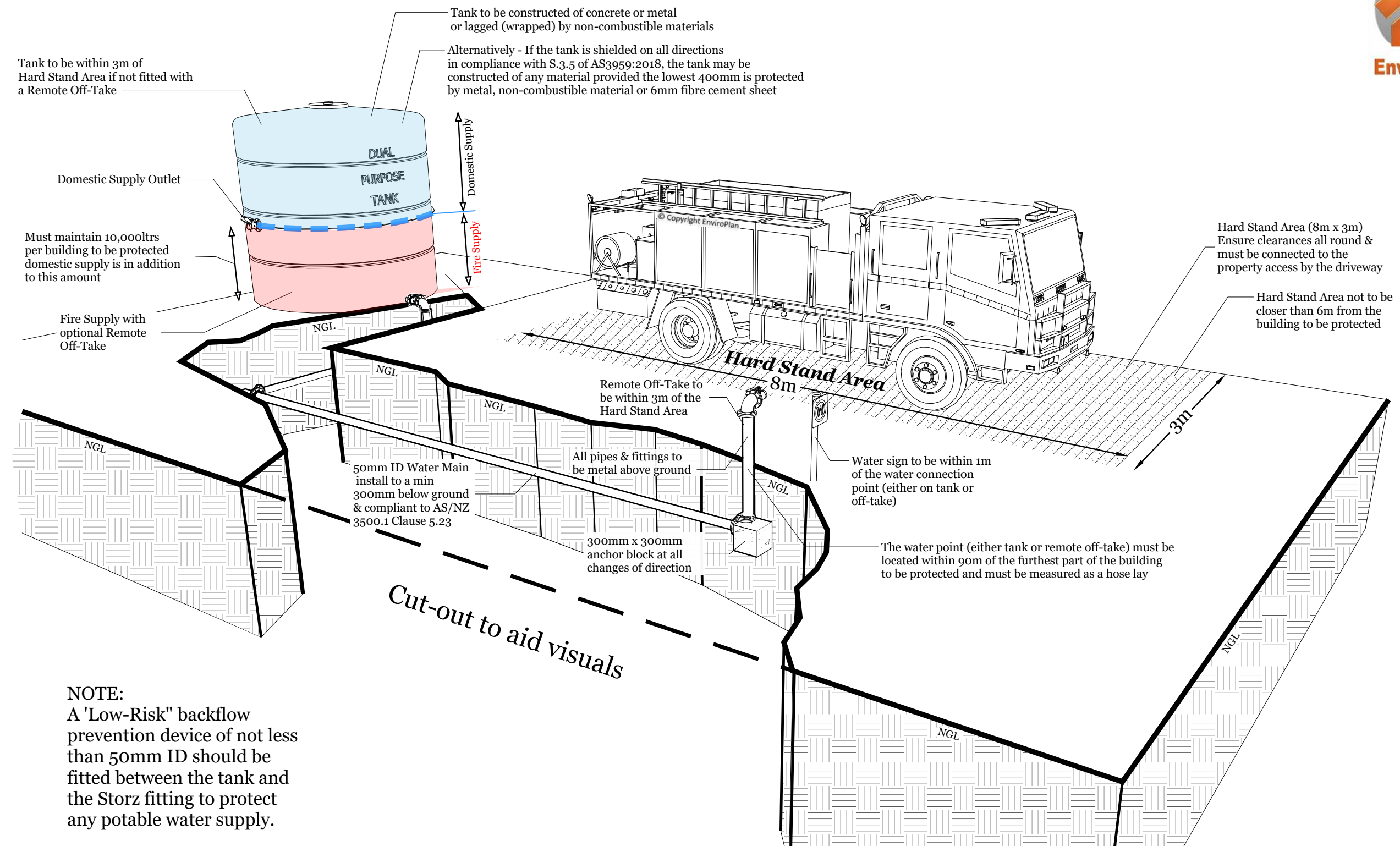
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SPECIFICATIONS PAGE

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Static Water Supply & Hard Stand Area Details



NOTE:
A 'Low-Risk' backflow prevention device of not less than 50mm ID should be fitted between the tank and the Storz fitting to protect any potable water supply.

SPECIFICATIONS PAGE

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CLIENT GR & DM Cooper	PID: 9603348	DRAWN BY M Wells	DESIGNERS DESCRIPTION: Michell Hodgetts & Assoc
PROJECT 55 Melrose Road, Aberdeen	CT: 176489/1	ISSUE 20/10/2020	DESIGNERS REFERENCE NUMBERS: 220144

