



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2024.0028
Proposed Use or Development:	Storage
Address of the Land:	12 Loone Lane, Spreyton
Date of Notice:	20/04/2024

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranapple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **06/05/2024**;
- be in writing; and
- addressed to the General Manager, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - council@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



PA2024.0028 - 12 Loone Lane Spreyton

This map is made available for the purpose of providing access to Devonport City Council Information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.

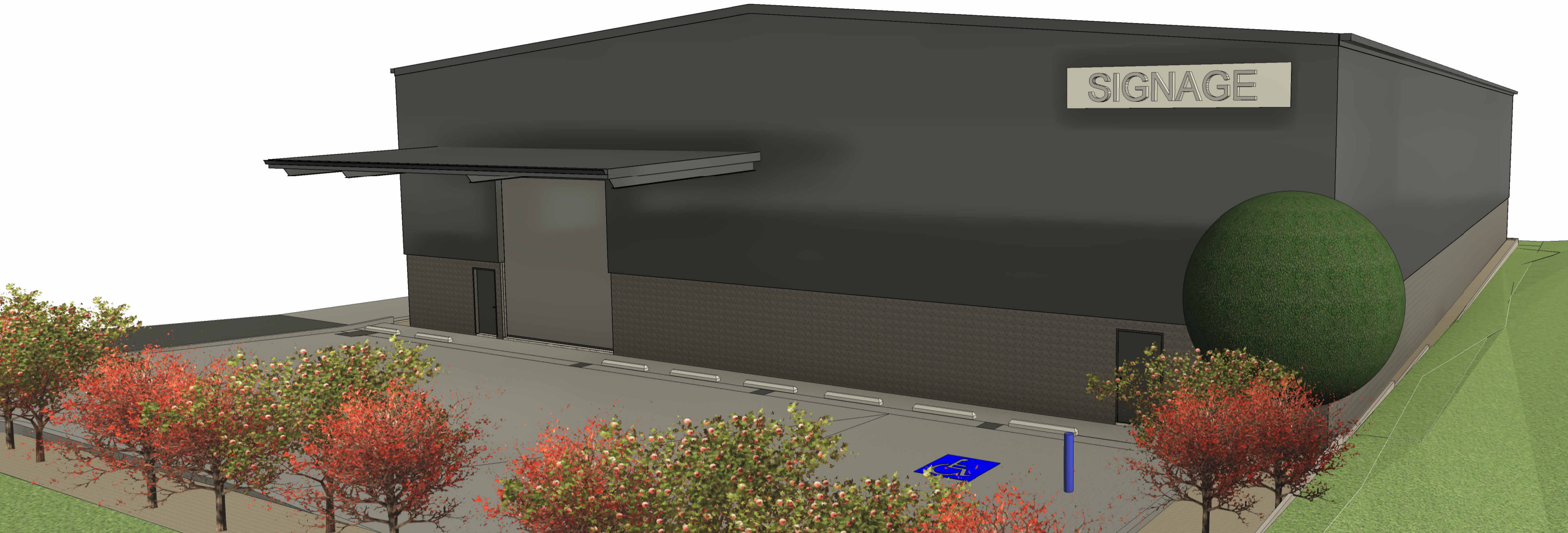
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Printed: 18-04-2024 10:40:10



**Devonport
City Council**

DESIGNERS IMPRESSION



DESIGNERS IMPRESSION



PLANNING SCHEME DATA	
LOCAL AUTHORITY:	DEVONPORT LOCAL PROVISIONS SCHEDULE
LAND TITLE REFERENCE:	SP 161024 FOLIO 4
PROPERTY IDENTIFICATION (PID):	3102889
PLANNING ZONE:	18.0 LIGHT INDUSTRIAL
PLANNING CODES/SAPS	OVERLAY
NO PLANNING CODE	NO OVERLAY

CONSTRUCTION DATA	
NCC BUILDING CLASSIFICATION:	7
DESIGN WIND SPEED:	N3 (TBC)
SOIL CLASSIFICATION:	H1
CLIMATE ZONE:	7
BUSHFIRE ATTACK LEVEL:	?
ALPINE AREA (900M ABOVE AHD):	N/A
CORROSION ENVIRONMENT:	C3
OTHER KNOWN SITE HAZARDS:	NO

AREA ANALYSIS	
AREA NAME	SIZE
SITE AREA:	2000m ²
BUILDING FOOTPRINT	1408m ²
WAREHOUSE (NET):	1354m ²
STORE & WC	31.70m ²

CONSULTANTS & AUTHORITIES		
THE FOLLOWING REPORTS, DOCUMENTS AND APPROVALS FORM THE OVERALL SCOPE OF WORK TO CONSTRUCT THIS PROJECT. THEY MUST BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS LISTED BELOW.		
DOCUMENT / REPORT	CONSULTANT / AUTHORITY	DOCUMENT ID
ARCHITECTURAL DESIGN	BISON CONSTRUCTIONS	dd5690
SITE CLASSIFICATION	TBC	
LAND SURVEY	LAND SURVEYING SOLUTIONS	
STRUCTURAL ENGINEERING	TBC	

ARCHITECTURAL DRAWING INDEX		
SHEET	SHEET NAME	CURRENT REVISION
A01	COVER SHEET	
A02	SITE PLAN	
A03	FLOOR PLAN	
A04	ELEVATIONS 1	
A05	ELEVATIONS 2	
A06	SET OUT PLAN	
A07	CONCEPTUAL DRAINAGE PLAN	
A08	VEHICLE MANOEUVRE	
A09	LANDSCAPE AND LIGHTING PLAN	
A10	ROOF PLAN	

GENERAL DRAWING SET NOTES	
GENERAL NOTES FOR ALL SHEETS	
ALL CONSTRUCTION WORKS MUST BE IN ACCORDANCE WITH THE FOLLOWING PUBLICATIONS:	
<ul style="list-style-type: none">BUILDING ACT 2016,BUILDING REGULATIONS 2016,NATIONAL CONSTRUCTION CODE (VOLUMES 1-3),RELEVANT AUSTRALIAN STANDARDS,WORK HEALTH & SAFETY ACT 2012,PLANNING APPROVAL FOR THIS PROJECT,BUILDING APPROVAL FOR THIS PROJECT,GENERAL NOTES SHEET OF THIS DRAWING SET.	
DO NOT SCALE OFF THESE DRAWINGS. USE FIGURED DIMENSIONS INSTEAD. IF THERE ARE INSUFFICIENT MEASUREMENTS OR INFORMATION SHOWN ON THE DRAWINGS, CONTACT THE BUILDING DESIGNER FOR CLARIFICATION.	
CHECK ALL DIMENSIONS ON SITE PRIOR TO SET OUT OR FABRICATION OF COMPONENTS / MATERIALS. CONTACT THE BUILDING DESIGNER IF THERE ARE DISCREPANCIES.	
THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL SHEETS AND CONSULTANTS REPORTS LISTED ON THIS SHEET.	
ALL DIMENSIONS SHOWN ARE MILLIMETERS UNLESS OTHERWISE NOTED.	
THESE DRAWINGS ARE COLOUR CODED, THEREFORE MUST BE PRINTED IN COLOUR. IF NOT, DO NOT USE.	
COLOUR SCHEME AND FIXTURE SELECTIONS SHOWN IN THIS PLAN SET TO BE CHECKED WITH THE CLIENT / OWNER PRIOR TO ORDERING MATERIALS.	
BUILDER TO ENSURE A FULLY WORKING SITE SAFETY MANAGEMENT PLAN HAS BEEN ADOPTED TO MANAGE SAFETY, ENVIRONMENTAL, AND QUALITY ASSURANCE ON THE CONSTRUCTION SITE FOR THE DURATION OF THIS PROJECT.	



