APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993 An application for a planning permit has been made which may affect you.

Application Details

Application Number: PA2024.0009

Proposed Use or Development: Residential (multiple dwellings x 4)

Address of the Land: 52 Nicholls Street, Devonport

Date of Notice: **02/03/2024**

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the Land Use Planning Approvals Act 1993, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on 18/03/2024;
- be in writing; and
- addressed to the General Manager, Devonport City Council:
 - o P.O. Box 604, Devonport, Tasmania, 7310; or
 - o council@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



PA2024.0009 - 52 Nicholls Street Devonport

This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.

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City Council

Residential Unit Development

52 Nichols St,

DRAWING SCHEDULE:

Sheet No:	Drawing	Rev:	Revision Date
A001	COVER PAGE	D	21/02/2024
A100	SITE PLAN	D	21/02/2024
A101	SITE PLAN - PART	С	19/02/2024
A200	FLOOR PLAN U 4	Α	21/12/2023
A201	FLOOR PLAN UNITS 2 & 3	В	31/01/2024
A202	FLOOR PLAN UNIT 1	Α	21/12/2023
A300	ELEVATIONS - UNIT 1	Α	21/12/2023
A301	ELEVATIONS - UNIT 1	Α	21/12/2023
A302	ELEVATIONS - UNITS 2 & 3	В	31/01/2024
A303	ELEVATIONS - UNITS 2 & 3	В	31/01/2024
A304	ELEVATIONS - UNITS 4	Α	21/12/2023
A305	ELEVATIONS - UNITS 4	Α	21/12/2023
A500	SITE SECTION	С	19/02/2024
A900	3D VIEWS	В	31/01/2024
A901	SUN SHADOW DIAGRAMS	С	19/02/2024

LOCATION PLAN - Scale: NTS



GENERAL INFORMATION:

Accredited Architect: Sam Haberle
Accreditation Number: CC5618 U

Land Title Reference Number: C.T. 218795/1 (Certificate volume and folio)

Municipality: Devonport Council

Planning Scheme Overlay: Tasmanian Planning Scheme

Safeguarding Airports - Obstacle Limitation Area

Zoning: 8.0 General Residential

Building Class: 1a

Soil classification: Class M Site classification to AS 2870-2011 (Strata Geoscience SR05205)

Wind Classification: N2 Site classification to AS 4055-2006 (Strata Geoscience SR05205)

Climate Zone: 7 (www.abcb.gov.au map)

Alpine Area: N/A <300m AHD (NCC Figure 3.7.5.2)

Bushfire-prone Area BAL Rating: N/A Not a bushfire prone area (per the ListMap)

Corrosion environment: Moderate For steel subject to the influence of salt water, breaking surf or

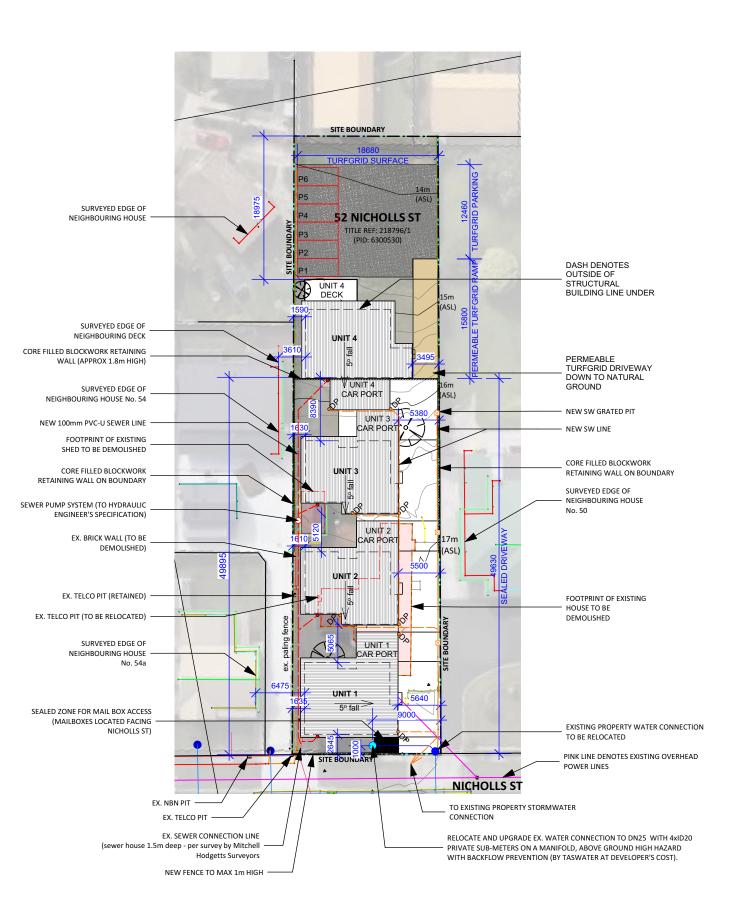
heavy industrial areas, refer to NCC section 3.4.2.2 & NCC Table 3.4.4.2. Cladding and fixings to manufacturer's recommendations

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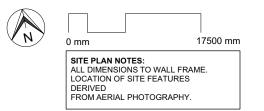
Other Known site hazards: Nil

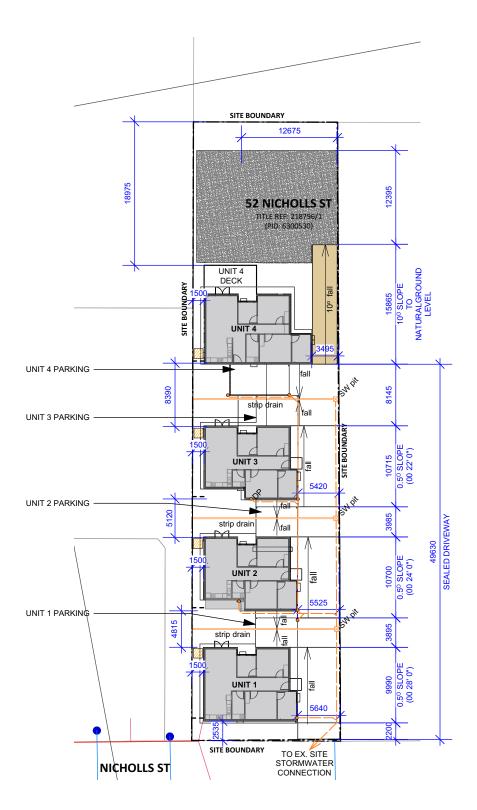


REVISION D	DATE	21/02/2024	DESCRIPTION	TASWATER DA RFI - RI	ELOCATED WAT	ER CON	NECTION	l
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SITE PLAN Scale: 1:500





NOTE:

All contours should be confirmed on site

Dwelling location to be set out by registered surveyor discrepancies reported prior to

Drive to be suitably drained away from dwelling to SW pits + connected to mains

Conveniently located taps to be installed for watering purposes.

