



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2024.0047
Proposed Use or Development:	Residential (single dwelling)
Address of the Land:	363 Melrose Road, Eugenana
Date of Notice:	04/05/2024

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **17/05/2024**;
- be in writing; and
- addressed to the General Manager, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - council@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



Devonport City Council
PA2024.0047 - 363 Melrose Road, Eugenana

This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.





WOOLCOTT SURVEYS



EAST COAST
SURVEYING
CONSULTING SURVEYORS
& LAND PLANNERS



PLANNING SUPPORTING REPORT

Proposed single dwelling

363 Melrose Road EUGENANA

April 2024

Job Number: L240423

Prepared by: Michelle Schleiger (michelle@woolcottsurveys.com.au)

Town Planner

29 April 2024 Review

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1. Introduction

1.1 Application

This report has been prepared in support of a planning permit application under Section 57 of the *Land Use Planning and Approval Act 1993* (the 'Act').

This application is to be read in conjunction with the following supporting documentation:

Document	Consultant
Building design	Tasbuilt Homes/Engineering Plus

1.2 Application Summary

The following is a summary of the application information:

Address	363 Melrose Road, Eugenana TAS 7310
Property ID	1857460
Title	129629/2
Land area	7727ha
Proposed development	Single dwelling
Planning Authority	Devonport Council
Easements/Agreements	Pipeline easement
Zone	Rural Living Zone A
General Overlays	None
Code Overlays	Bushfire Prone Areas

1.3 The Proposal

The proposal is to develop the land with a single dwelling. The proposed dwelling will have a building area of 155.4m² and will have three bedrooms; kitchen, living area, bathroom, ensuite and laundry. The dwelling will have a decked area of 44.61m² on the north elevation.

The site has an existing outbuilding.

The development will have onsite stormwater and wastewater management. The plans provided at Annexure 2 provide further detail.



Figure 1 – Aerial view of subject site (Source: LISTMap).

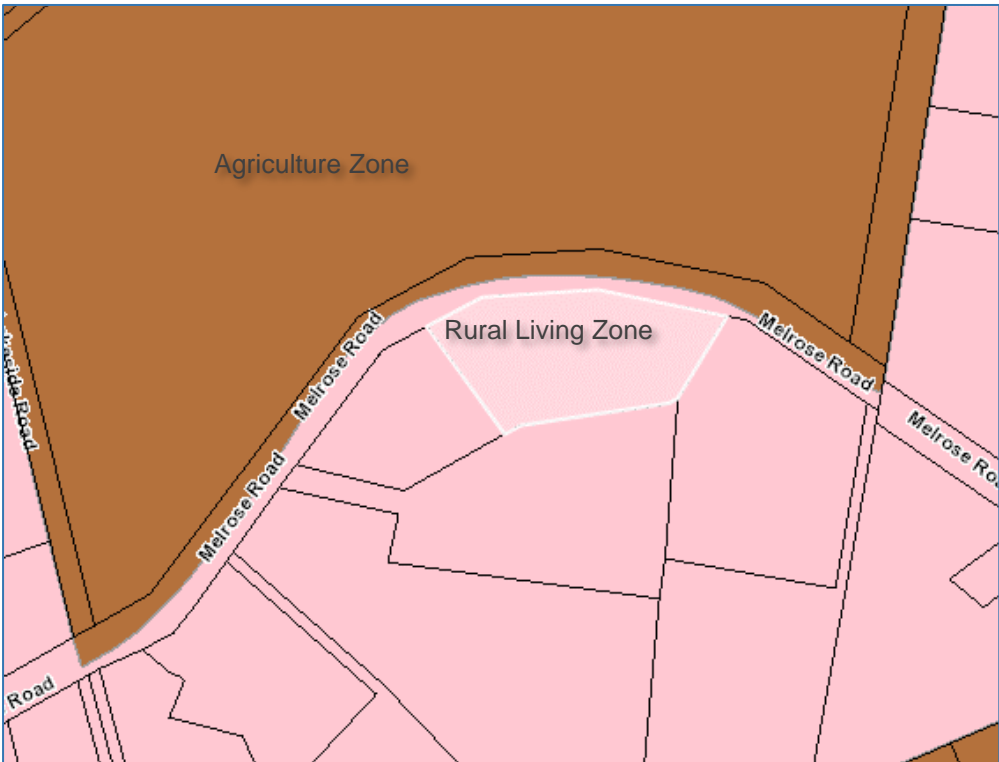


Figure 2 - Zoning of the subject site (Source: LISTMap)



Figure 3 - Overlays affecting the subject site (Source: LISTMap)

2. Planning Assessment

2.1 Planning Scheme Zone Assessment

11.0 Rural Living Zone

11.4 Development Standards for Buildings and Works

11.4.1 Site coverage

Response

A1	The acceptable solution is achieved. The site coverage equates to 326.4m ² for the proposed dwelling and outbuilding.
----	----------------------------------------------------------------------------------------------------------------------------------

11.4.2 Building height, setback and siting

Response

A1	The acceptable solution is achieved. The building height is maximum 4.3m
A2	The acceptable solution is achieved. The setback to the frontage is minimum 41m.
A3	The acceptable solution is achieved. The side boundary setback is minimum 11m.
P4	The performance criteria are addressed. The building cannot achieve a distance of 200m from the Agriculture Zone as the subject site is not dimensioned to allow this. <ul style="list-style-type: none"> a. The site is irregular in shape and has an area of 7727m². The lot is elevated from the road, and has vertical distance to farming activity (grazing). b. The proposed is similar to surrounding development in terms of separation.

- c. The adjoining properties are developed with dwellings and are in the Rural Living Zone.
- d. No attenuation measures are proposed as the uses and activities are separated by a road. The farmed land has some vegetation buffering on the roadside
The Rural Living Zone is considered a transition zone from the three core residential zones to the rural zones, providing residential use and development on large lots in rural settings¹.
The proposed is typical to the zone and sufficient separation is achieved in the context of the zones, surrounding use and expected activities. No interference or nuisances are anticipated.

2.2 Planning Scheme Code Assessment

C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

C2.5.1 Car parking numbers

Table E6.1 Parking Space Requirements (extract)

	Use: Residential	Parking Requirements
	Residential: Any Residential use in any other zone (RLZ) One space per bedroom or two spaces per three bedrooms.	
	Response	
A1	The acceptable solution is achieved. Two car parking spaces can be accommodated on the site.	

C2.6 Development Standards for Buildings and Works

All access ways and parking is as existing with no further development proposed unless required for bushfire safety requirements.

3. Conclusion

The proposed development is for the development of a single dwelling in the Rural Living Zone. The development is compliant with the provisions of the Tasmanian Planning Scheme – Devonport and a permit for development is sought accordingly.