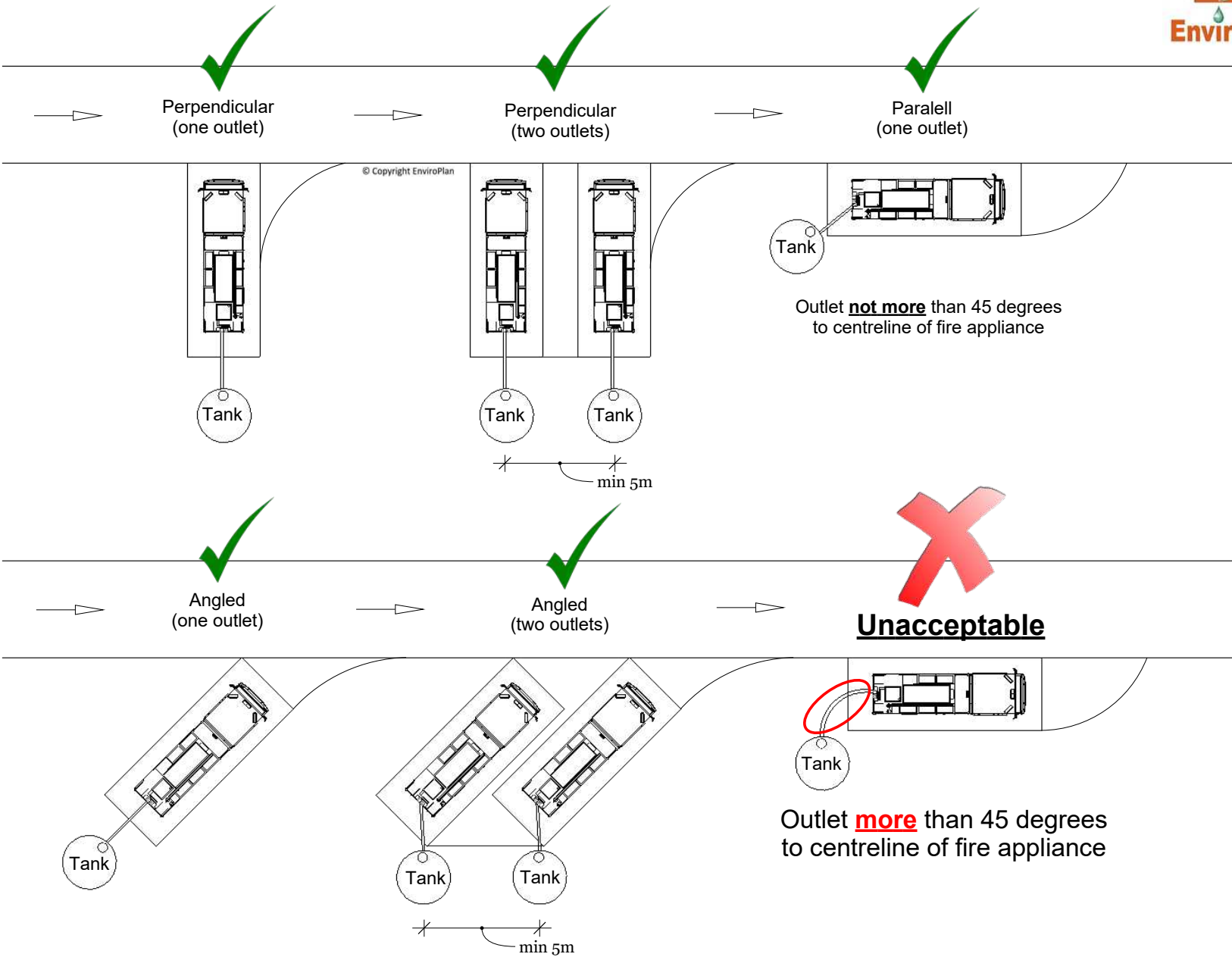
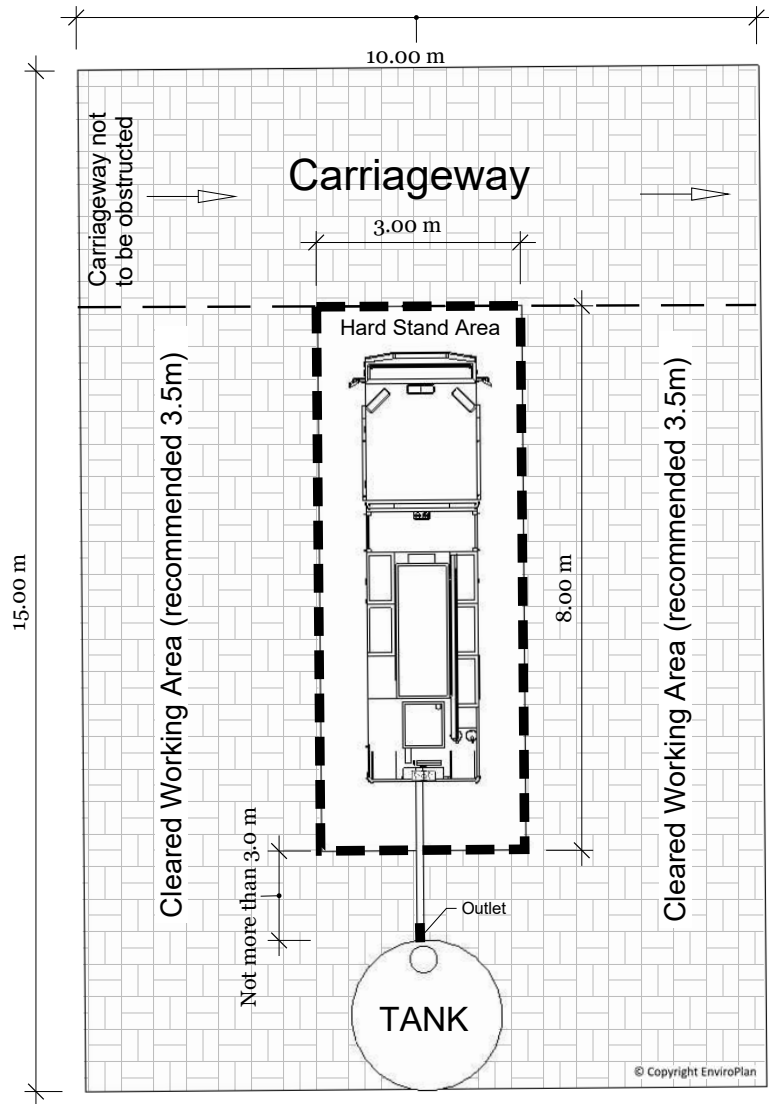
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B0.10