Typically dress around house with top soil where not otherwise specified sow with grass seed set down 150mm from FFL max. Batter grade 1:20.

Garden edging typically treated pine when not

Downpipes to be connected into council

Any change's to the construction and materials indicated in these drawings is to be approved by S. Group, the Engineer, the Building Surveyor, and the owner before proceeding with the work.

Use written dimensions only. Do not scale drawings.

BUILDING AREAS:

Site Area:

Site area per unit: 395.8m²

1,583.2m²

317.1m²

DA

A100

Proposed Driveyway (sealed): 422.0m²

Gravel parking:

Units 3 & 4 Total: 151.0m² Units 1-3(ea): 104.1m² 105.2m² Deck (unit 4): 28.6m² Carport (ea): 22.0m²

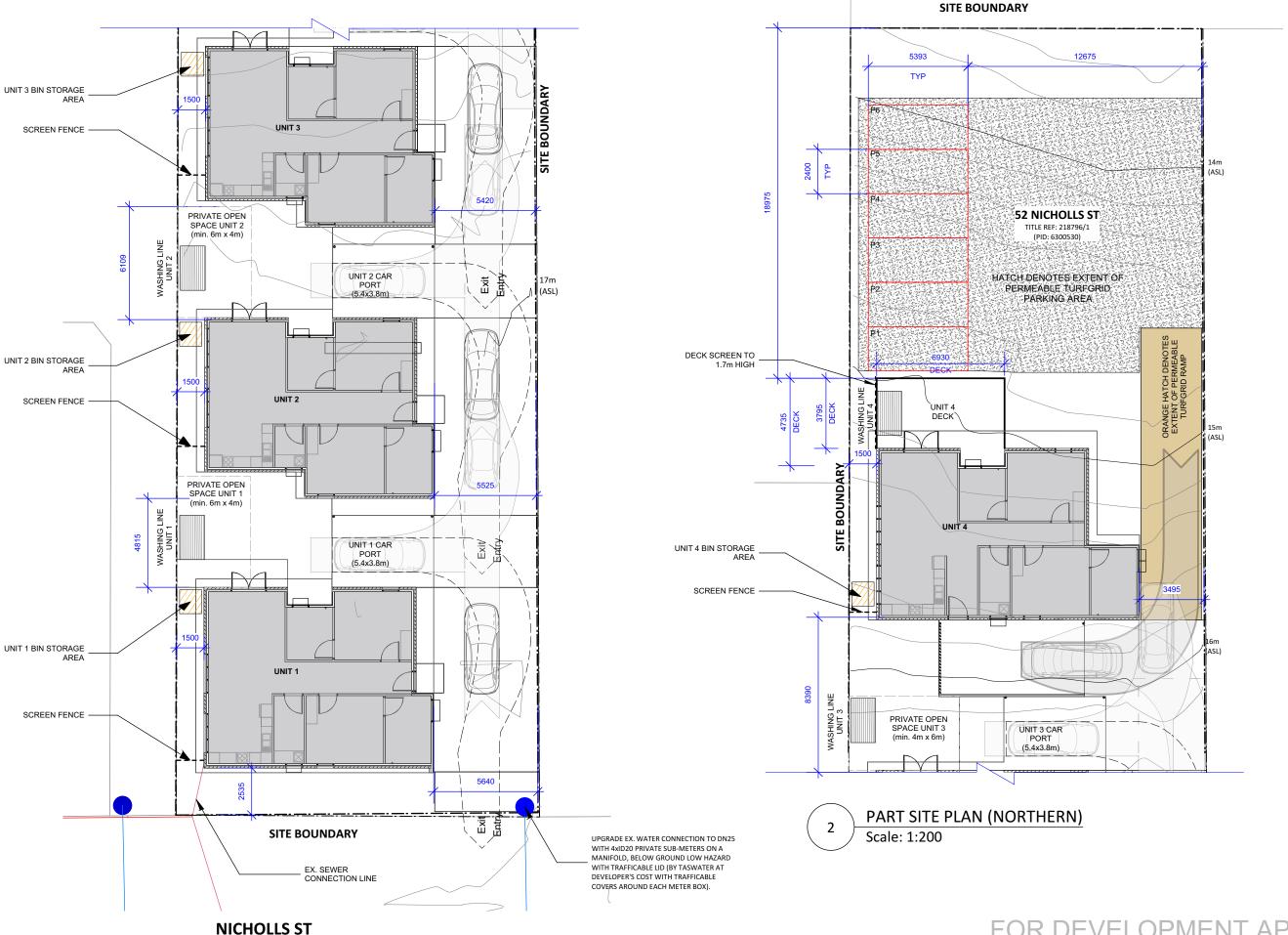
Total Building Area: 417.5m² (excluding decking & driveway)

26.37% Site coverage percentage:

PAVEMENT PLAN Scale: 1:500

FOR DEVELOPMENT APPLICATION ONLY





17500 mm

SITE PLAN NOTES: ALL DIMENSIONS TO WALL FRAME. LOCATION OF SITE FEATURES DERIVED

FROM AERIAL PHOTOGRAPHY.

NOTE:

All contours should be confirmed on site

Dwelling location to be set out by registered surveyor discrepancies reported prior to

Drive to be suitably drained away from dwelling to

Conveniently located taps to be installed for watering purposes.