¹ Tasmanian Planning Scheme – Rural Living Areas; Fact Sheet 6

Annexure 1 – Copy of title plan and folio text

Annexure 2 – Proposal plan



WOOLCOTT SURVEYS

Land Surveying | Town Planning | Project Management

w woolcottsurveys.com.au **e** office@woolcottsurveys.com.au

Launceston

Head office
10 Goodman Court
Invermay 7250
p (03) 6332 3760

St Helens

East Coast office
52 Cecilia Street
St Helens 7216
p (03) 6376 1972

Hobart

South office
Rear studio, 132 Davey Street
Hobart 7000
p (03) 6227 7968

PID: 1917937

MELROSE ROAD



- SIGN SIMILAR TO ABOVE PICTURE TO BE PERMANENTLY FIXED TO THE STATIC WATER SUPPLY
 - SIGN SIZE DIMENSIONS
 - MIN. 300mm x 300mm
 - LETTERING TO BE UPPERCASE AND NOT LESS THAN 100mm IN HEIGHT

LOT 2
 TITLE: 129629/2
 PID: 1857460
 AREA: 7727m²

A MODIFIED 4C ACCESS ROAD IS AN ALL-WEATHER ROAD WHICH COMPLIES WITH THE AUSTRALIAN ROAD RESEARCH BOARD "UNSEALED ROADS MANUAL - GUIDELINES TO GOOD PRACTICE", 3RD EDITION, MARCH 2009 AS A CLASSIFICATION 4C ACCESS ROAD AND THE FOLLOWING MODIFIED REQUIREMENTS:

- ALL-WEATHER CONSTRUCTION;
- LOAD CAPACITY OF AT LEAST 20 TONNES, INCLUDING FOR BRIDGES AND CULVERTS;
- MINIMUM CARRIAGEWAY WIDTH OF 4 METRES;
- MINIMUM VERTICAL CLEARANCE OF 4 METRES;
- MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;
- CROSS FALLS OF LESS THAN 3° (1:20 OR 5%);
- DIPS LESS THAN 7° (1:8 OR 12.5%) ENTRY AND EXIT ANGLE;
- CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES;
- MAXIMUM GRADIENT OF 15° (1:3.5 OR 28%) FOR SEALED ROADS, AND 10° (1:5.5 OR 18%) FOR UNSEALED ROADS; AND
- TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:
 - A TURNING CIRCLE WITH A MINIMUM INNER RADIUS OF 10 METRES
 - A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR
 - A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES L

BAL NOTES:

- FIREFIGHTING WATER SUPPLY TO BE A MIN. 10000L PER BUILDING TO BE PROTECTED. THIS VOLUME OF WATER MUST NOT BE USED FOR ANY OTHER PURPOSE INCLUDING FIRE FIGHTING SPRINKLER OR SPRAY SYSTEMS
- WATER TANK MUST BE METAL, CONCRETE OR LAGGED BY NON-COMBUSTIBLE MATERIALS AND ALL ABOVE GROUND PIPES & FITTINGS TO BE MADE FROM NON-RUSTING, NON-COMBUSTIBLE AND NON-DEFORMING MATERIALS
- TANK TO BE LOCATED A MINIMUM 6.0m FROM DWELLING AND WITHIN 3.0m OF A HARDSTAND AREA - WATER TANK OR CONNECTION POINT TO BE FITTED WITH A MALE 64mm 5v THREAD COUPLING WITH MINIMUM DELIVERY OF 270L PER MINUTE

ISSUED FOR APPROVAL

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Client: **J. FILZ**
 Project: **PROPOSED DWELLING**
 Address: **363 MELROSE ROAD, EUGENANA**

Mob 0417 362 783 or 0417 545 813
 jack@engineeringplus.com.au
 trin@engineeringplus.com.au



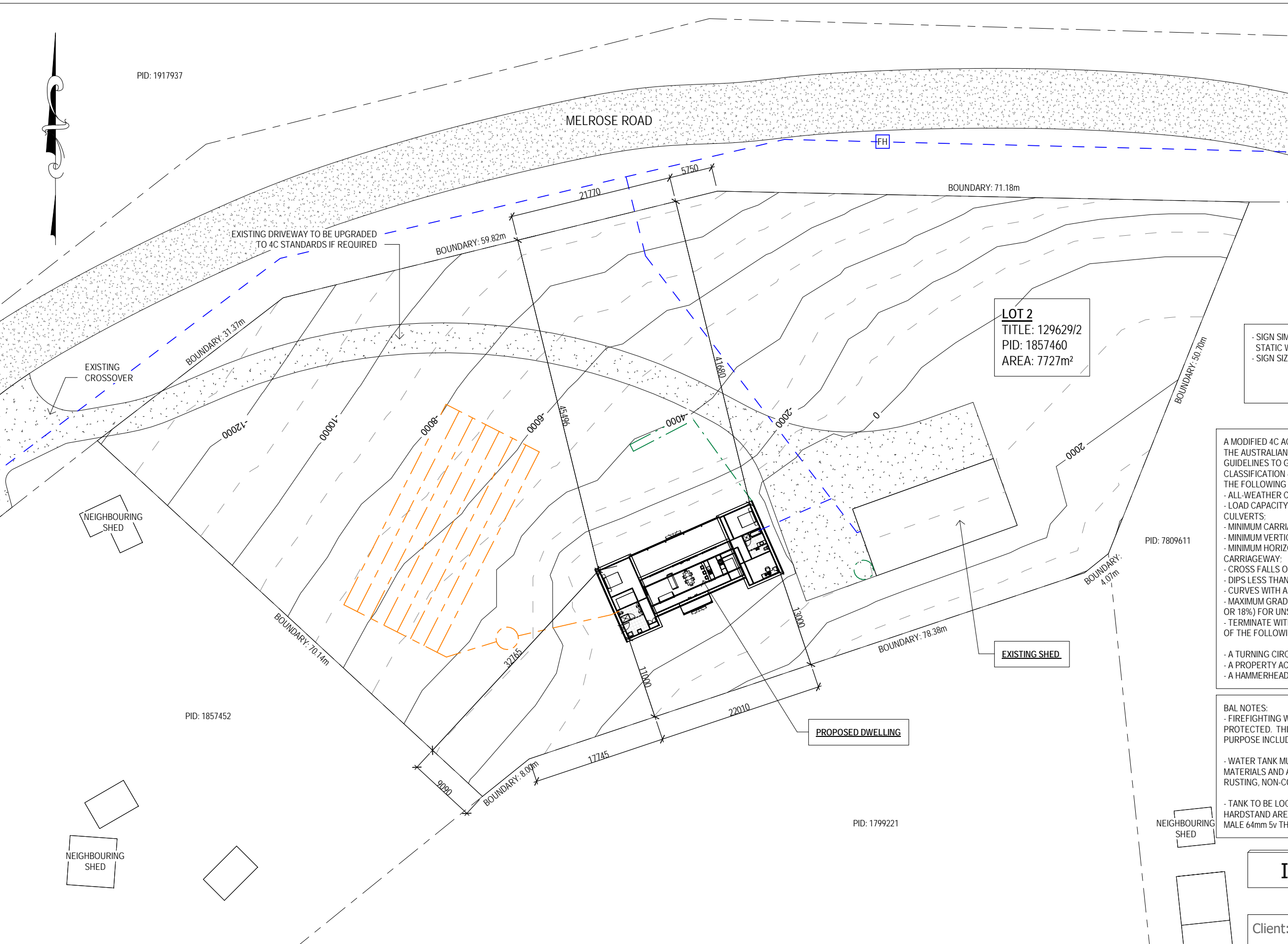
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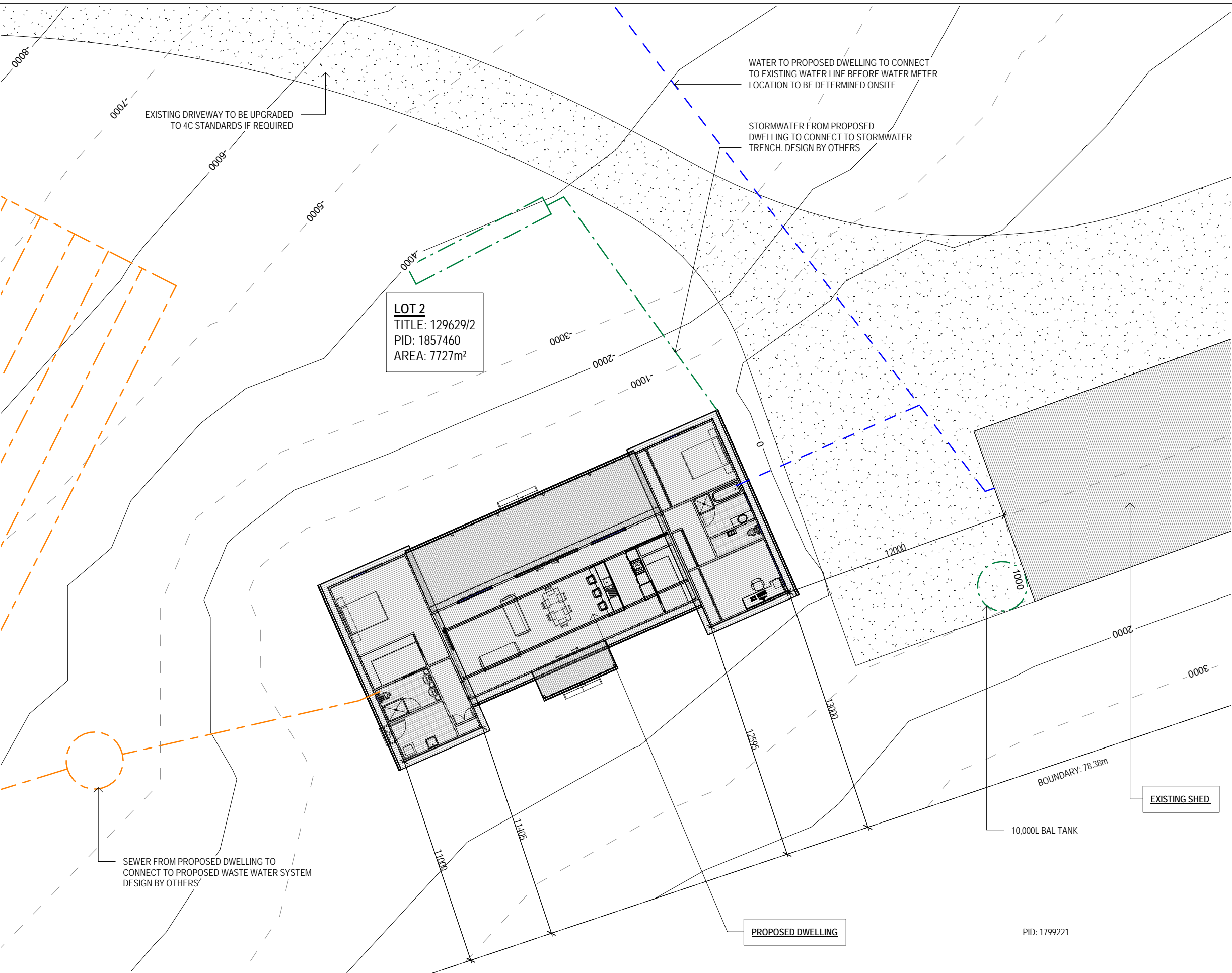
Date Drawn: 10.04.24
 Drawn: O. Jones
 Checked: O. Jones
 Approved: J. Pfeiffer
 Scale: As Shown @ A3