Hard Stand Details

Hardstand area serving a suction - connection outlet

A minimum clearance of 3.5m should be provided. A turnaround area may be used as a hardstand area only when another fire appliance can safely turn around.



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Specifications - Hard Stand Areas for Static Water Supplies

A hard stand area for fire appliances must be provided:

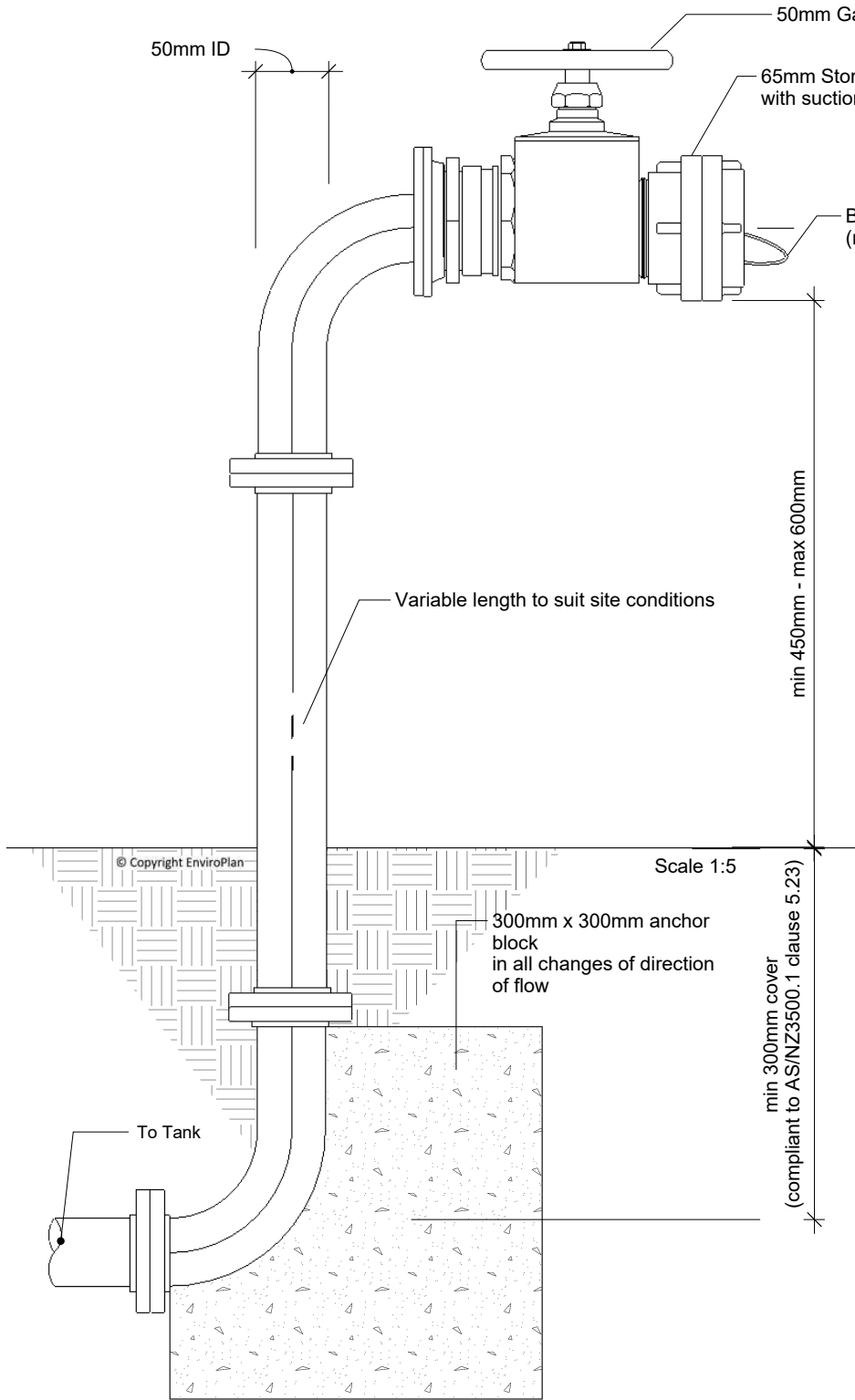
- No more than 3m from the water from the water connection point measured as a hose-lay (including the minimum water level in dams, swimming pools and the like); and
- No closer than 6m from the building area to be protected; and
- With a minimum width of 3m constructed to the same standard as the driveway; and
- Connected to the property access by a driveway equivalent to the standard of the property access.