Typically dress around house with top soil where not otherwise specified sow with grass seed set down 150mm from FFL max. Batter grade 1:20.

Garden edging typically treated pine when not against co ncrete.

Downpipes to be connected into council stormwater as soon as roof is installed.

Any change's to the construction and materials indicated in these drawings is to be approved by S. Group, the Engineer, the Building Surveyor, and the owner before proceeding with the work

Do not scale drawings.

BUILDING AREAS:

Site Area:

Site area per unit: 395.8m²

1,583.2m²

Proposed Driveyway (sealed): 422.0m²

Gravel parking: 317.1m²

 Units 3 & 4 Total:
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 104.1m²

 Unit 4:
 105.2m²

 Deck (unit 4):
 28.6m²

 Carport (ea):
 22.0m²

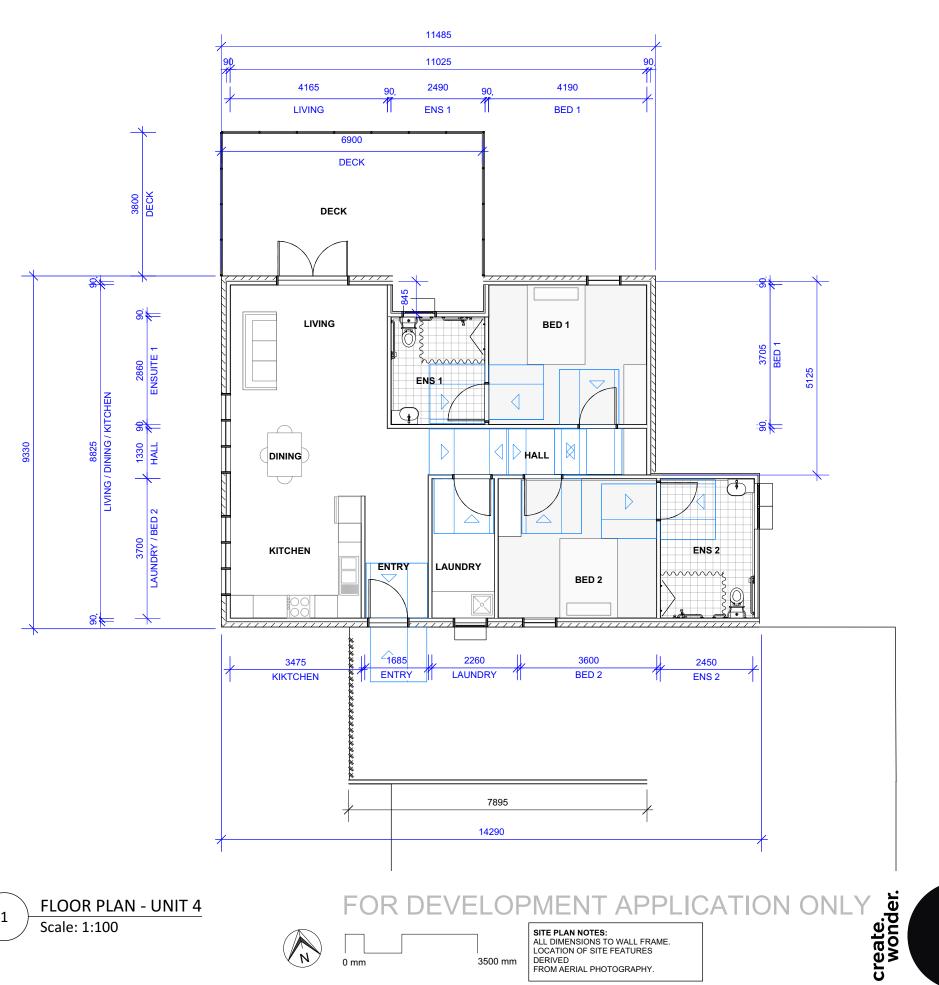
Total Building Area: 417.5m² (excluding decking & driveway)

Site coverage percentage: 26.37%

FOR DEVELOPMENT APPLICATION ONLY

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		SCALE @SO A3 1:100	A101
	DWG SITE PLAN - PART	DRAWN	
	SITE PLAIN - PAINT	CHKD	PROJECT#



NOTES:

Contractor to specify final treatment to existing concrete floors. seal and waterproof where required;

Where possible contractor to utilise existing glazing and door systems in new plan configuration.

All existing conditions shown indicatively only, all dimensions should be confirmed on site and any discrepancies communicated to architect for review.

All window dimensions to Aluminium to be confirmed on site.

All glazing to comply with AS1288 & AS2047.

All wet areas to be comply with NCC section F1 and AS3740.

All timber framing to comply with NCC 3.4.3 and AS1684.

All works to be in compliance with NCC section J energy efficiency.

All works to comply with BAL assessment.

Window location dimension taken from external stud frame

WALL LEGEND:

Proposed Internal Wall; Timber stud wall Unless noted otherwise: 90x45 MGP10 Plates 90x35 MGP10 Noggings Mid-Height 90x35 MGP10 Studs @ 450cts.

Proposed External Wall; Nom. 140mm Clad Studwork wall. 90mm Studwork Wall (internal) 30mm Horizontal & Vertical Battens & Lightweight Cladding (external)

Existing Wall

FLOOR FINISHES SCHEDULE:

CU Carpet Underlay. To be selected.

Composite Timber Decking; Material to match existing deck CTD: Colour: To match existing deck

> Polished Concrete with Clear **Epoxy Finish**

TF Timber Floorboard Overlay.

SC Sealed Concrete.

PΑ Outdoor Paving.

KEY:

Water Closet WC. ba. Basin Vanity Unit va. Walk-in Shower

tub. Free standing Bath Tub Towel Rail

bch. Bench dsk. Built-in Desk sky. Skylight Downpipe

Hot Water Cylinder Laundry Trough

INSULATION REQUIREMENTS: NCC 2016 PART 3.12. (Climate Zone 7)

Min. R2.5 (90mm) 'Pink' batts with Walls:

vapour-permeable wall wrap.

R1.3 (55mm) 'Permastop' Building Blanket Roof:

R4.0 (195mm) 'PINK' Ceiling Batts.