A	ISSUED FOR APPROVAL	11.04.24	O.J
Rev:	Amendment:	Date:	Int:

Accredited Building Designer
 Designer Name: **J. Pfeiffer**
 Accreditation No: **CC2211T**

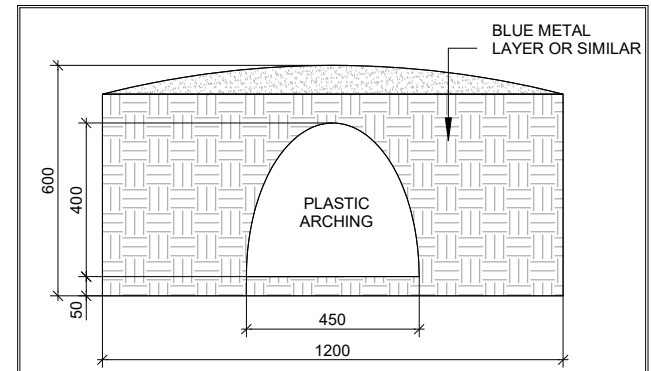
LOCALITY PLAN
 SCALE 1:500





LEGEND	
	SEWER
	WATER
	STORMWATER

DRAINAGE
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.



TYPICAL STORMWATER DISPOSAL TRENCH
 SCALE 1 : 500

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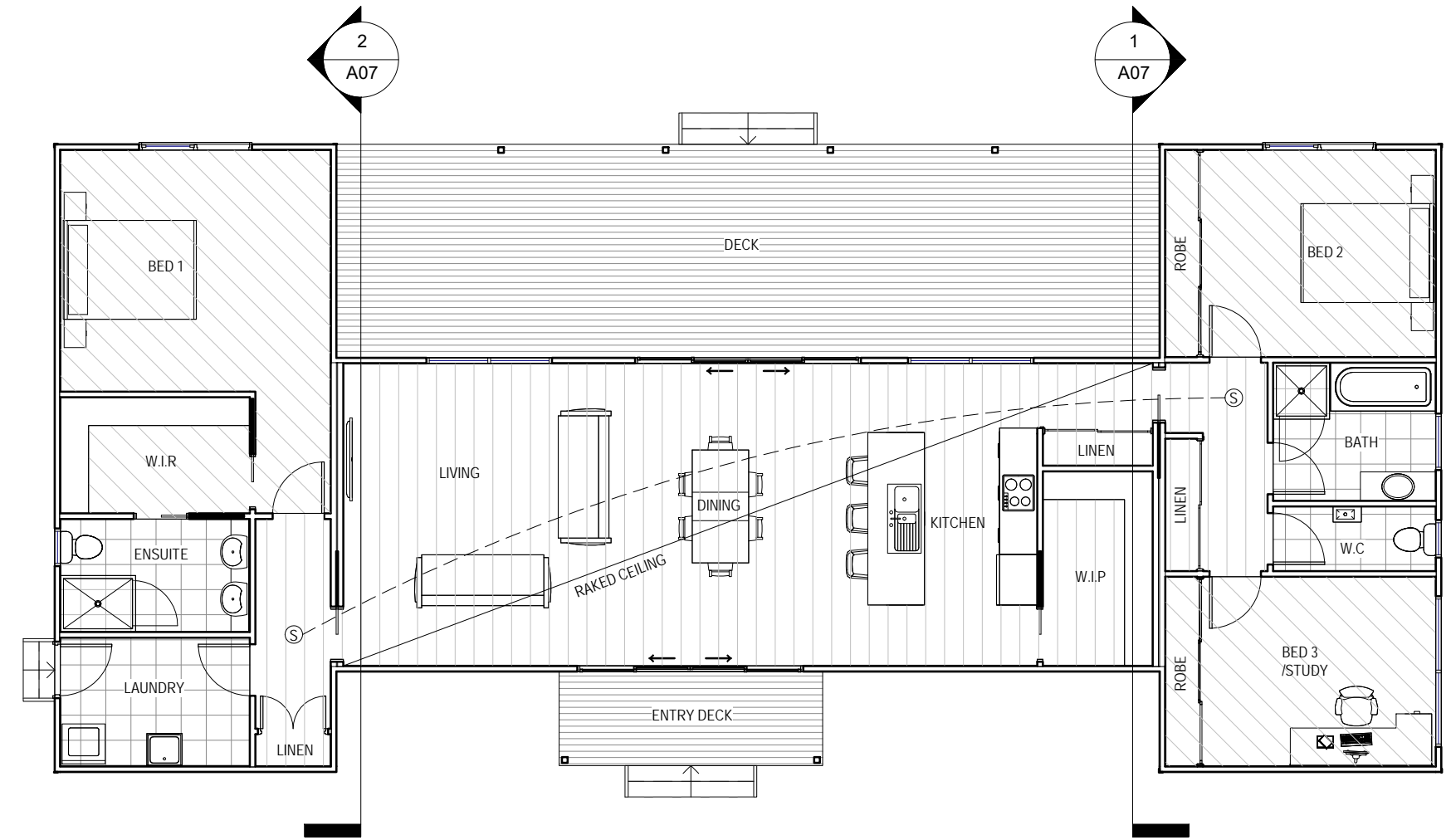
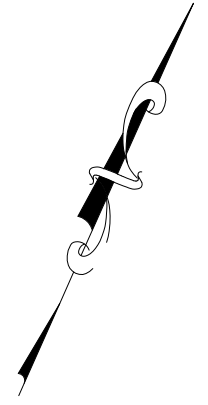
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 jack@engineeringplus.com.au
 trin@engineeringplus.com.au

SITE PLAN
 SCALE 1 : 200

				Date Drawn: 10.04.24
				Drawn: O. Jones
				Checked: O. Jones
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				Designer Name: J.Pfeiffer
				Accreditation No: CC2211T
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Accredited Building Designer
 Designer Name: J.Pfeiffer
 Accreditation No: CC2211T

Drawing No: 1132024 A02 / A08
 Rev: A



FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL TIMBER FLOORING

FLOOR PLAN
 SCALE 1 : 100

SMOKE ALARMS
 PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART H3D6 - ACBC PART 9.5

(S) - DENOTES INTERCONNECTED SMOKE DETECTORS

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 Mob 0417 362 783 or 0417 545 813
 jack@engineeringplus.com.au
 trin@engineeringplus.com.au

Area Schedule (Gross Building)		
Name	Area	Area (sq)
PROPOSED DWELLING	155.40 m ²	16.73
DECK	44.61 m ²	4.80
LANDING	6.30 m ²	0.68
	206.31 m²	22.21

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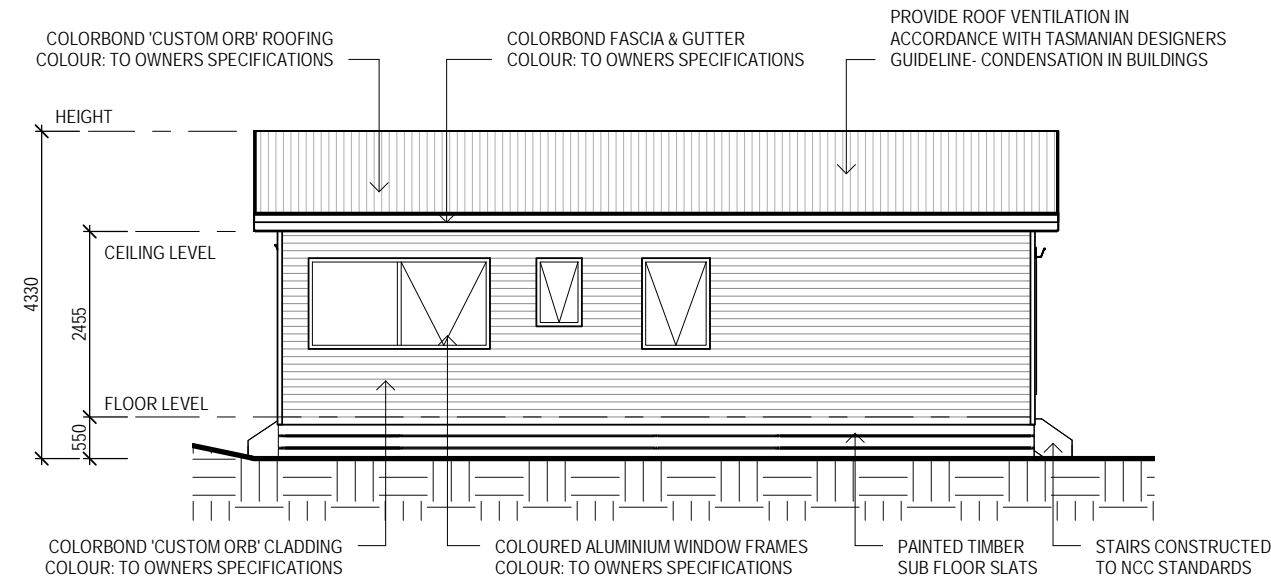
Drawing No: **1132024 A04 / A08** Rev **A**

SUB FLOOR VENTILATION. BCA VOLUME 2 PART 3.4.1.

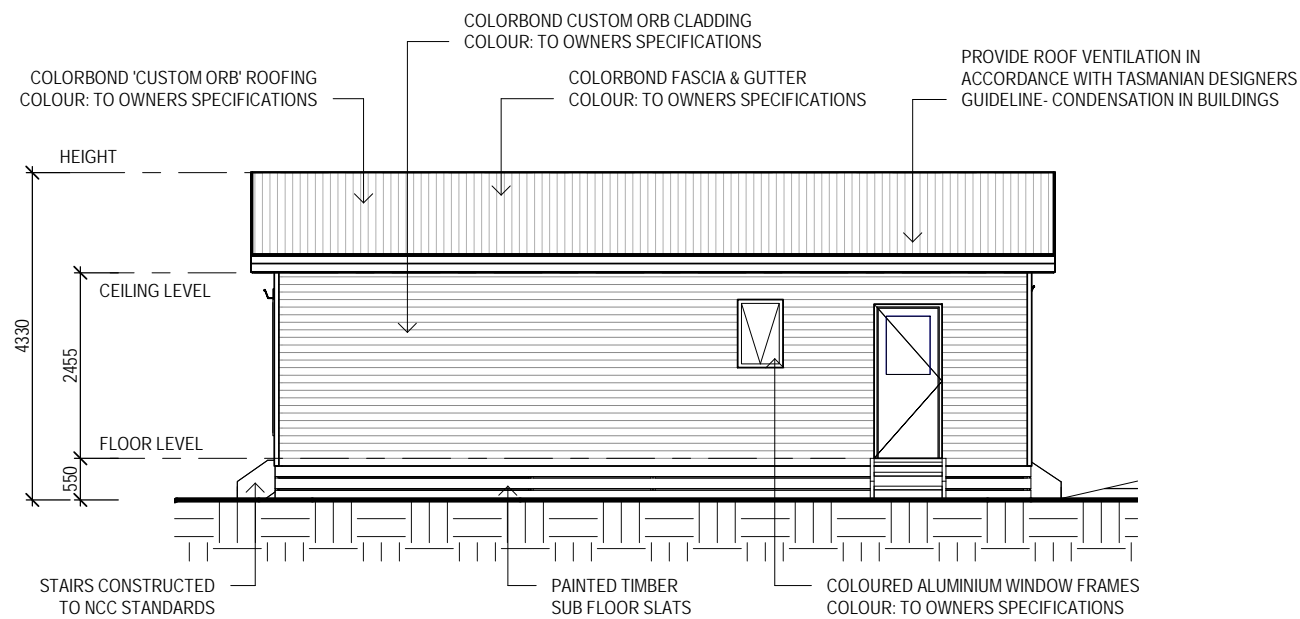
- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM² PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
 PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS
 CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.