Orientation of hardstand area for suction - connection outlets

Suction - connection outlets are not to be located within 5m of each other



Remote Off-Take & Sign Installation Details



Standard Remote Off-Take (If Applicable)

Specifications - Tank Fittings, Pipework & Accessories

All fittings and pipework associated with a water connection point must:

- Have a minimum nominal internal diameter of 50mm.
- Be fitted with a valve with a minimum nominal internal diameter of 50mm.
- Be metal or lagged by non-combustible material if above ground.
- Where buried, have a minimum depth of 300mm (compliant with AS/NZS3500.1 2003 Clause 5.23).
- Provide a DIN or NEN standard forged Storz 65mm coupling fitted with a suction washer for connection to firefighting equipment.
- Ensure the coupling is accessible and available for connection at all times.
- Ensure the coupling is fitted with a blank cap and securing chain (min 220mm length).
- Ensure underground tanks have an opening at the top of not less than 250mm diameter.

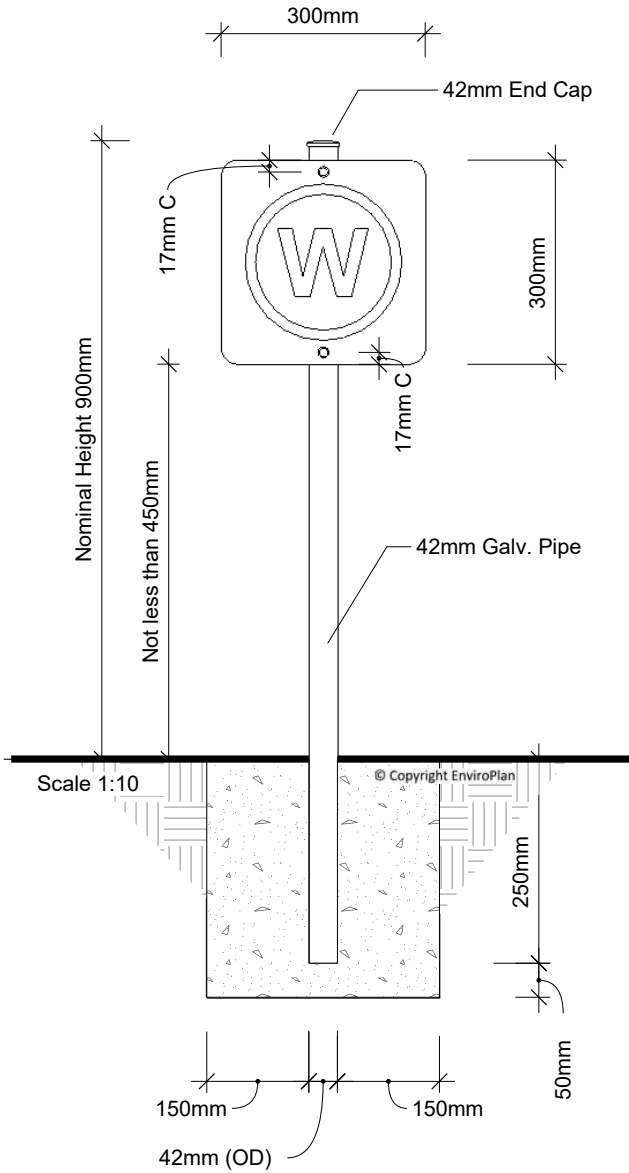
Where remote off-take is installed; ensure the off-take is in a position that is visible and accessible to allow connection by firefighting equipment and is at a working height of 450mm - 600mm above ground level and protected from damage (bollards or the like) including damage by vehicles.

NOTE:
A 'Low-Risk' backflow prevention device of not less than 50mm ID should be fitted between the tank and the Storz fitting to protect any potable water supply.

Specifications - Signage for Static Connections

The water connection point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must comply with:

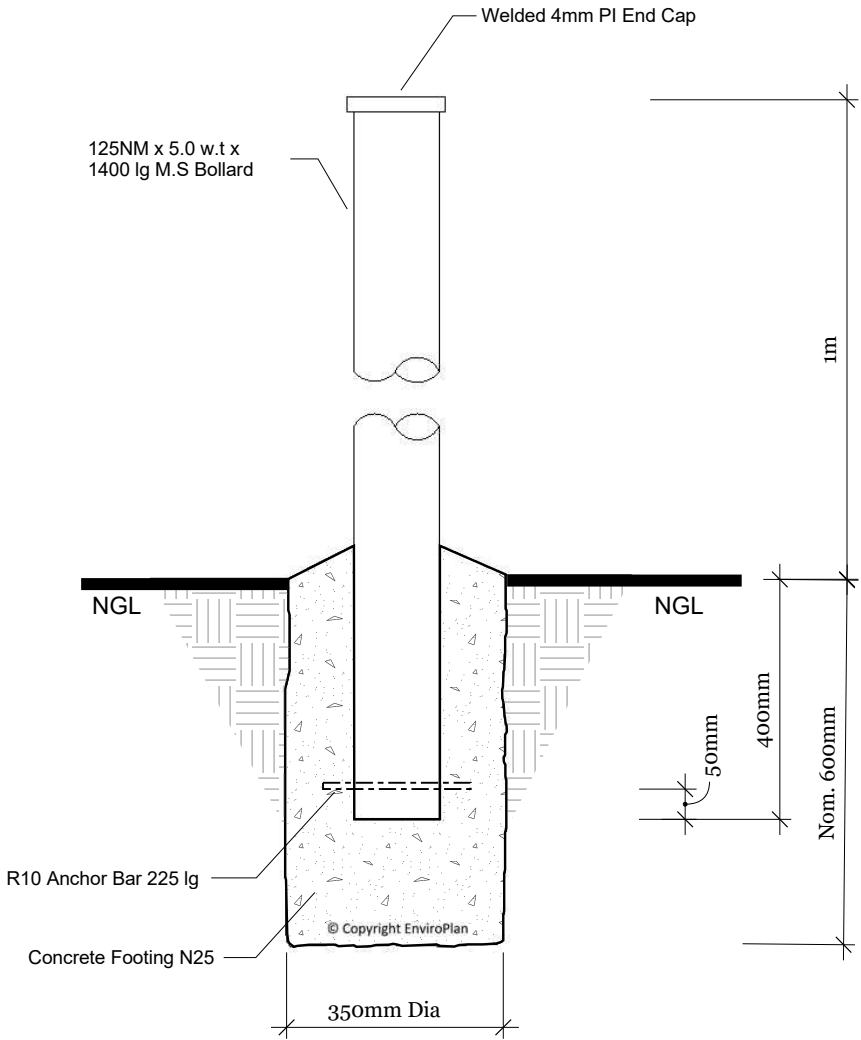
- Water tank signage requirements within AS2304 2011 Water Storage Tanks for Fire Protection Systems; or
- Be marked with the letter "W" contained within a circle with the letter in upper case and not less than 100mm in height; and
- Be fade resistant material with white reflective lettering and circle on a red background; and
- Be located within 1 meter of the water connection point in a situation which will not impede access or operation; and
- Be not less than 400mm above the ground.