DA

REVISION A DATE 21/12/2023 DESCRIPTION DA 52 Nicholls St, DEVONPORT

do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS ELKS Investments SCALE @SO A3 1:100 A200 FLOOR PLAN U 4 DRAWN

Level 1, 10-14 Paterson st, Launceston | Level 1, 90-92 Murray st, Hobart | 552 Victoria st, North Melbourne © Copyright 2021 T: 03 63 111 403 E: info@sgroup.com.au sgroup.com.au

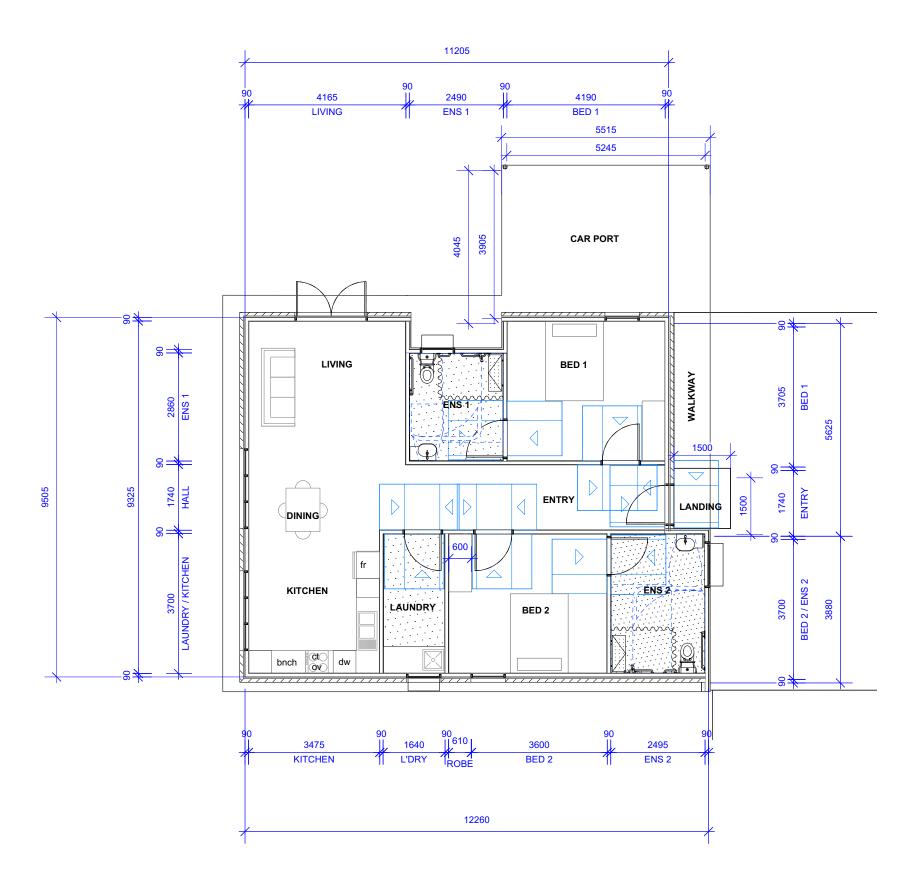
FLOOR PLAN - UNIT 4

Scale: 1:100

3500 mm

SITE PLAN NOTES: ALL DIMENSIONS TO WALL FRAME. LOCATION OF SITE FEATURES DERIVED

FROM AERIAL PHOTOGRAPHY.



FLOOR PLAN - UNIT 1 Scale: 1:100

FOR DEVELOPMENT APPLICATION ONLY



SITE PLAN NOTES: ALL DIMENSIONS TO WALL FRAME. LOCATION OF SITE FEATURES DERIVED FROM AERIAL PHOTOGRAPHY.



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Composite Timber Decking; Material to match existing deck CTD: Colour: To match existing deck

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PΑ Outdoor Paving.

KEY:

Water Closet WC. ba. Basin Vanity Unit va. Walk-in Shower

tub. Free standing Bath Tub Towel Rail

tr. bch. Bench dsk. Built-in Desk sky. Skylight Downpipe

Hot Water Cylinder Laundry Trough

INSULATION REQUIREMENTS:

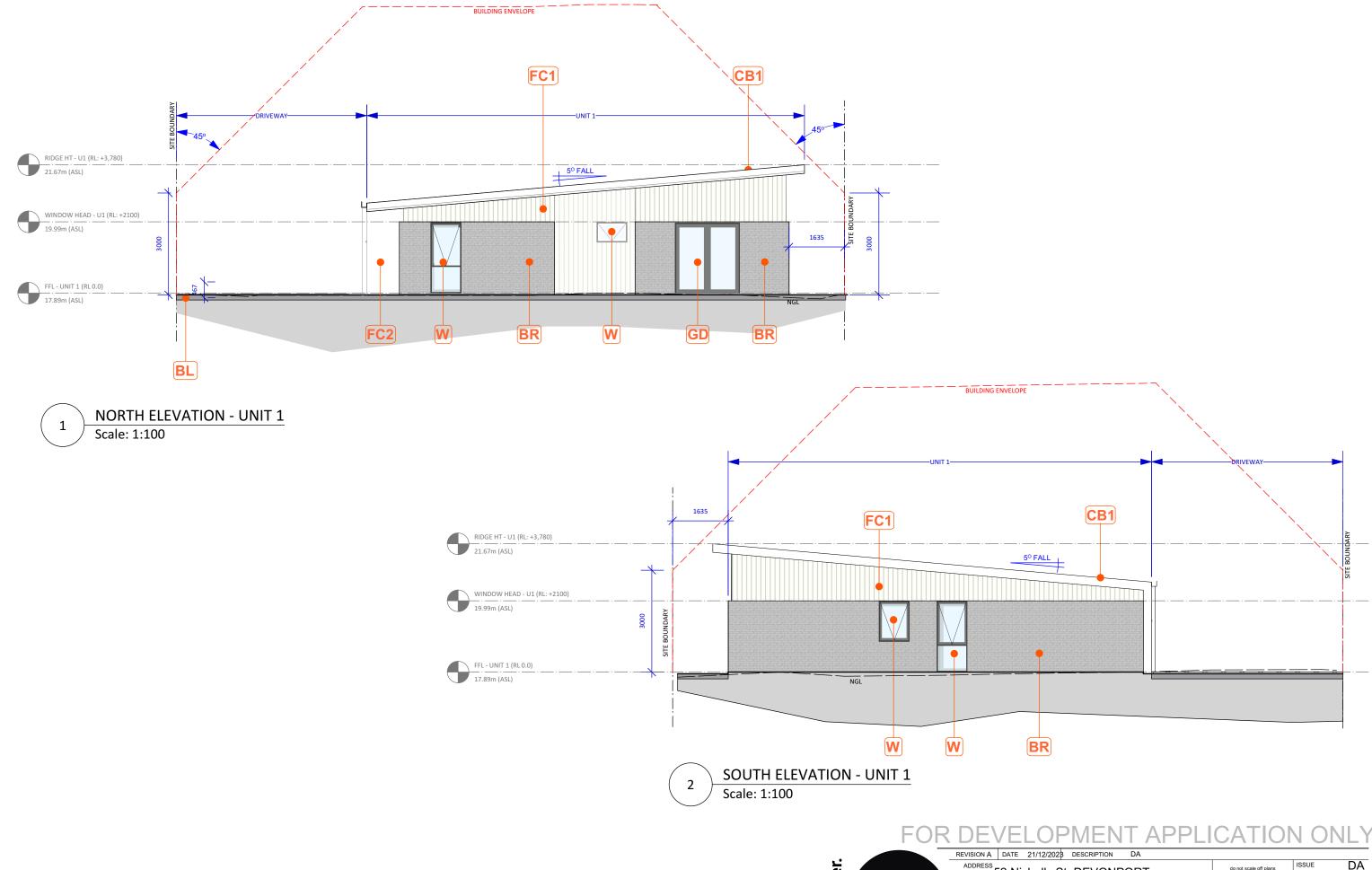
NCC 2016 PART 3.12. (Climate Zone 7)