EAST ELEVATION
 SCALE 1:100



WEST ELEVATION
 SCALE 1:100

STAIR CONSTRUCTION. BCA VOLUME 2 PART 3.9

- TREADS: 240 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO ASI684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 240x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

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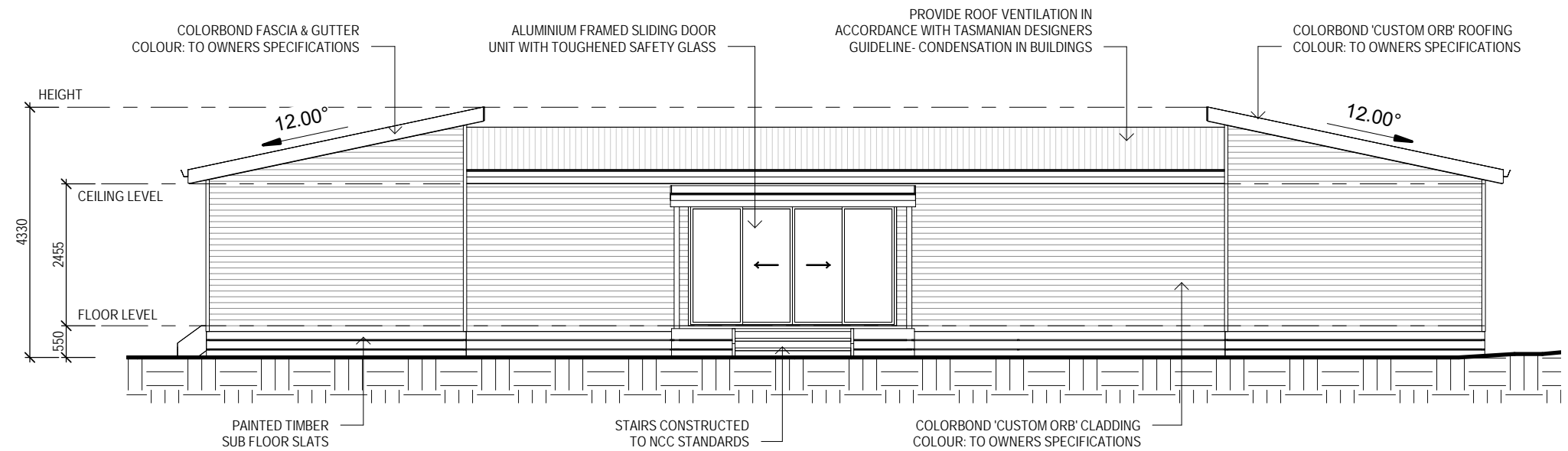
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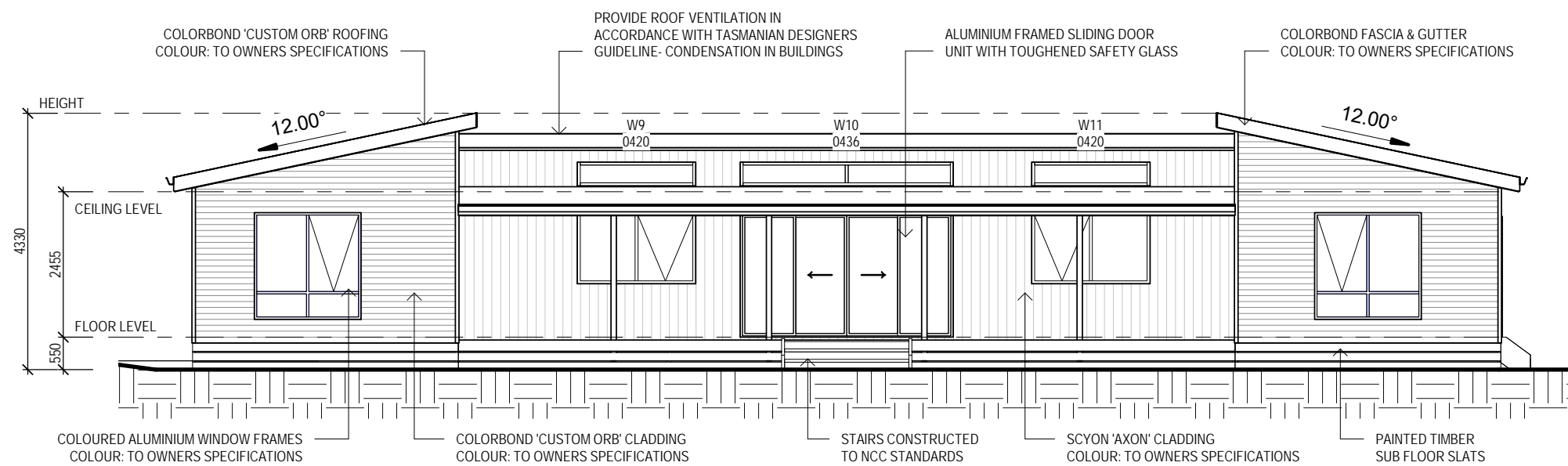
Drawing No: 1132024 A05 / A08 Rev A

SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS



SOUTH ELEVATION
SCALE 1 : 100



NORTH ELEVATION
SCALE 1 : 100

SELECTED ALUMINIUM FRAMED WINDOWS - BCA VOLUME 2 PART 3.6

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288

ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

- WIND CLASSIFICATION AS4055 WIND DESIGN: N2 50M/S
- TERRAIN CATEGORY: T1 (NO SHIELDING)
- SERVICEABILITY DESIGN & WIND PRESSURE: 1000
- WATER RESISTANCE: 150

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				Drawing No: 1132024 A06 / A08
				Rev: A

INSULATION
PROVIDE THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING

CEILING
R3.5 "ROCKWOOL" BULK INSULATION OR R3.5 GLASSWOOL BATTS BETWEEN CEILING JOISTS UNDER ROOF COMPOSITE FOIL & R1.5 BLANKET

EXTERNAL WALLS
"TYVEK" HOUSE WRAP (OR SIMILAR) TO EXTERNAL FACE R2.5 GLASSWOOL BATTS BETWEEN STUDS

SUB FLOOR
85mm R2.5 POLYSTYRENE BETWEEN JOISTS

NOTE: CERTIFICATE OF COMPLIANCE TO BE PROVIDED BY THE PERSON ENGAGED TO INSTALL INSULATION TO WALLS AND CEILING AND COPY OF SAME TO BE FORWARDED TO THE BUILDING SURVEYOR.