Signage Installation - Post Assembly

SPECIFICATIONS PAGE

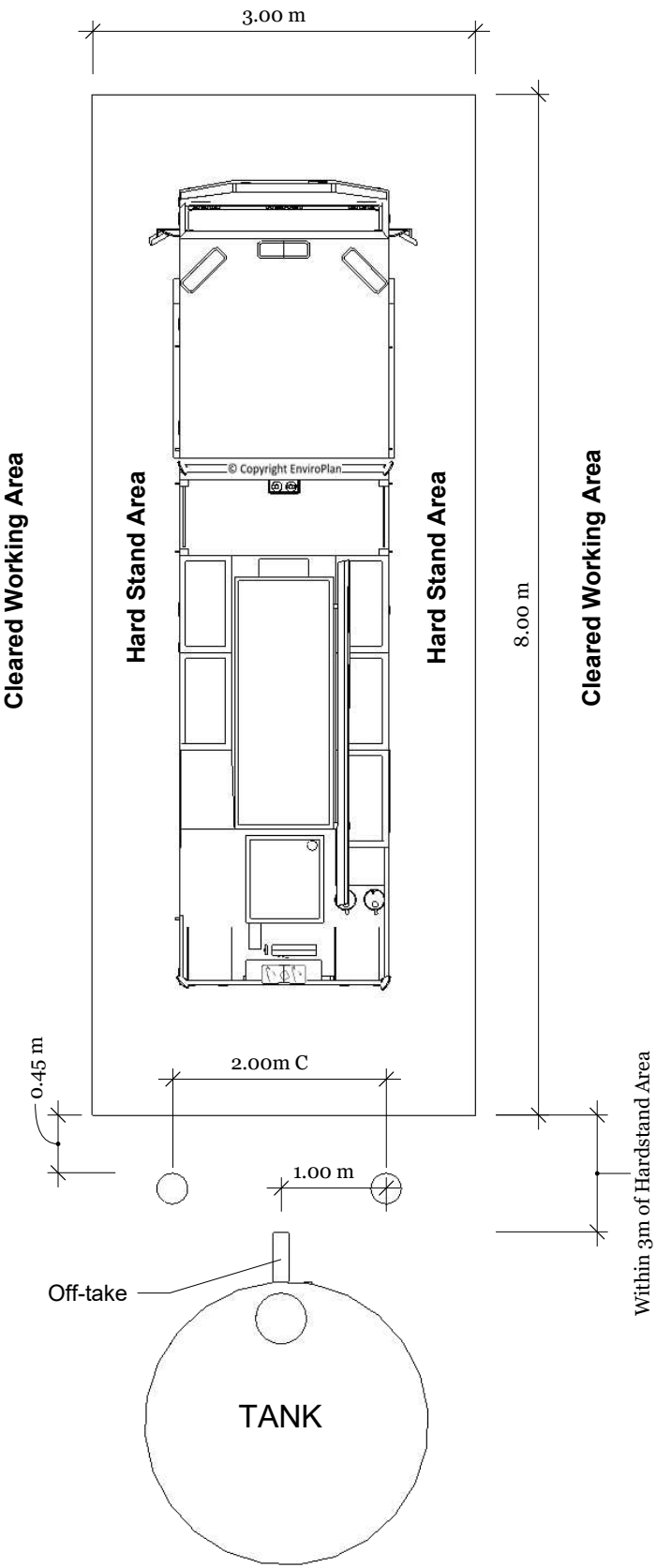
Bollard Construction & Off-take Protection Detail