Min. R2.5 (90mm) 'Pink' batts with Walls: vapour-permeable wall wrap.

R1.3 (55mm) 'Permastop' Building Blanket

R4.0 (195mm) 'PINK' Ceiling Batts.

REVISION A DATE 21/12/2023 DESCRIPTION DA 52 Nicholls St, DEVONPORT DA do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS ELKS Investments SCALE @SO A3 1:100 A202 FLOOR PLAN UNIT 1 DRAWN



SITE PLAN NOTES:
ALL DIMENSIONS TO WALL FRAME.
LOCATION OF SITE FEATURES
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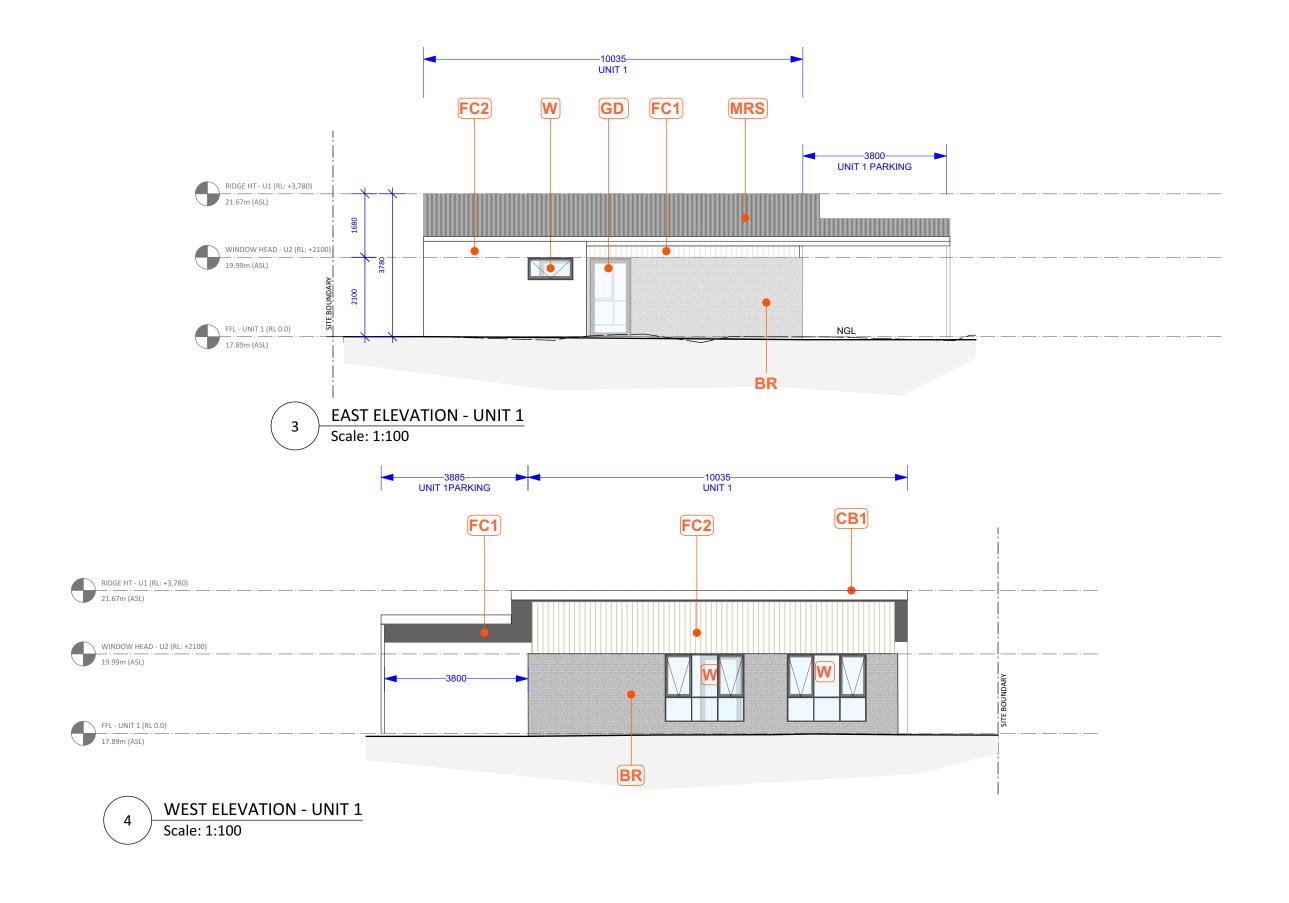
ADDRESS
52 Nicholls St, DEVONPORT