Head Office: 34835 Tasman Highway Scottsdale Tas 7260

client/owner:
COODABEENS HOLDINGS PTY LTD
project address:
12 LOONE LANE, SPREYTON, TAS 7310

project name:
WAREHOUSE
project No:
5690

initial issue date:
07/03/2023

sheet name:
COVER SHEET
issued for:
PRELIMINARY PLANNING

approved: AG
drafter: AG

designer:
Designer
CBOS licence #:

A01 /
revision No: sheet size:
A2

P 03 6352 4449 | E build@bisonent.com.au | W bisonconstructions.com.au | ABN: 39 618 278 265

SITE FEATURES LEGEND

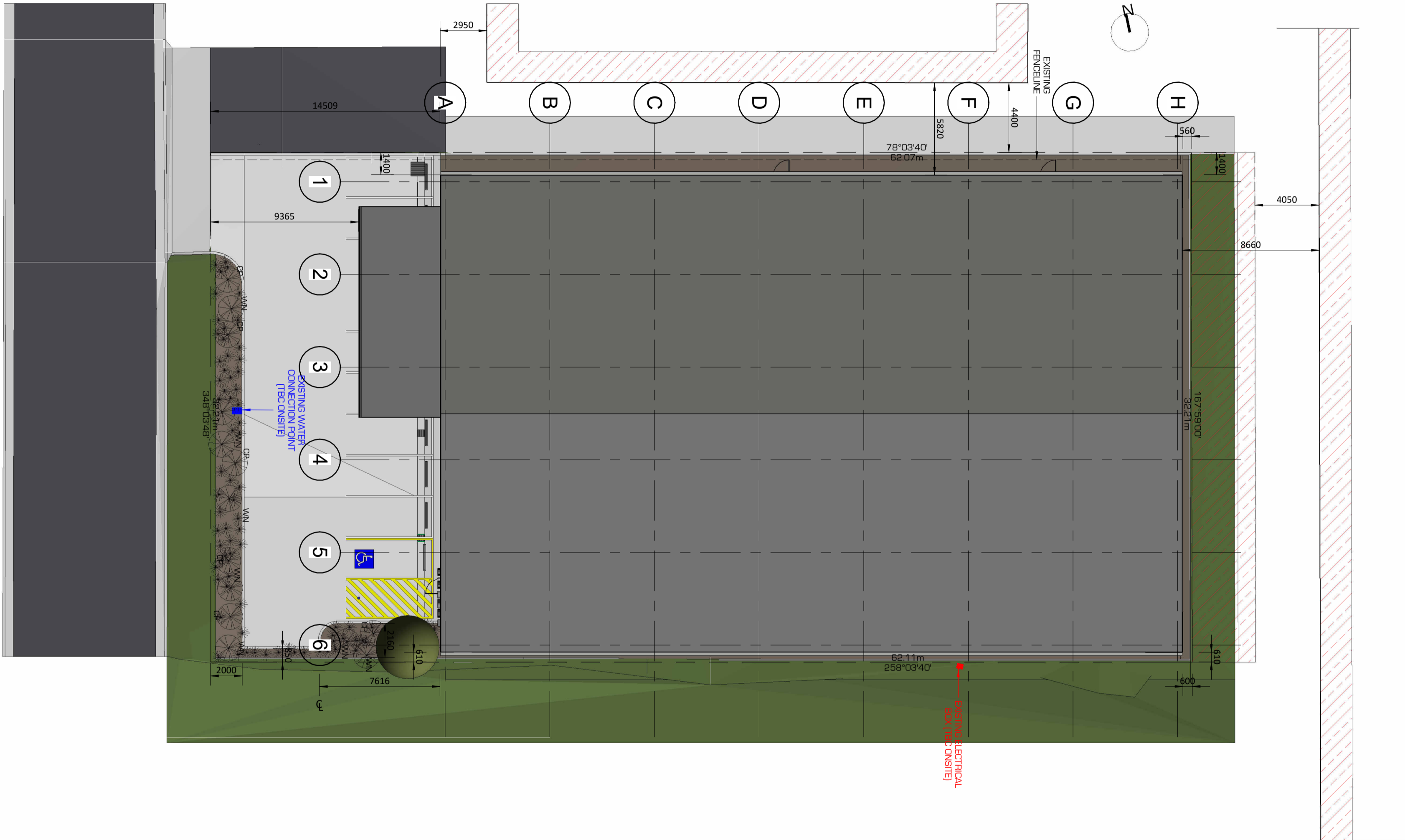
MARK	COMPONENT	DESCRIPTION
---	PROPERTY BOUNDARY	
---	PLANNING SETBACK (ENVELOPE)	
●	SITE DATUM	
///	DRAINAGE EASEMENT	
CP1-CP5 ACP	STANDARD CAR PARK DISABLED (ACCESS) CAR PARK	

AREA ANALYSIS

AREA NAME	SIZE
SITE	2000m ²
BUILDING AREA	1272.5m ²
CAR PARKING	394m ²
LANDSCAPING	63m ²
GRAVEL PATH	89m ²

SITE NOTES

1. CIVIL DETAILS, DRAINAGE DETAILS AND LEVELS ARE DIAGRAMMATIC ONLY. REFER TO PDA PLAN 51412MW DRAWING SET WHICH TAKES PRECEDENCE.
2. LANDSCAPING SHOWN IS DIAGRAMMATIC ONLY. REFER TO THE APPROVED D.A. FOR DETAILS.
3. ALL PLUMBING AND DRAINAGE WORK TO BE IN ACCORDANCE WITH THE AS 3500 SUITE OF STANDARDS.