Remote Off-Take Protection Bollard

Or similar solid protection method

Protection Bollard Height Table			
Soil Type	Hole Depth (mm)	25MPa Concrete Bags (per hole)	Post Height (mm) above NGL
Clay/Firm Earth	600	2	1000
Sand/ Loose Fill	1000	3	1000



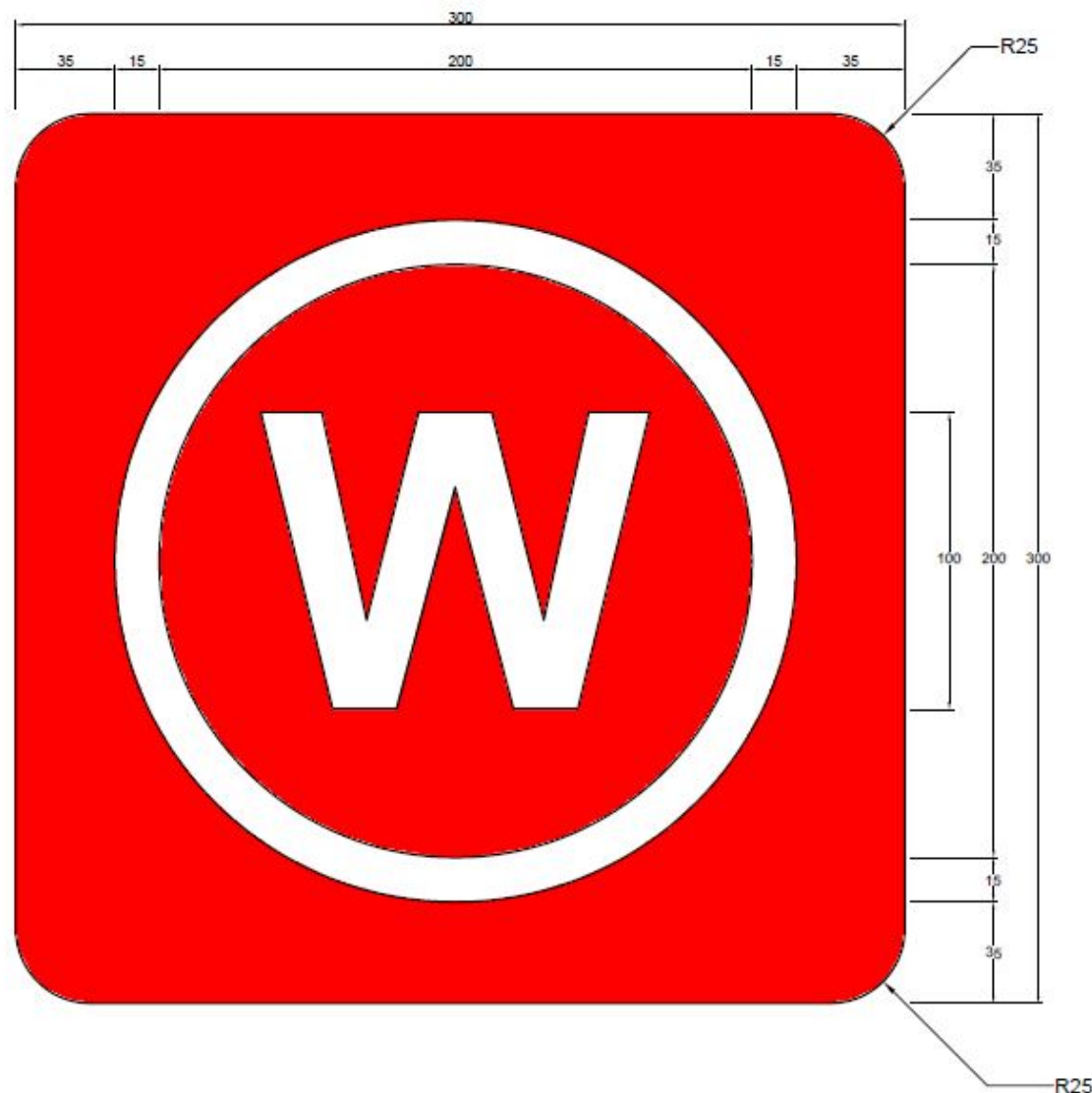
Positioning of Protection Bollard



SPECIFICATIONS PAGE



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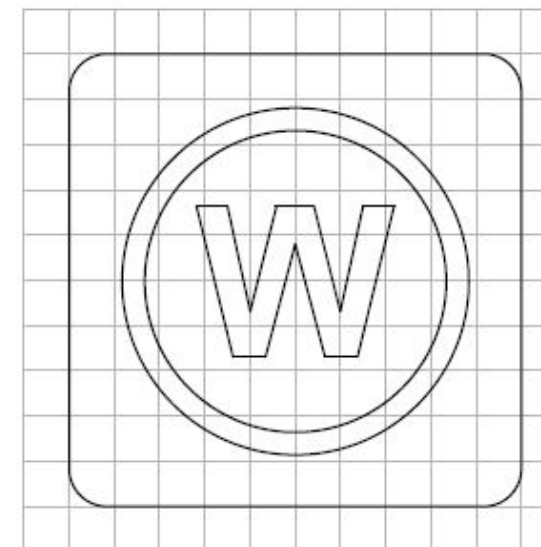