WALL FRAMING
ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF AS1684 [RESIDENTIAL TIMBER FRAMED CONSTRUCTION] & THE BCA CODE PART 3.4.3 WALL FRAMING TO BE MGP10 RADIATA PINE. COMMON STUDS - 90x35 @ 450 CRS. NOGGINGS - 90x35 OPEN STUDS - 90x35 TOP & BOTTOM PLATES - 90x35 BRACING TO AS 1684 & NCC CODE

SLABS & FOOTINGS
ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY COUNCIL BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE. REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS. REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

EXTERNAL CLADDING
EXTERNAL WALL CLADDING REFER ELEVATIONS
SUB FLOOR REFER ELEVATIONS

WINDOWS
COLOURED ALUMINIUM WINDOW FRAMES. AWNING & HORIZONTAL SLIDING SASHES, REVEALS AND TRIMS TO OWNERS SPECIFICATIONS ALL FIXINGS AND FLASHING TO MANUFACTURERS RECOMMENDATIONS REFER AS 1288 & CURRENT NCC STANDARDS.

PLASTER
LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING. SQUARE SET MOULDING TO CEILING JUNCTION WITH WALL. PLASTERBOARD LININGS TO WET AREAS TO BE "VILLABOARD", W.R. BOARD OR OTHER APPROVED WATERPROOF LINING

WET AREAS
WATERPROOFING OF WET AREAS WITHIN THE DWELLING IE: SHOWERS, BATHROOMS WATERPROOFED IN ACCORDANCE WITH BCA PART 3.8.1.1 TO 3.8.1.27 INCLUSIVE AND FIG NOS 3.8.1.5 TO 3.8.1.16 INCLUSIVE. AND TABLE 3.8.1.1

EAVES
OVERHANG ROOFS 300mm WHERE ROOFS OVERHANG LINE WITH FLEX BOARD SHEETING IN ACCORDANCE WITH AS 1684.2 7.2.24

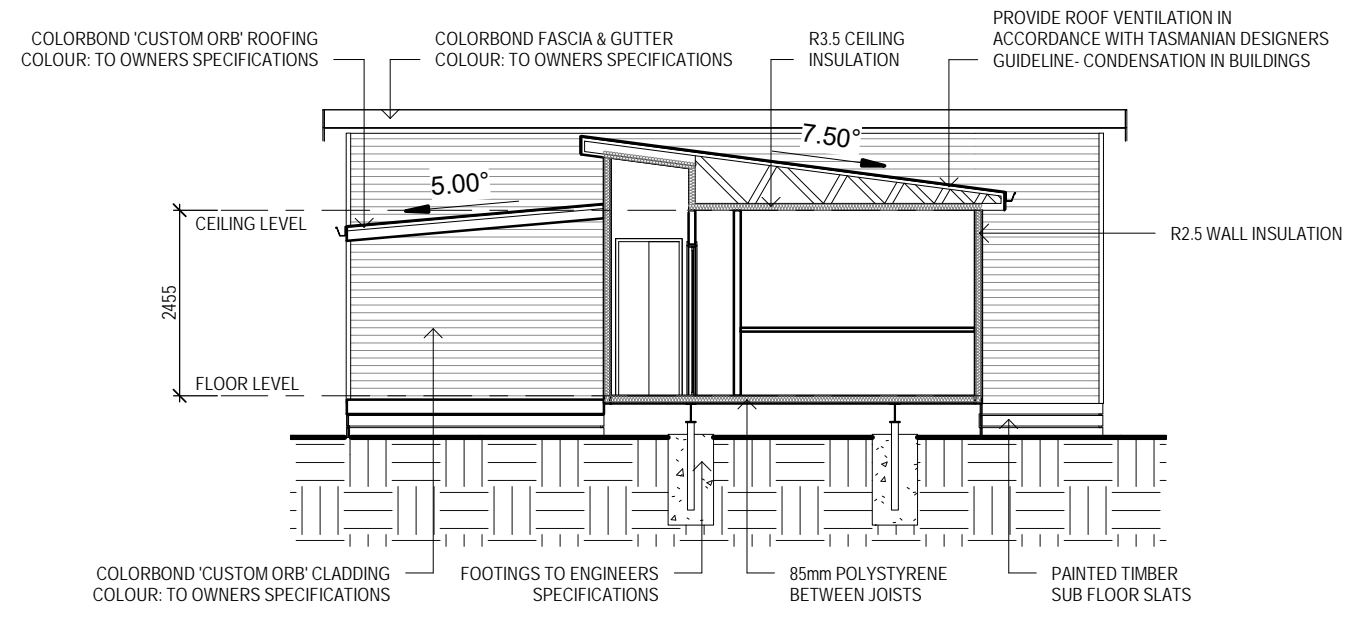
FASCIA
COLORBOND PREFORMED METAL FASCIA AND GUTTER INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. COLOUR TO OWNERS SPECIFICATIONS.

ROOF FRAMING
COLORBOND CUSTOM ORB, COLOUR TO OWNERS SPECIFICATIONS APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ALL TRUSS FIXING DETAILS TO BE ADHERED TO. FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP CONNECTORS. PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX ANGLE OF 30° TO RIDGE. ANCHOR STRAP BRACING WITH 6 No 30x1.5 NAILS INTO DOUBLE TOP PLATE. WIND BRACING TO COMPLY WITH NCC