CLIENT ELKS Investments

DWG
ELEVATIONS - UNIT 1

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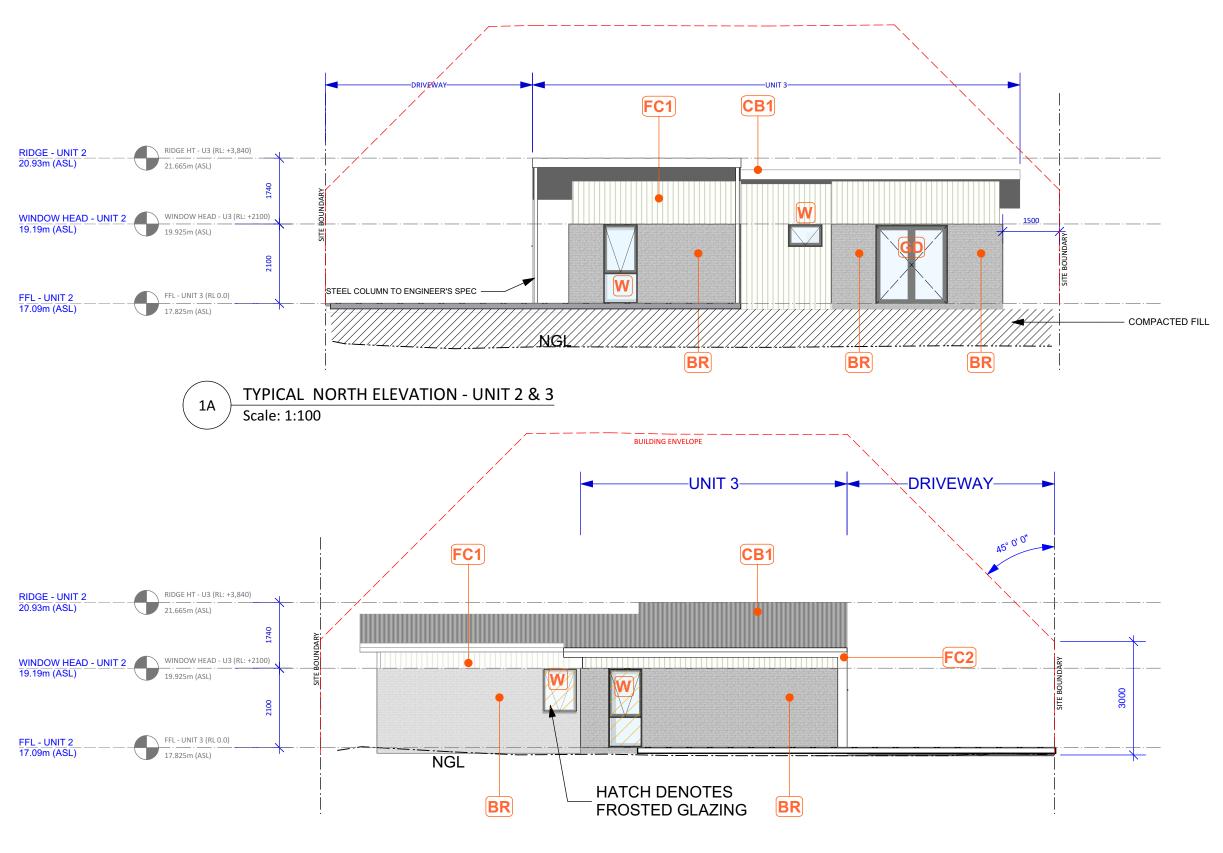


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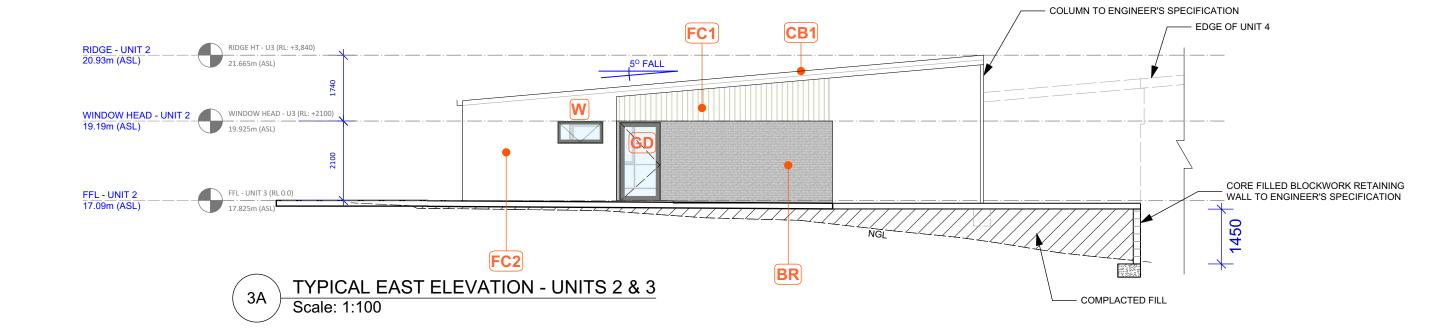