OVERALL SIGN DIMENSIONS (mm): 300 x 300, +/- 5
SURFACE AREA OF SIGN (sq m) : 0.0895


LEGEND COLOUR: WHITE (N14) IN ACCORDANCE WITH AS2700,
WITH A RETROREFLECTIVE SURFACE FINISH
BACKGROUND COLOUR: SIGNAL RED (R13) IN ACCORDANCE WITH AS2700

FOR SIGN FIXING AND LOCATION REQUIREMENTS, REFER TO
TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES

FOR LEGEND SPECIFICATIONS AND MANUFACTURING DETAIL
REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES



GRID MODULE X = 30mm Y= 30mm

 Tasmania Fire Service	ISSUE	APPR'D	DATE	AMENDMENT	NOTES - all dimensions are in mm - written dimensions take precedence over scaled measurements			TITLE TASMANIA FIRE SERVICE WATER SUPPLY SIGN							
	A														
	B														
	C														
	D				DRWN	WH	APPR'D	CC	DATE	2/2/2017	FILE	BPP	DWG NO.	TFS-WS01	SCALE

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CLIENT
GR & DM Cooper
PROJECT
55 Melrose Road, Aberdeen

PID:
9603348
CT:
176489/1

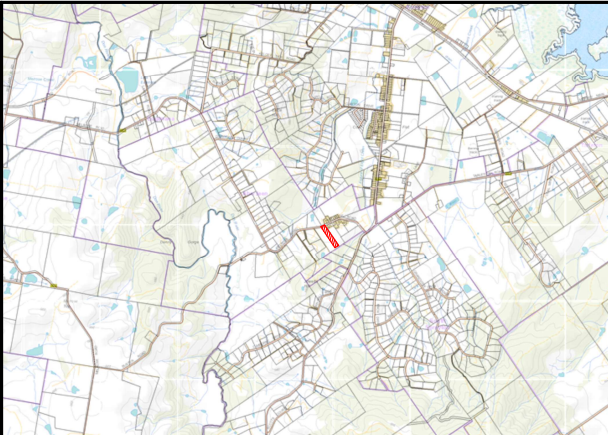
DRAWN BY
M Wells
ISSUE
20/10/2020

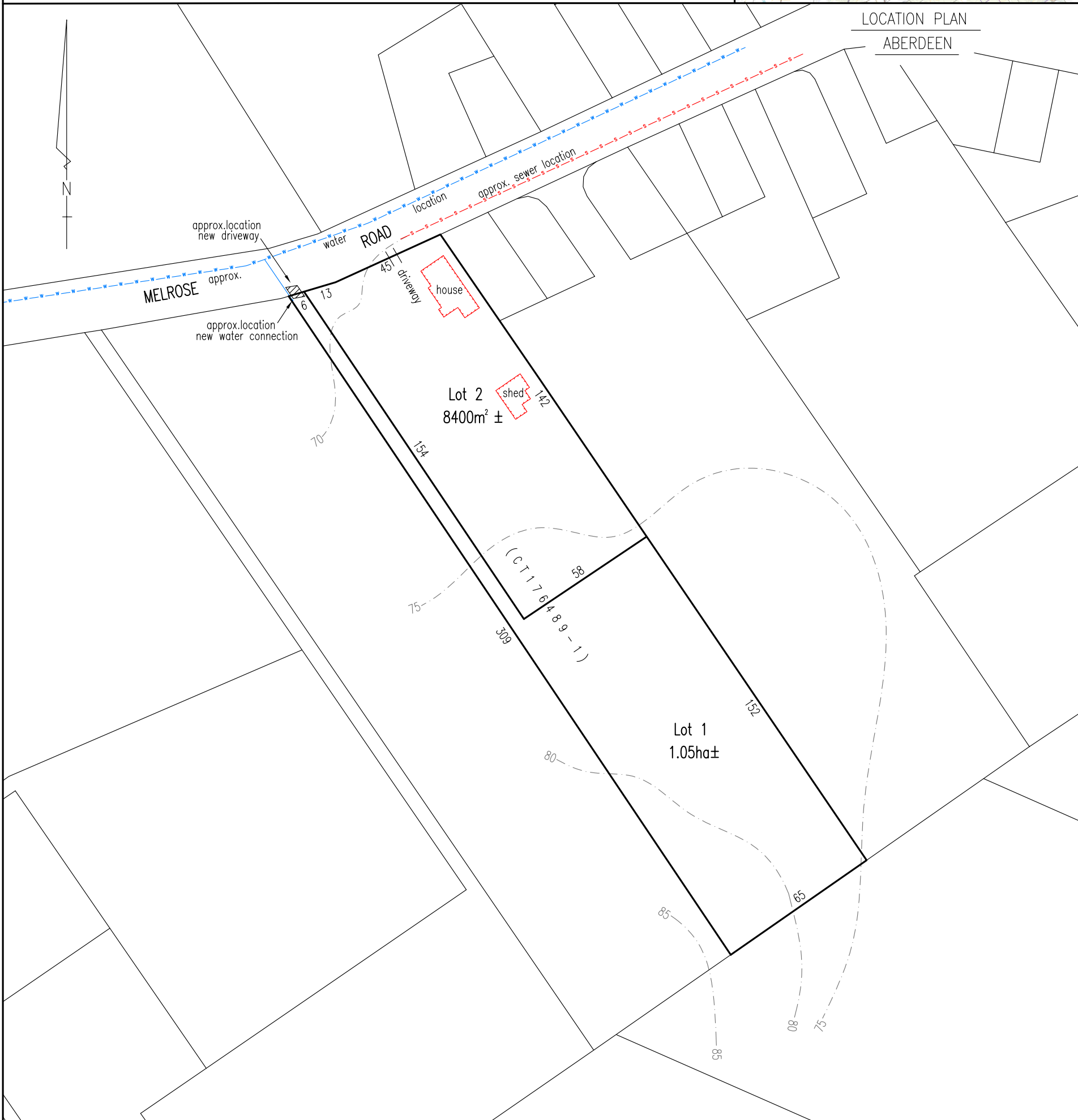
DESIGNERS DESCRIPTION:
Michell Hodgetts & Assoc
DESIGNERS REFERENCE NUMBERS:
220144