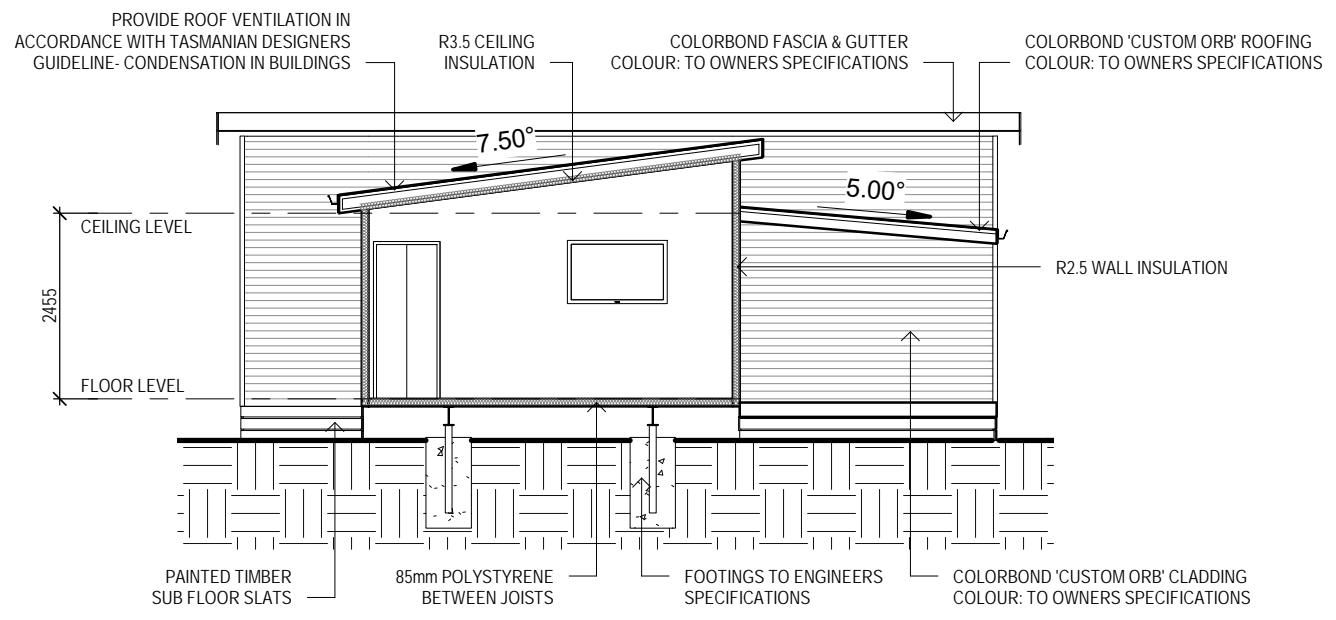
CAPPINGS & FLASHINGS
ALLOW FOR PREFORMED CAPPINGS & FLASHINGS NECESSARY TO ENSURE THE INTEGRITY OF THE ROOF STRUCTURE AGAINST WATER PENETRATION. INSTALL FLASHINGS TO ROOF VENTS, FLUES ETC. ALTERNATIVELY USE "DEKTITE" OR SIMILAR FITTINGS TO ROOF PENETRATIONS

GUTTERS
INSTALL SELECTED COLORBOND QUAD GUTTERS OR AS NOMINATED BY THE OWNER, LAP GUTTERS 75MM IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT. VALLEY GUTTERS TO BE 450 WIDE COLORBOND STEEL TO MATCH ROOF. LAP 150MM UNDER ROOF CLADDING AND TURN UP ON BOTH SIDES. LAP 150MM IN DIRECTION OF FLOW

DOWNPIPES
DOWNPIPES TO BE DN90 PVC PAINTED TO MATCH GUTTERING. FIX WITH WALL BRACKETS @ 1200CC BEGINNING AT DOWNPIPE ELBOW. MAXIMUM CENTRES FOR GUTTERS TO BE 12000