TYPICAL SOUTH ELEVATION - UNITS 2 & 3 Scale: 1:100

> SITE PLAN NOTES: ALL DIMENSIONS TO WALL FRAME. LOCATION OF SITE FEATURES DERIVED FROM AERIAL PHOTOGRAPHY 3500 mm

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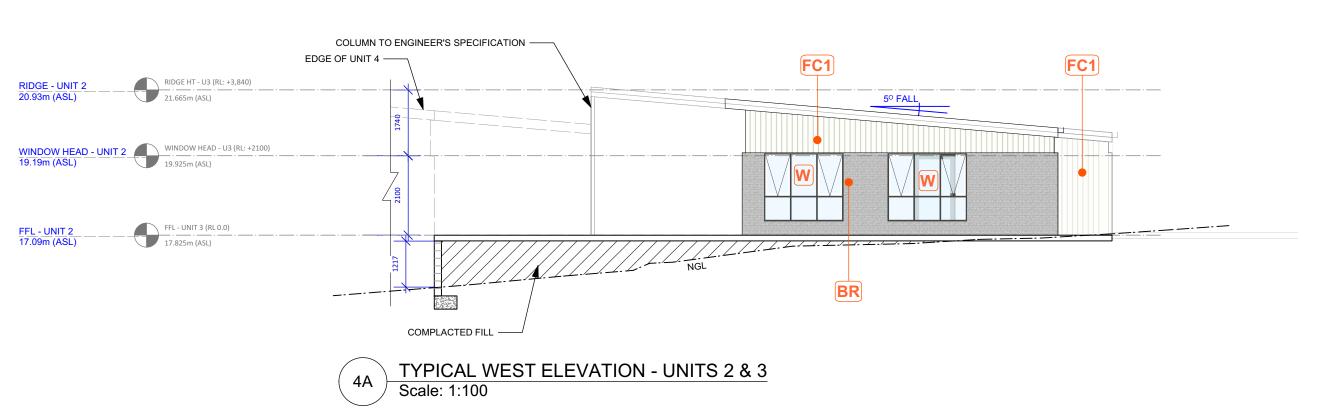


ALL DIMENSIONS TO WALL FRAME. LOCATION OF SITE FEATURES

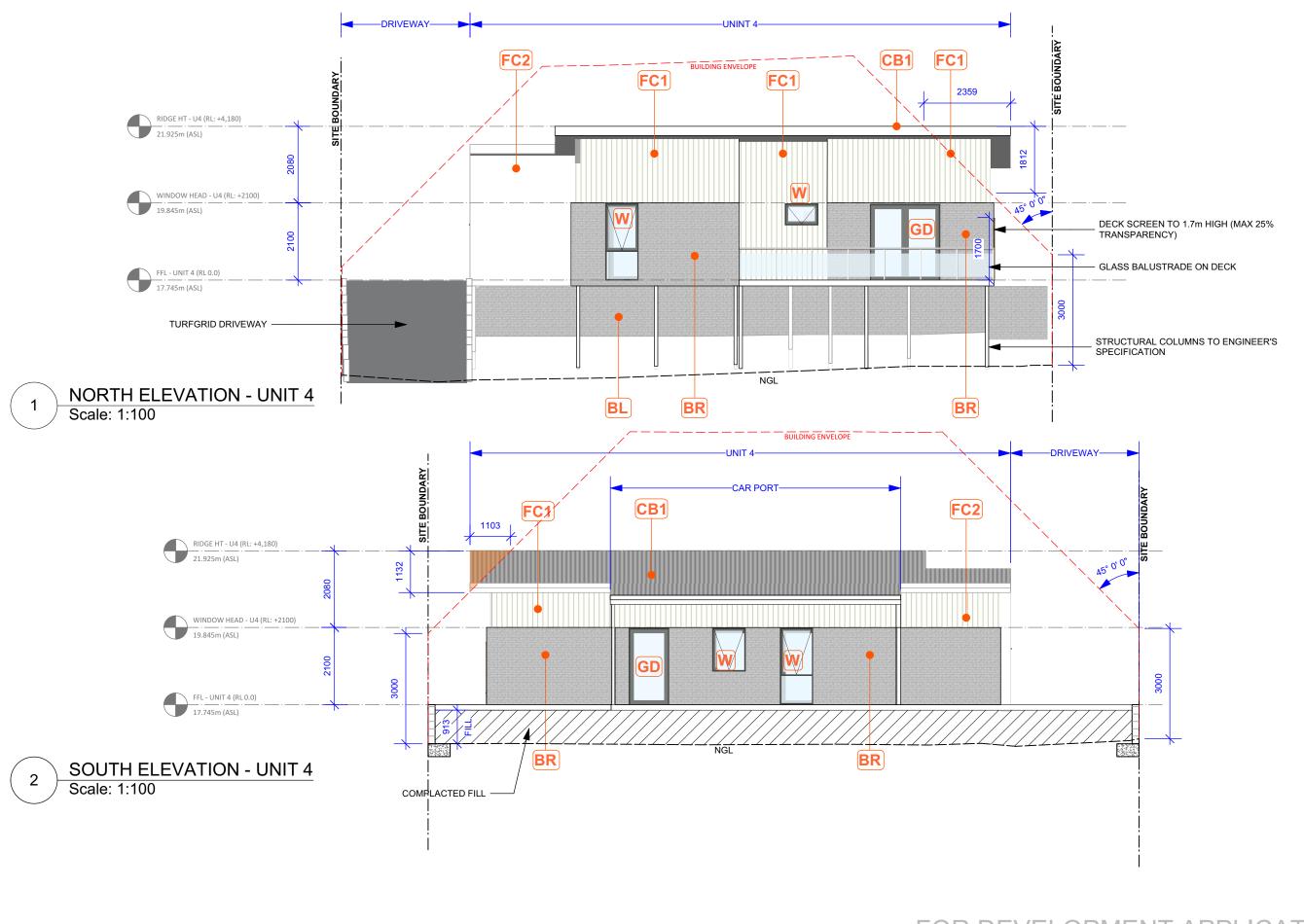
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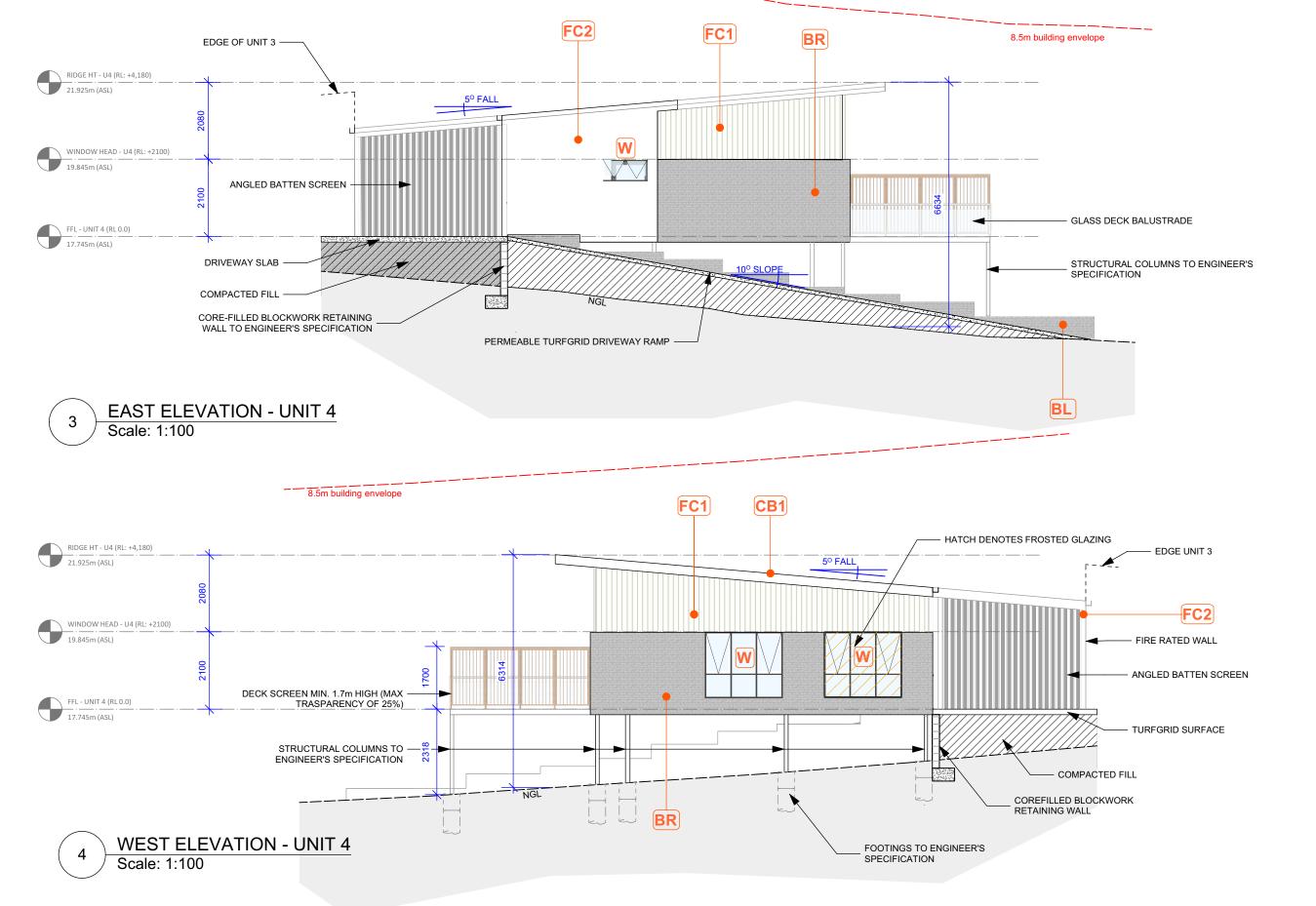