Annexure


B0.14



<div>MICHELL HODGETTS SURVEYORS</div> <div>A.C.N. 109 596 152 AUTHORISED SURVEYORS</div> <div>DEVONPORT – WYNYARD – SMITHTON – LAUNCESTON – SCOTSDALE</div>		
<div>P.O. Box 712 , Devonport 7310 Telephone (03) 6424 5144</div> <div>AUSDOC DX 70346 , Devonport Fax (03) 6423 4090</div> <div>E.Mail : mhasurv@bigpond.net.au</div>		
<div>PROPOSED SUBDIVISION</div> <div>55 Melrose Road, Aberdeen</div> <div>G.R. & D.M. Cooper</div>		



The main plan shows two lots separated by Melrose Road. Lot 1 is a large triangular lot at the bottom right, labeled "Lot 1 1.05ha±". Lot 2 is a smaller rectangular lot above it, labeled "Lot 2 8400m² ±". A red dashed outline indicates a house and shed on Lot 2. The road has blue dashed lines for water and sewer locations. Various boundary dimensions are noted, such as 154, 132, 309, 58, 142, 13, 6, 45, 70, 75, 80, 85, 08, 75, 152, 154, 132, 309, 58, 142, 13, 6, 45. A north arrow points towards the top left.

This plan has been prepared only for the purpose of obtaining subdivision approval from the local planning authority & the information shown hereon should be used for no other purpose. All dimensions & areas subject to final survey . All measurements are in metres .		Drawing No. 220144
Drawn : J.A.T Scale : 1:1500(A3) Date : 12/08/20	Paul Hodgetts – registered land surveyor	

**DEVONPORT CITY COUNCIL**

ABN: 47 611 446 016

PO Box 604 Devonport TAS 7310 - 137 Rooke Street, Devonport

Telephone 03 6424 0511

Email council@devonport.tas.gov.au Web www.devonport.tas.gov.au**Submission Date**

09/12/2020

I/We

Brian and Anne Walker

Of61 Melrose Road
Aberdeen, Tasmania 7310
Australia**Email Address**walker2018baw@gmail.com**Phone Number**

0431879006

Development Application Number

PA2020.0201

Address of Development55 Melrose Road
Aberdeen 7310
Australia**Details of representation**Relating to PA2020.0201 - Application for Planning Permit
55 Melrose Road Aberdeen

We are the owners of 61 Melrose Road, Aberdeen Tasmania. We note that Council is using its discretion when considering granting the abovementioned Planning Permit for 55 Melrose Road, Aberdeen Tasmania.

We respectfully request that Council consider our representation and respond to our following questions:

Currently there is a timber and wire fence on the boundary between our property and 55 Melrose Road, Aberdeen. We understand under the terms of our contract when purchasing our property that this fence should remain. We request that Council please give us assurance in this matter.

We understand that our property is fully compliant with Council regulations to subdivide and that there would be no impediment for us doing so in the future if so desired. We request Council please give us assurance that when

*The City with Spirit*


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considering the above-mentioned permit application any future application that we may make regarding subdivision will not be negatively impacted and that we would not incur additional costs or refusal as a result of the above-mentioned permit application.

If a drainage pipe is to be installed in the culvert beside the road to allow ingress to the property from the road we request that Council consider our right to subdivide in that the drainage pipe should be of sufficient length to allow ingress from the road to our property to avoid what we regard as a complicated addition to the pipe with increased cost to ourselves in the event we apply for subdivision.

We have an approved sewer line running to the TasWater main. A new driveway would go over this sewer line. Would Council please let us know how this would be managed. Would Council please assure us that we will not incur costs in this regard.

We understand that we will not be impacted by drainage management for the proposed subdivision or for the existing lot 1. Would Council confirm if this is correct please?

We request that Council please note that at our own cost we connected to the TasWater main sewer. Our hydraulic engineer, Mr Don Anderson, has not yet had time to complete the final sign off for the connection. We understand that as the connection and pipework are still our property it would be against regulations to share them with another user until they become TasWater property and under TasWater jurisdiction. Will the proposed subdivision require change or interruption to our sewer system? Has Council discussed with TasWater our approved and installed connection? We would appreciate Council's advice regarding this matter and assurance we will not be asked to change or incur costs regarding our sewer connection and that its operation will not be negatively affected.

Yours faithfully
Brian and Anne Walker

Consent

✓ I agree that all the information i have provided is accurate and is truthful.

Privacy Consent

✓ I agree to the privacy policy of the Devonport City Council.


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