Section 1
SCALE 1:100



Section 2
SCALE 1:100

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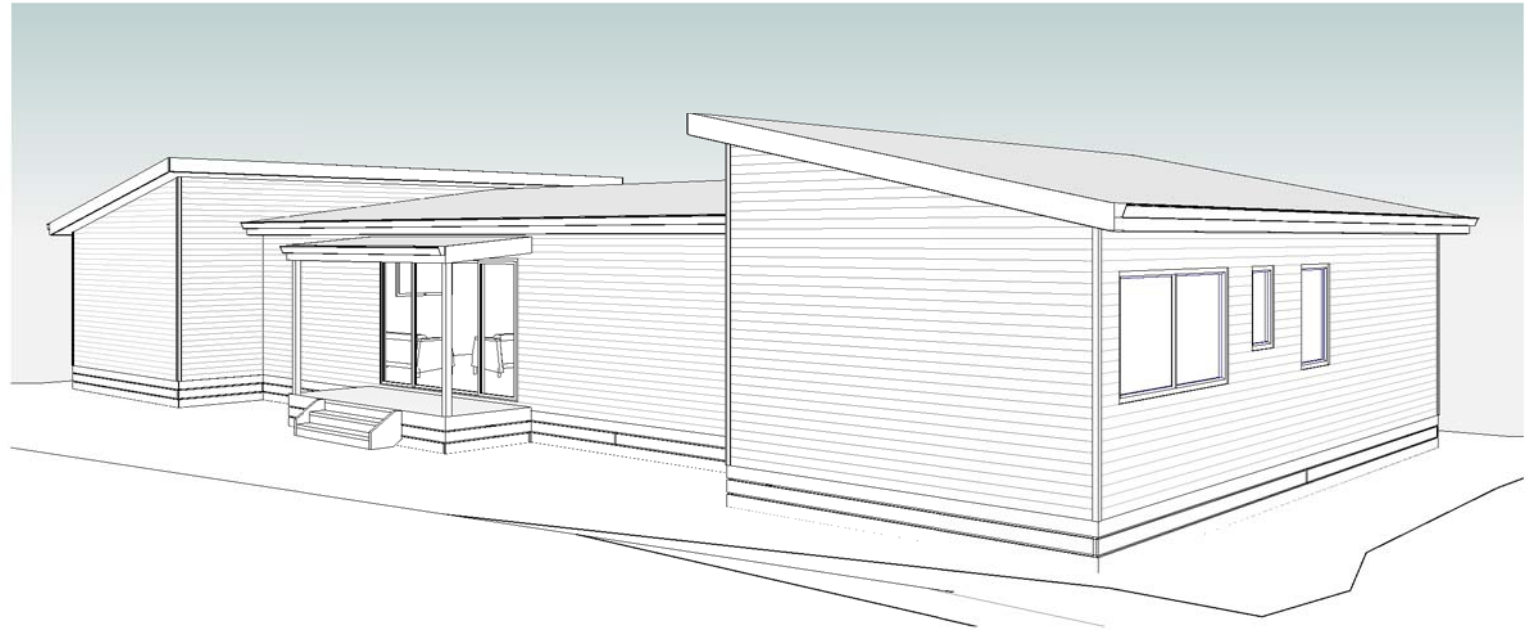
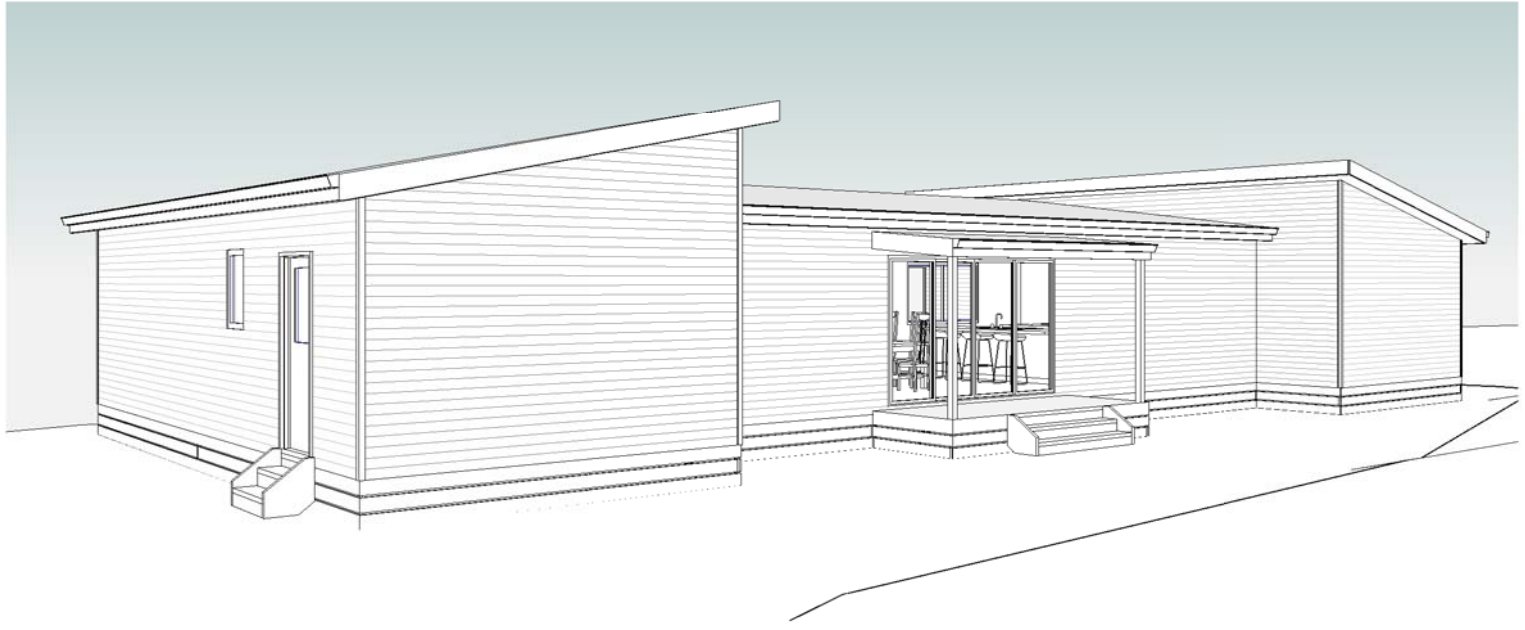