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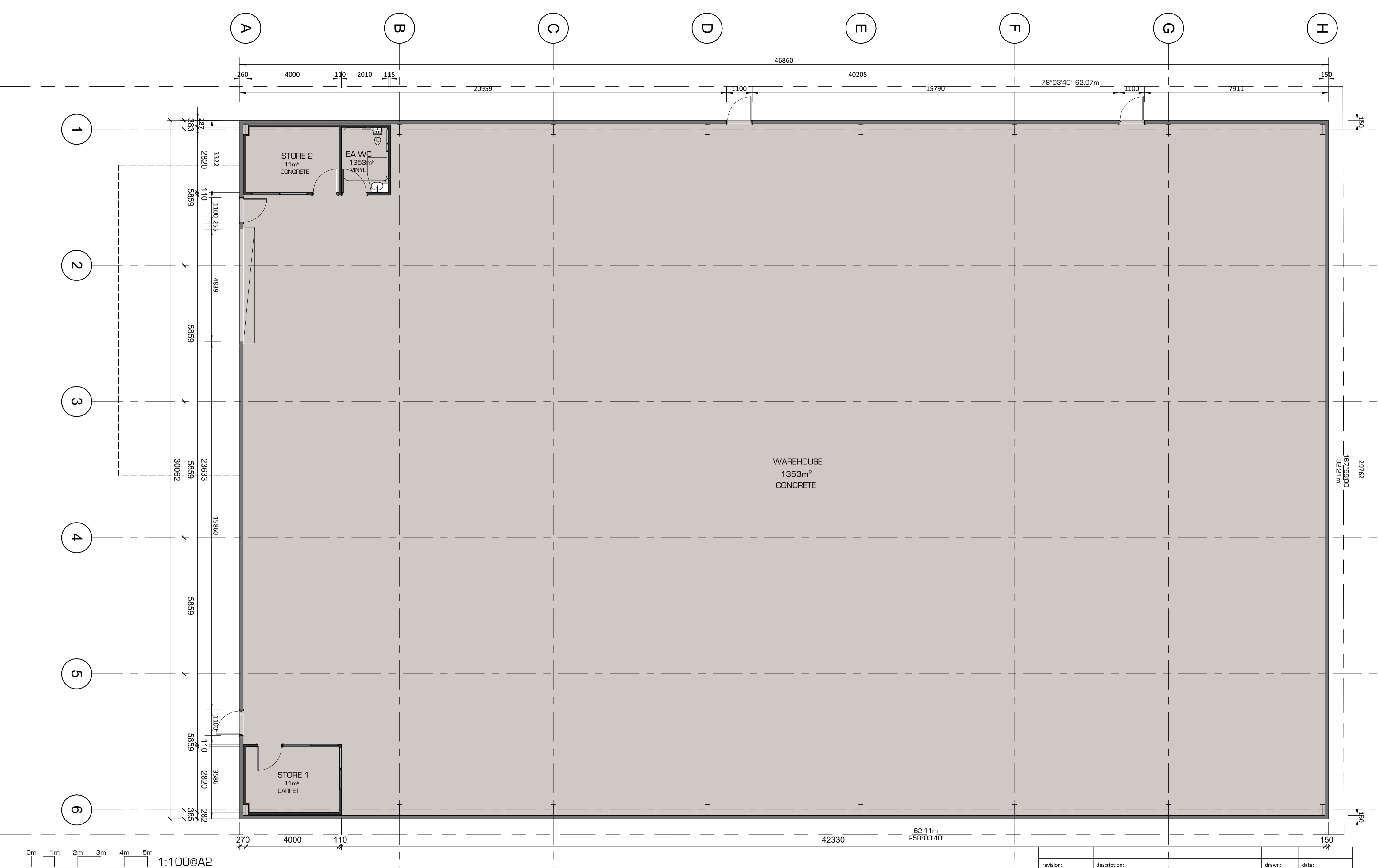
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SITE PLAN
issued for:
PRELIMINARY PLANNING

approved: drafter:
AuthorAuthor

designer:
Designer
CBOS licence #:

A02 /
revision No: sheet size:
A2

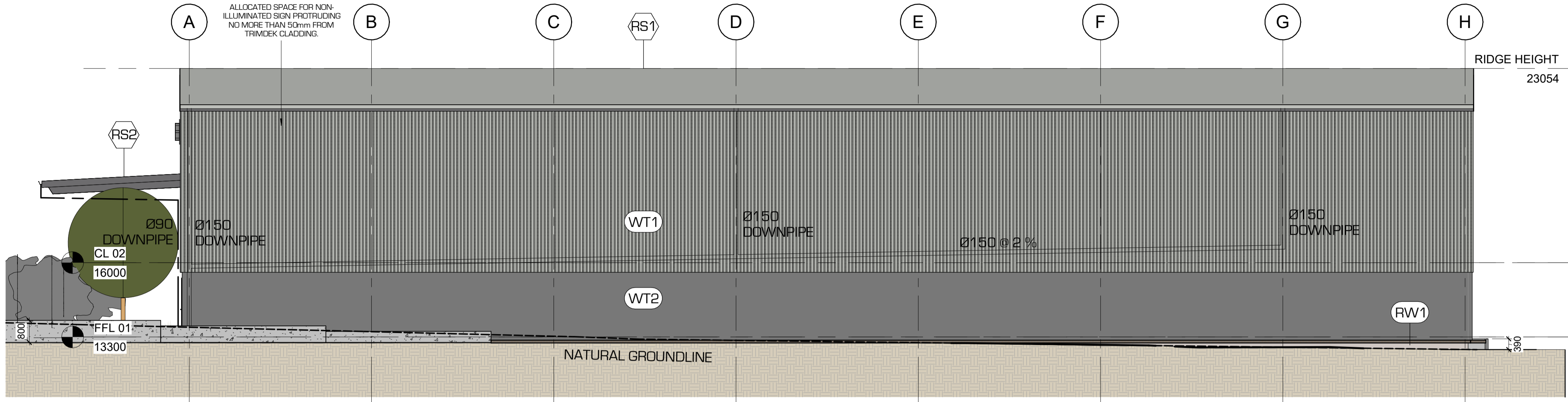
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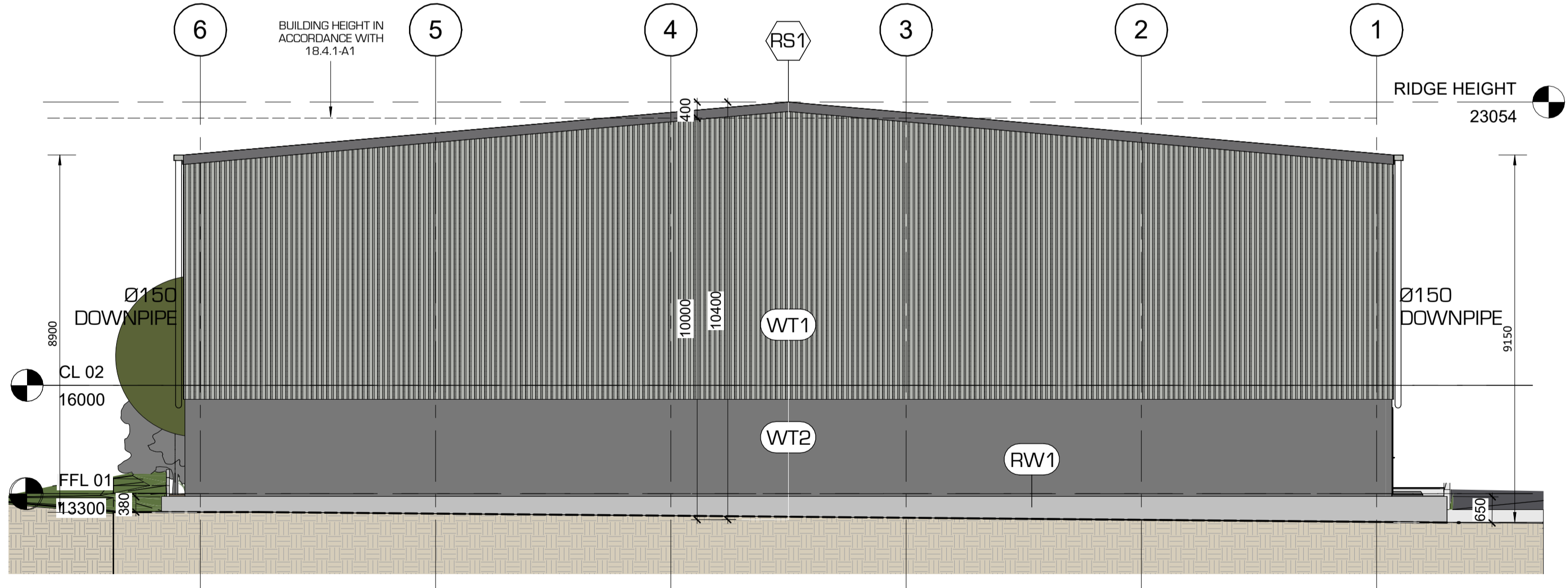
Head Office: 34835 Tasman Highway Scottsdale Tas 7260

client/owner: COODABEENS HOLDINGS PTY LTD		project name: WAREHOUSE		sheet name: FLOOR PLAN		designer: Designer		A03 /	
project address: 12 LOONE LANE, SPREYTON, TAS 7310		project No: 5690		initial issue date: 07/03/2023		issued for: PRELIMINARY PLANNING		approved: drafter: AuthorAuthor	
						CBOS licence #:		revision No: sheet size: A2	