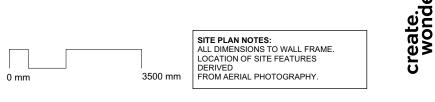


SITE PLAN NOTES: ALL DIMENSIONS TO WALL FRAME. LOCATION OF SITE FEATURES DERIVED 3500 mm FROM AERIAL PHOTOGRAPHY.

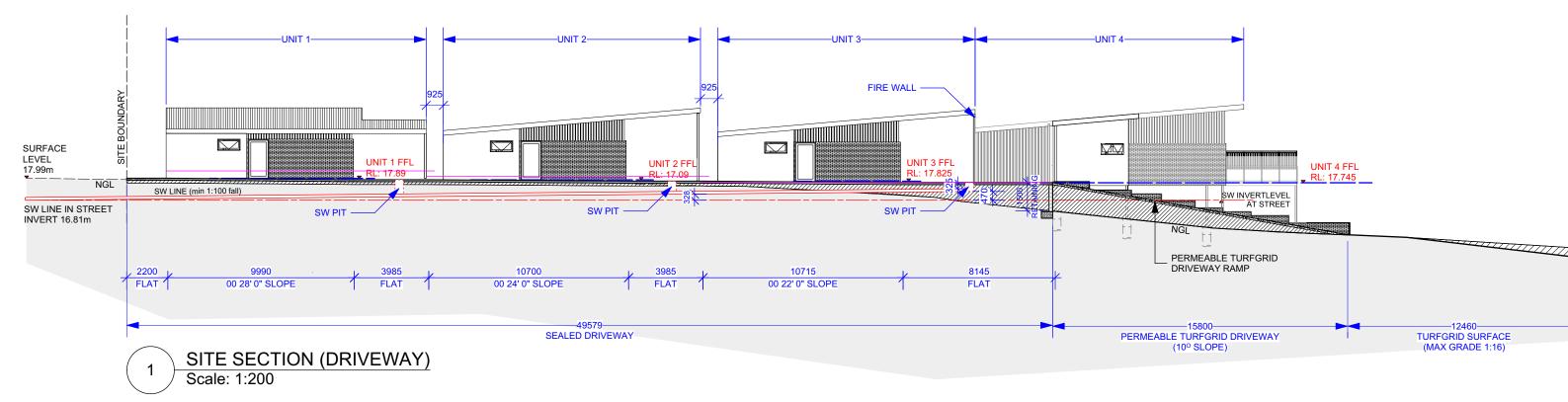
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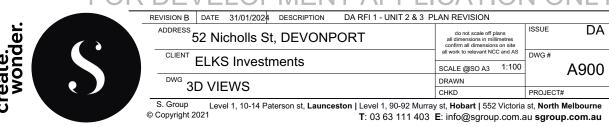
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SITE PLAN NOTES:
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LOCATION OF SITE FEATURES
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3D STREET VIEW Scale: 1:200





SCALE @SO A3 1:100

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DRAWN

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SUN SHADOW DIAGRAMS

S. Group

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