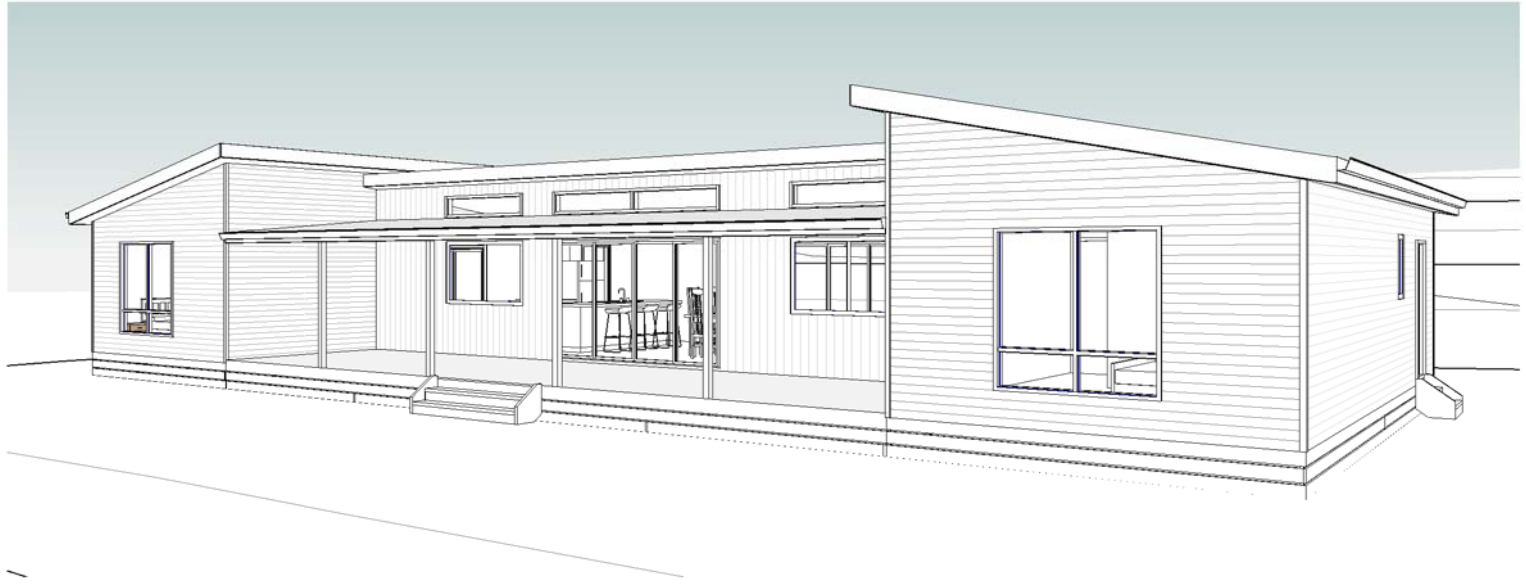
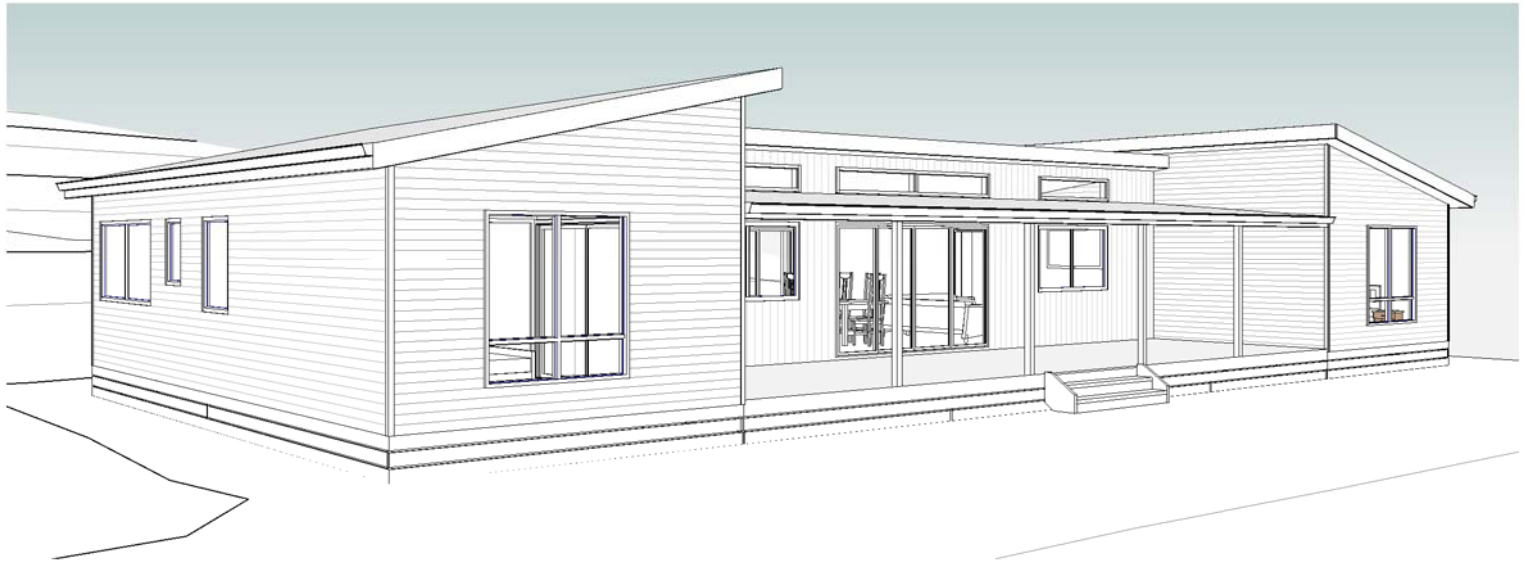
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Drawing No: **1132024 A08 / A08** Rev **A**