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South
1 : 100



East
1 : 100

ELEVATIONS LEGEND		
MARK	COMPONENT	MODEL / DESCRIPTION
(D2)	DOOR SYMBOL	ALL DOORS BASALT FINISH
W?	WINDOW SYMBOL	ALL WINDOWS BASALT COLORBONDED ALUMINIUM
(WT1)	WALL SYMBOL	0.42 BMT C.BOND SHALE GREY TRIMDEK
(WT2)	WALL SYMBOL	150mm PRECAST CONCRETE PANEL
(RW1)	RETAINING WALL SYMBOL	PROPRIETARY CONCRETE SLEEPER RETAINING WALL SYSTEM
(RS1)	ROOF SHEETING	5° PITCH TO 0.42 BMT COLORBOND SHALE GREY TRIMDEK, BASALT FASCIA AND GUTTER
(RS2)	ROOF SHEETING	3° PITCH TO 0.42 BMT COLORBOND SHALE GREY TRIMDEK, BASALT FASCIA AND GUTTER

0m 1m 2m 3m 4m 5m 1:100@A2



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12 LOONE LANE, SPREYTON, TAS 7310

project name:
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07/03/2023

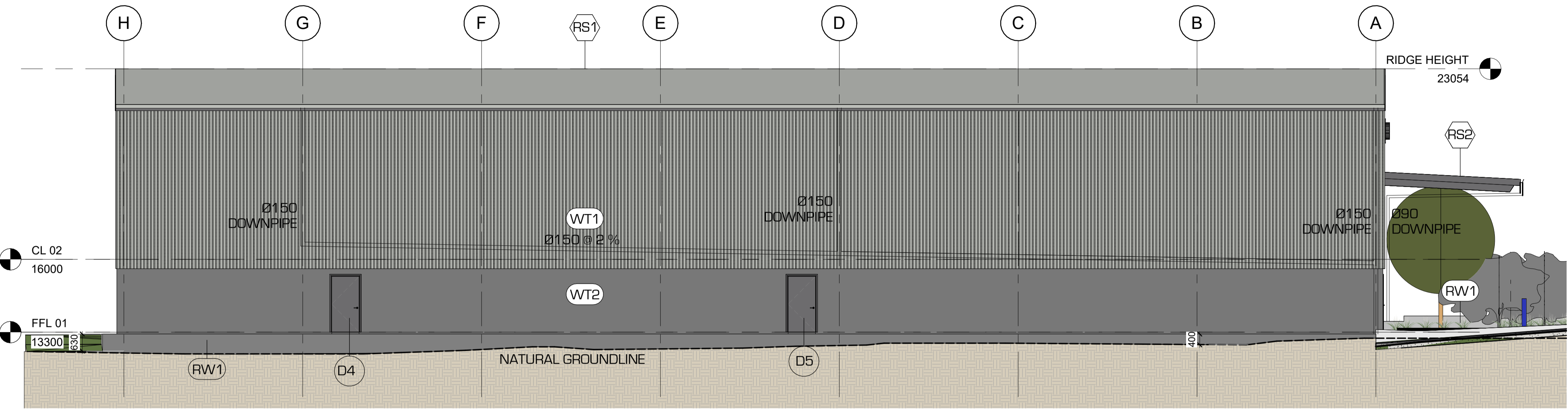
sheet name:
ELEVATIONS 1
issued for:
PRELIMINARY PLANNING

approved: Author
drafter: Author

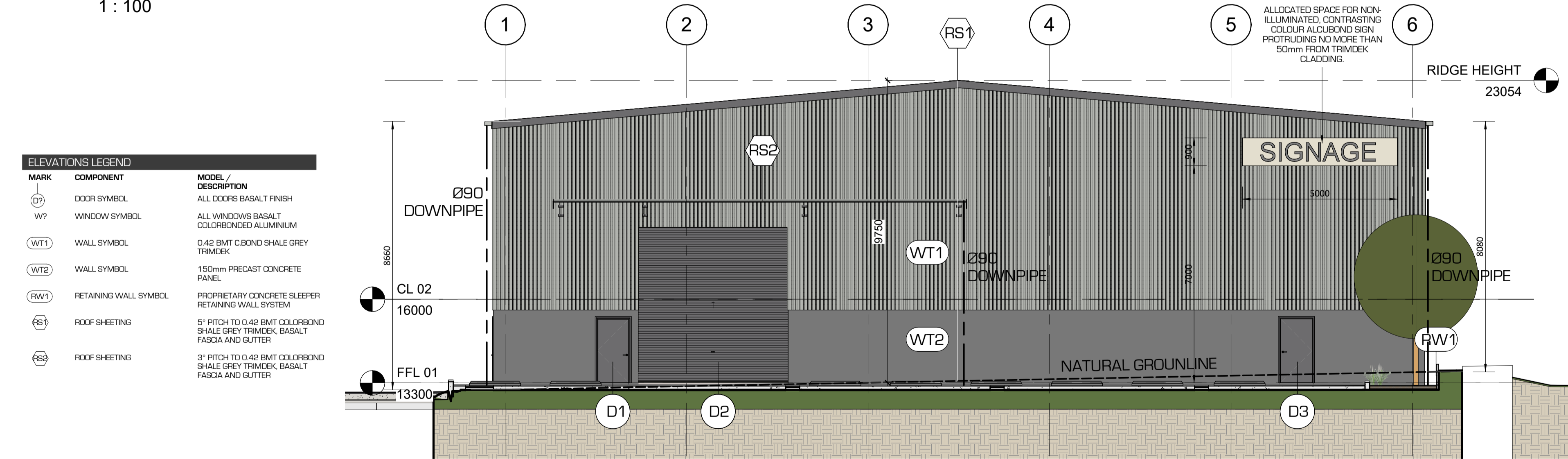
designer:
Designer
CBOS licence #:

A04 /
revision No: sheet size:
A2

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North
1 : 100



West
1 : 100

ELEVATIONS LEGEND		
MARK	COMPONENT	MODEL / DESCRIPTION
D?	DOOR SYMBOL	ALL DOORS BASALT FINISH
W?	WINDOW SYMBOL	ALL WINDOWS BASALT COLORBONDED ALUMINIUM
WT1	WALL SYMBOL	0.42 BMT C.BOND SHALE GREY TRIMDEK
WT2	WALL SYMBOL	150mm PRECAST CONCRETE PANEL
RW1	RETAINING WALL SYMBOL	PROPRIETARY CONCRETE SLEEPER RETAINING WALL SYSTEM
RS1	ROOF SHEETING	5° PITCH TO 0.42 BMT COLORBOND SHALE GREY TRIMDEK, BASALT FASCIA AND GUTTER
RS2	ROOF SHEETING	3° PITCH TO 0.42 BMT COLORBOND SHALE GREY TRIMDEK, BASALT FASCIA AND GUTTER

0m 1m 2m 3m 4m 5m
1:100@A2



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WAREHOUSE
project No:
5690

initial issue date:
07/03/2023

sheet name:
ELEVATIONS 2
issued for:
PRELIMINARY PLANNING

approved: drafter:
AuthorAuthor

designer:
Designer
CBOS licence #:

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revision No: sheet size:
A2

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1. BUILDER TO CHECK LEVELS AND DIMENSIONS TO VERIFY THE NOMINATED HEIGHT AND PLACEMENT OF THE BUILDING IS IN ACCORDANCE WITH THE NCC. IF IN DOUBT, DISCUSS WITH THE BUILDING DESIGNER.
2. REFER TO THE ENGINEERS DRAWINGS FOR FOOTING, SLAB AND REBATE DETAILS.
3. ALL SET OUT DIMENSIONS SHOWN ON THIS DRAWING ARE TOP OF SLAB. THE BRICK REBATE HAS BEEN OMITTED FOR CLARITY.
4. SHOWER STEPDOWN TO NCC VOL 2 PART 10.2.14



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PLUMBING LEGEND

MARK	COMPONENT	MODEL / DESCRIPTION
GENERAL		
B	BASIN	
BTH	BATH	
CWM	CLOTHES WASHING MACHINE	
DWM	DISH WASHING MACHINE	
S	SINK WITH AIR REMITANCE VALVE	
SHR	SHOWER	
TR(L)	LAUNDRY TROUGH	
WC	WATER CLOSET	
DP	DOWNPIPE	
GB	GAS BOTTLE (45KG)	
GP	GRATED PIT WITH TRASH BASKET	
IO	INSPECTION OPENING	
ORG	OVERFLOW RELIEF GULLY (RIM LEVEL 150 BELOW FFL)	
VP	VENT PIPE TO AIR	

PLUMBING NOTES

ALL SEWER PIPES TO BE MIN. 100 DIA. UPVC, CLASS SH UNLESS OTHERWISE NOTED.

NO OPENINGS INTO BUILDINGS OR DRAINS ARE PERMITTED WITHIN 1000mm OF A GAS CYLINDER IN THE HORIZONTAL PLAN. MINIMUM CLEARANCE BETWEEN A WINDOW SILL AND THE GAS CYLINDER TO BE 500mm IN THE VERTICAL.

ALL SEWER AND STORM WATER PIPE PENETRATIONS THROUGH STRIP FOOTINGS SHALL HAVE 20mm THICK CLOSED CELL POLYETHYLENE LAGGING AROUND PIPE FOR ENTIRE PENETRATION.

DRAINS ATTACHED TO OR EMERGING FROM THE BUILDING SHALL INCORPORATE FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE PIER OR STRIP FOOTING AND COMMENCING WITHIN 1m OF THE BUILDING PERIMETER TO ACCOMMODATE A TOTAL RANGE OF MOVEMENT IN ANY DIRECTION OF 50mm. IF GROUND CONDITIONS AT THE TIME OF CONSTRUCTION ARE MODERATELY MOIST, THEN PIPES SHALL BE SET AT THE MIDPOINT OF THEIR RANGE ALLOWING FOR 20mm MOVEMENT IN ANY DIRECTION.

WATER PIPES IN THE SLAB SHALL BE INSTALLED IN A CONDUIT SO THAT IF THE PIPE LEAKS IT WILL BE NOTICED OUTSIDE OF THE SLAB.

ALL DRAWINGS MUST ONLY BE DISTRIBUTED IN FULL COLOUR. gbd ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

ALL DIAMETERS SPECIFIED ARE INTERNAL DIAMETERS. A PRIVATE CONTRACTOR WILL NEED TO BE ENGAGED TO LOCATE TELECOM INFRASTRUCTURE BEFORE COMMENCEMENT OF WORKS.

ALL GAS FITTING WORK TO BE CARRIED OUT BY A LICENSED GAS FITTER IN ACCORDANCE WITH AS/NZS5601.1

ALL PLUMBING FIXTURES TO BE CONNECTED TO HOUSE LOT CONNECTION POINT BY LICENSED PLUMBER IN IN ACCORDANCE WITH COUNCIL & TasWater REQUIREMENTS & IN ACCORDANCE WITH AS3500.

PLUMBER TO CHECK AND CONFIRM ALL LEVELS TO ENSURE ADEQUATE FALLS AND CONNECTIONS TO BOTH SEWER AND STORMWATER CONNECTION POINTS AND MAINS.

PROVIDE AN OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE MIN. 150mm BELOW LOWEST FIXTURE.

ALL DOWNPIPES TO BE MIN. Ø100mm. PIPE (UNO). ALL STORMWATER DRAINAGE PIPES TO BE MIN. Ø150mm. UPVC (UNO).

BACK FILL ALL TRENCHES BENEATH VEHICLE PAVEMENT & SLAB ON GRADE FULL DEPTH WITH 20mm COMPACTED FCR.

PROVIDE I.O. AT EACH CHANGE OF DIRECTION, INTERSECTION, EXIT FROM BUILDING & EVERY 18m MAX.

T.V.M.S. TO BE SET AT 35°C FOR DOMESTIC USE. WHERE WATER AND GAS SUPPLY PIPING IS ABOVE GROUND AND EXPOSED, IT SHALL BE METAL.

MINIMUM DISTANCE BETWEEN ALL H.C.D. PIPES & UNDERGROUND CABLES TO BE 600mm.
MINIMUM DISTANCE BETWEEN ALL H.C.D. PIPES & WATER SUPPLY PIPES TO BE 300mm.
300mm COVER TO ALL SEWER PIPES (OR USE APPROVED CAST IRON PIPE)

ALL DISTANCES & LEVELS TO BE CONFIRMED ON SITE BY SURVEYOR BEFORE CONSTRUCTION.

ALL SERVICES TO BE LOCATED ON SITE BY CONTRACTORS PRIOR TO COMMENCEMENT OF WORK.

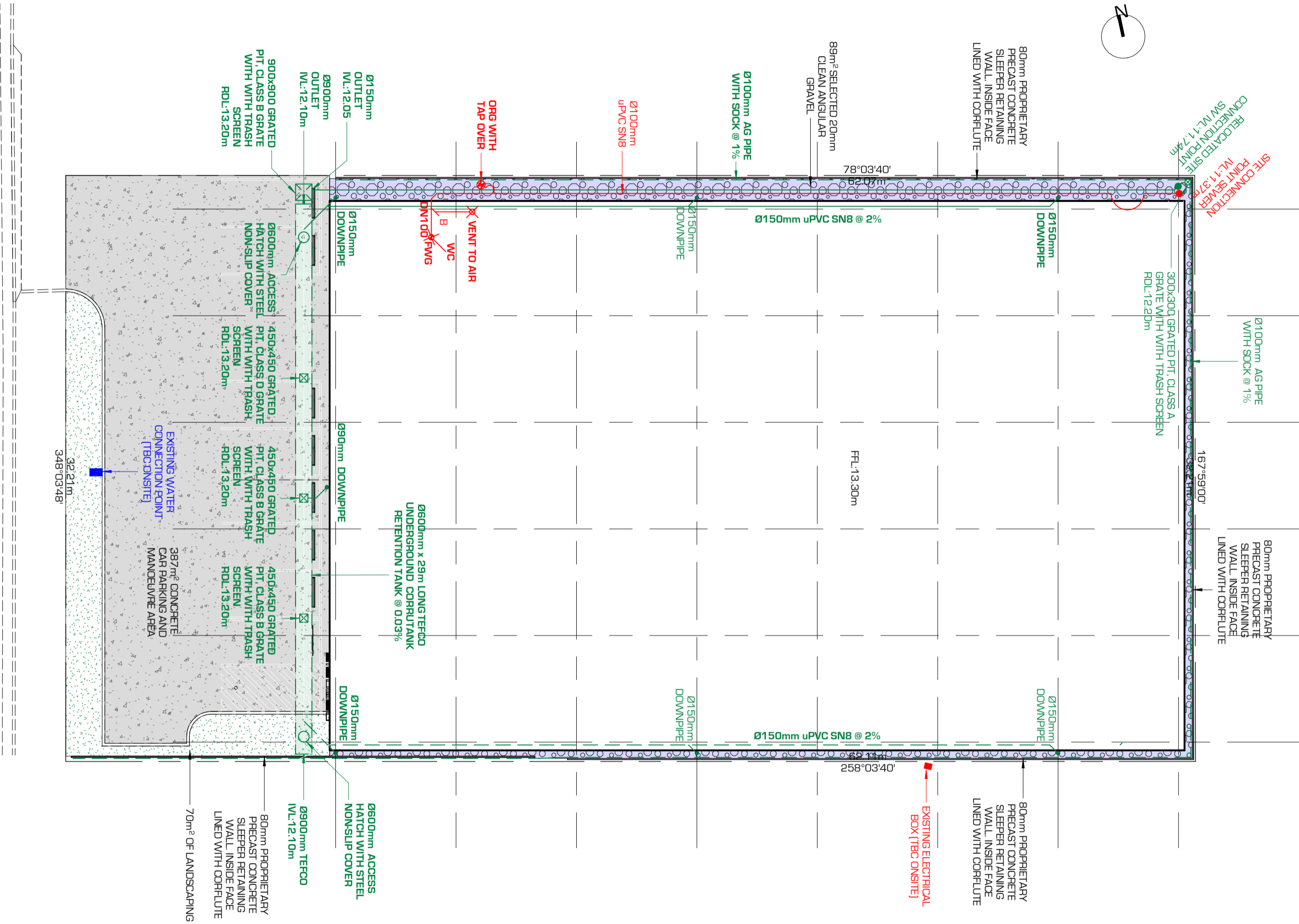
NOTIFY COUNCIL AUTHORITIES & STRUCTURAL ENGINEER IF ANY VARIATION IN BUILDING SETOUT OCCUR.

ALL WORKS TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL PLUMBING AND DRAINAGE CODE AS3500.

ALL WORKS TO BE CARRIED OUT AND CERTIFIED BY LICENSED TRADESPERSONS ONLY.

ALL GAS FITTING WORK TO BE CARRIED OUT BY A LICENSED GAS FITTER IN ACCORDANCE WITH AS/NZS5601.1

ALL SEWER PIPES TO BE MIN. 100 DIA. UPVC, CLASS SH UNLESS OTHERWISE NOTED.



0m 2m 4m 6m 8m 10m 1:200 @ A2



client/owner:
COODABEENS HOLDINGS PTY LTD
project address:
12 LOONE LANE, SPREYTON, TAS 7310

project name:
WAREHOUSE
project No:
5690

initial issue date:
07/03/2023

sheet name:
CONCEPTUAL DRAINAGE PLAN
issued for:
PRELIMINARY PLANNING

approved: Author
drafter: Author

designer:
Designer
CBOS licence #:

A07 /
revision No: sheet size:
A2

Head Office: 34835 Tasman Highway Scottsdale Tas 7260

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CAR MANOEUVRE LEGEND

- CAR ENTERING IN FORWARD DIRECTION
- CAR REVERSING ONSITE
- CAR EXITING IN FORWARD DIRECTION

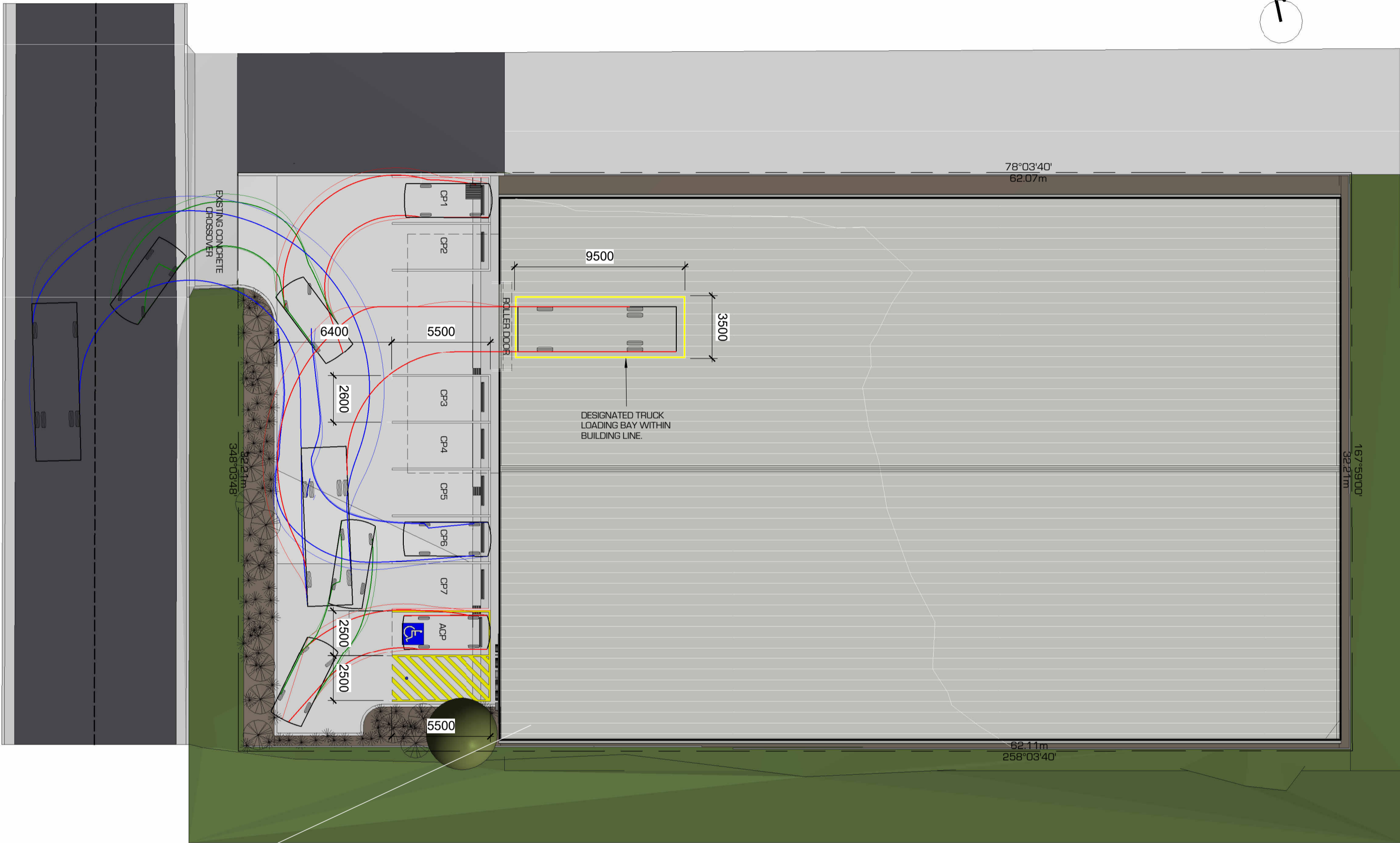
ALL CAR PARKING AND MANOEUVRE AREAS YO BE IN ACCORDANCE WITH AS2890 AND AS1428 AND C2.0 PARKING & SUSTAINABLE TRANSPORT CODE.

MAXIMUM GRADE OF CAR PARKS
MEASURED PARALLEL TO ANGLE OF PARKING 1:20
MEASURED PARALLEL TO ANGLE OF PARKING 1:16

MAXIMUM GRADE OF EQUAL ACCESS CAR PARKS
MEASURED PARALLEL TO ANGLE OF PARKING 1:40
MEASURED PARALLEL TO ANGLE OF PARKING 1:40

DRIVEWAY WIDTH AS MARKED ON DRAWINGS. ALL WORKMANSHIP IN ACCORDANCE WITH AS2870. PROPERLY GRADED AWAY FROM DWELLING & DRAINED TO APPROVED STORM WATER SYSTEM.

THESE DRAWINGS SHOW THAT THE B85 DESIGN VEHICLE CAN ACCESS AND EGRESS EACH OF THE MOST DIFFICULT BAYS
THE MINIMUM TURNING CIRCLE DIAMETER (KERB TO KERB) FOR THE B85 VEHICLE IS 11.5 M. THIS IS BASED ON A MAXIMUM ANGLE TURNED BY THE INNER FRONT WHEEL OF 40 DEGREES. SOME MODERN FOUR-WHEEL DRIVE WAGONS THAT ARE WITHIN THE SCOPE OF THE B85 VEHICLE HAVE A SLIGHTLY SMALLER MAXIMUM ANGLE OF TURN (ABOUT 37.5 DEGREES) BUT ARE ACCOMMODATED BY THEIR SLIGHTLY SMALLER WHEELBASE AND/OR WIDTH. THE MAXIMUM ANGLE OF TURN IS APPLICABLE ONLY TO PARKING MANOEUVRES.
THE ASSESSED CAR SPACES ARE ASSESSED AS PER THE PROVISIONS OF AS/NZS 2890.1. SMALLER CARS WILL COMPLETE THE MANEUVERS WITH GREATER EASE THEN THE LARGER B85 DESIGN VEHICLE (WHICH IS EQUIVALENT TO A PRE-2004 MODEL FORD FALCON).
ALL KERBS TYPE BK AS PER TSD-G04.v1
THE MEDIUM RIGID VEHICLE MANOEUVRE TEMPLATE DISPALYED IS FOR A 8.8m LONG BY 2.5m WIDE TRUCK WITH MINIMUM TURNING DIAMETER (KERB TO KERB) OF 10m.



0m 2m 4m 6m 8m 10m 1:200 @ A2



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VEHICLE MANOEUVRE
issued for:
PRELIMINARY PLANNING





approved: drafter:
AuthorAuthor



designer:
Designer
CBOS licence #:

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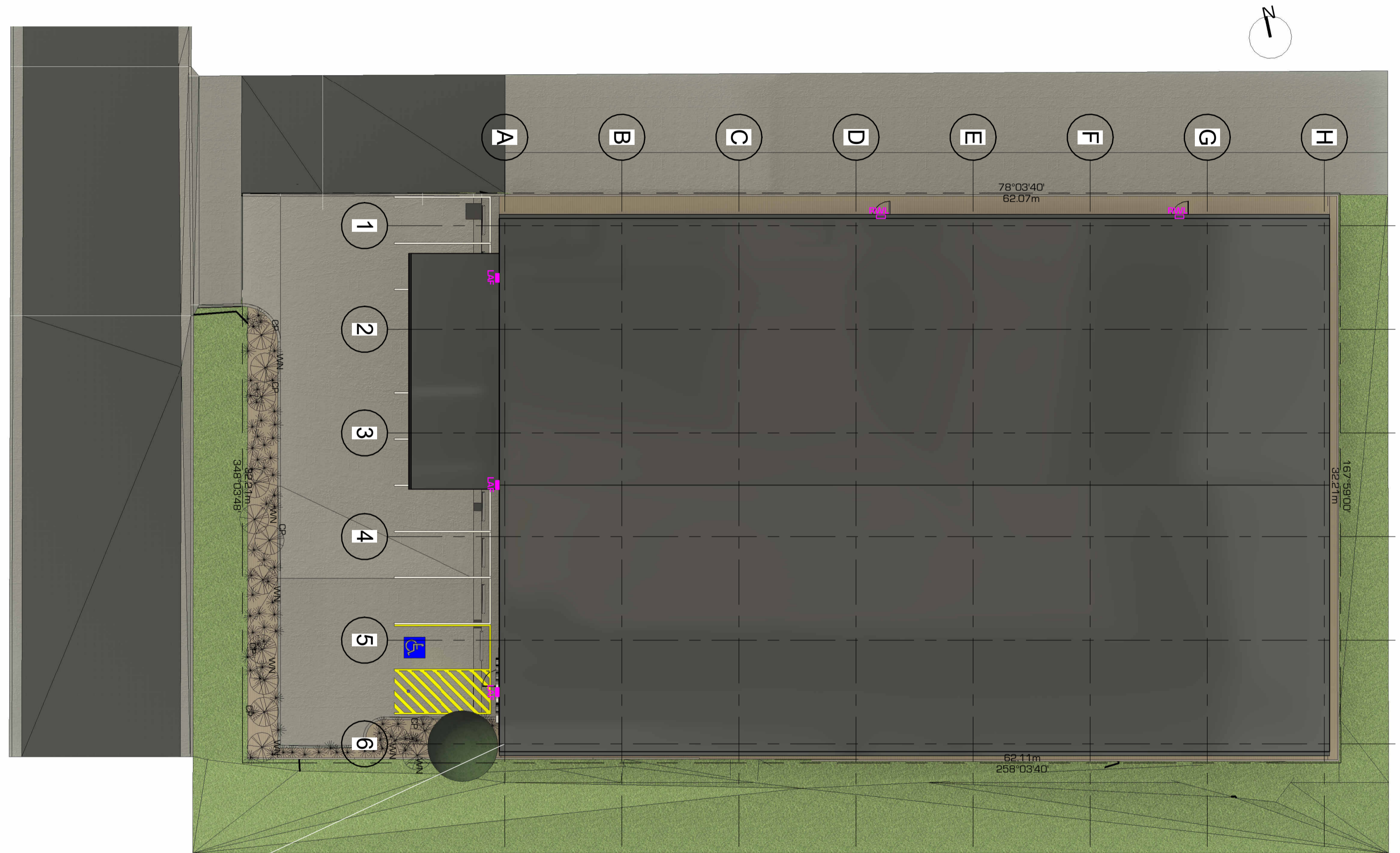
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LANDSCAPING & LIGHTING LEGEND

SYMBOL	COPY	DESCRIPTION
	LIMON EUREKA	FAST GROWING, INDIAN NATIVE 4m HIGH x 3m WIDE
	DIANELLA REVOLUTA	NATIVE, 0.5m HIGH x 0.9m WIDE, FLOWERING, FAST GROWING, FLAX LILY
	CALLISTEMON PALLIDUS	TASMANIAN NATIVE, FAST FLOWERING SHRUB, 3.0m HIGH x 2.0m WIDE
	WESTRINGA NARINGA	NATIVE, FLOWERING, FAST GROWING DENSE EVERGREEN 2m HIGH x 1.5m WIDE

	FLOODLIGHT	LENNOX 48W ASYMMETRIC FLOODLIGHT, MOUNTED AT 3m HEIGHT, FITTED WITH SENSOR AND BAFFLE SO THAT DIRECT LIGHT DOES NOT EXTEND ONTO THE ADJOINING PROPERTIES.
	WALL DOWNLIGHT	RONAN 20W EXTERIOR DOWNLIGHT

ALL LIGHTING TO BE IN ACCORDANCE WITH
AS/NZS-1158.3.1:2005, LIGHTING FOR ROADS AND PUBLIC
SPACES PART 3.1.PEDESTRIAN AREA (CATEGORY P) LIGHTING-
PERFORMANCE AND DESIGN REQUIREMENTS.



0m 2m 4m 6m 8m 10m 1:200 @ A2



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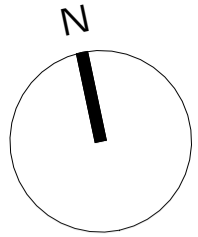
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LANDSCAPE AND LIGHTING PLAN
issued for:
PRELIMINARY PLANNING

approved: drafter:
AuthorAuthor

designer:
Designer
CBOS licence #:

A09 /
revision No: sheet size:
A2

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A

B

C

D

E

F

G

H

1

2

3

4

5

6

159 DEEP x 235 WIDE
EAVES GUTTER
(37365mm²)

Ø150mm
DOWNPIPE

Ø150mm
DOWNPIPE

Ø150mm
DOWNPIPE

Ø90mm
DOWNPIPE

MAIN ROOF AREA 1422m²
CANOPY AREA 67m²
TOTAL ROOF AREA 1489m²

159 DEEP x 235 WIDE
EAVES GUTTER
(37365mm²)

Ø150mm
DOWNPIPE

Ø150mm
DOWNPIPE

Ø150mm
DOWNPIPE



client/owner:
COODABEENS HOLDINGS PTY LTD

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project name:
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sheet name:
ROOF PLAN

issued for:
PRELIMINARY PLANNING

approved: drafter:
AuthorAuthor

designer:
Designer

CBOS licence #:

A10 /
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Head Office: 34835 Tasman Highway Scottsdale Tas 7260

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SERVICES LOCATED BY SURVEYOR, VICTOR COCHRANE
OF ISLAND LAND SOLUTIONS.

ALL SEWER PIPES TO BE MIN. 100 DIA. UPVC, CLASS SH
UNLESS OTHERWISE NOTED.

NO OPENINGS INTO BUILDINGS OR DRAINS ARE
PERMITTED WITHIN 1000mm OF A GAS CYLINDER IN
THE HORIZONTAL PLAN. MINIMUM CLEARANCE
BETWEEN A WINDOW SILL AND THE GAS CYLINDER TO
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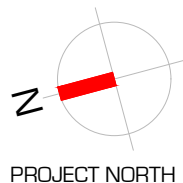
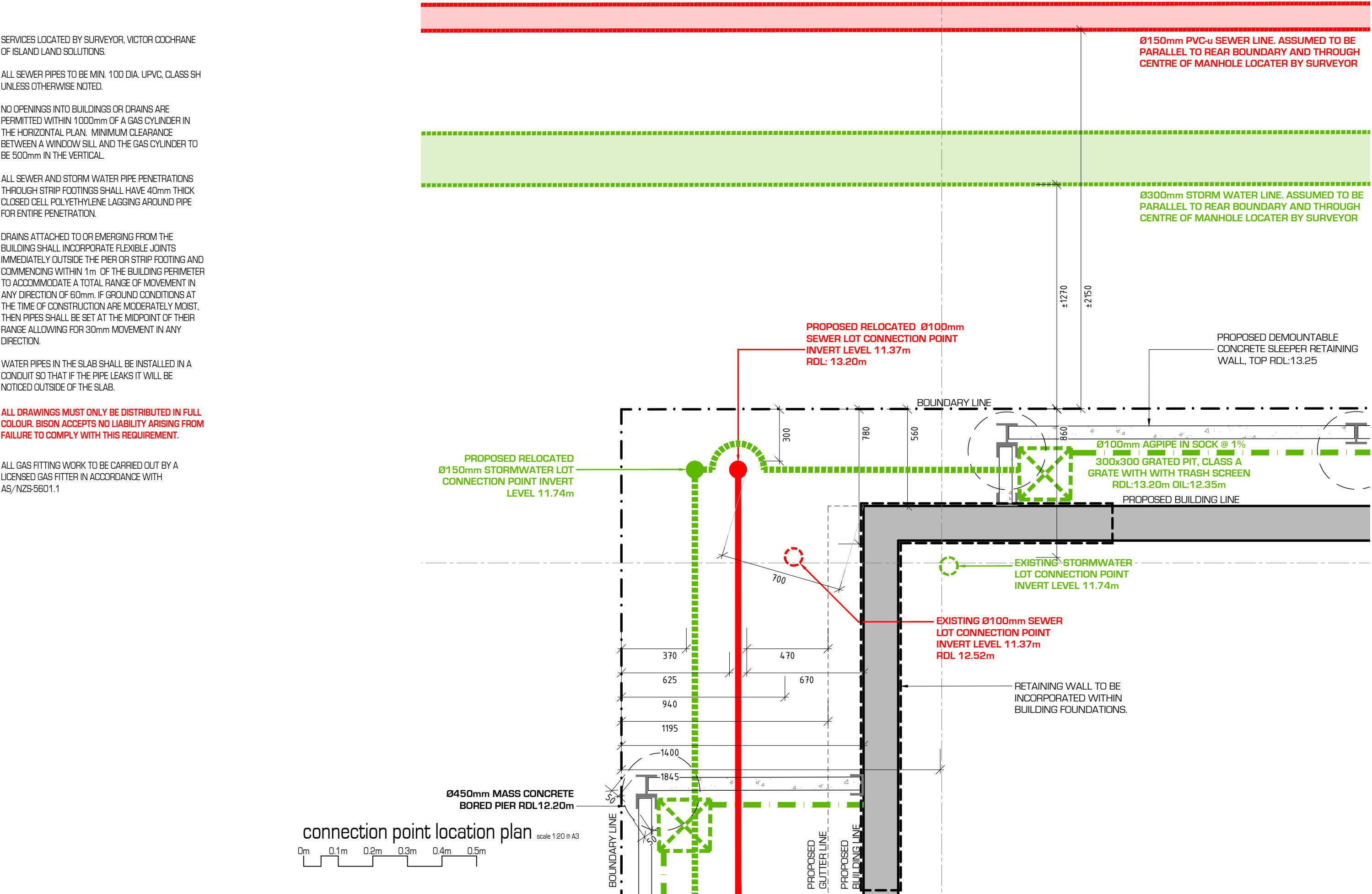
ALL SEWER AND STORM WATER PIPE PENETRATIONS
THROUGH STRIP FOOTINGS SHALL HAVE 40mm THICK
CLOSED CELL POLYETHYLENE LAGGING AROUND PIPE
FOR ENTIRE PENETRATION.

DRAINS ATTACHED TO OR EMERGING FROM THE
BUILDING SHALL INCORPORATE FLEXIBLE JOINTS
IMMEDIATELY OUTSIDE THE PIER OR STRIP FOOTING AND
COMMENCING WITHIN 1m OF THE BUILDING PERIMETER
TO ACCOMMODATE A TOTAL RANGE OF MOVEMENT IN
ANY DIRECTION OF 60mm. IF GROUND CONDITIONS AT
THE TIME OF CONSTRUCTION ARE MODERATELY MOIST,
THEN PIPES SHALL BE SET AT THE MIDPOINT OF THEIR
RANGE ALLOWING FOR 30mm MOVEMENT IN ANY
DIRECTION.

WATER PIPES IN THE SLAB SHALL BE INSTALLED IN A
CONDUIT SO THAT IF THE PIPE LEAKS IT WILL BE
NOTICED OUTSIDE OF THE SLAB.

ALL DRAWINGS MUST ONLY BE DISTRIBUTED IN FULL
COLOUR. BISON ACCEPTS NO LIABILITY ARISING FROM
FAILURE TO COMPLY WITH THIS REQUIREMENT.

ALL GAS FITTING WORK TO BE CARRIED OUT BY A
LICENSED GAS FITTER IN ACCORDANCE WITH
AS/NZS-5601.1



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PLANNING DRAWINGS

5 APRIL 2024

DWG # 5690

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