



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

| | |
|------------------------------|---|
| Application Number: | PA2024.0009 |
| Proposed Use or Development: | Residential (multiple dwellings x 4) |
| Address of the Land: | 52 Nicholls Street, Devonport |
| Date of Notice: | 02/03/2024 |

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranapple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **18/03/2024**;
- be in writing; and
- addressed to the General Manager, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - council@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



PA2024.0009 - 52 Nicholls Street Devonport

This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.



Residential Unit Development

52 Nichols St,

DRAWING SCHEDULE:

| Sheet No: | Drawing | Rev: | Revision Date |
|-----------|--------------------------|------|---------------|
| A001 | COVER PAGE | D | 21/02/2024 |
| A100 | SITE PLAN | D | 21/02/2024 |
| A101 | SITE PLAN - PART | C | 19/02/2024 |
| A200 | FLOOR PLAN U 4 | A | 21/12/2023 |
| A201 | FLOOR PLAN UNITS 2 & 3 | B | 31/01/2024 |
| A202 | FLOOR PLAN UNIT 1 | A | 21/12/2023 |
| A300 | ELEVATIONS - UNIT 1 | A | 21/12/2023 |
| A301 | ELEVATIONS - UNIT 1 | A | 21/12/2023 |
| A302 | ELEVATIONS - UNITS 2 & 3 | B | 31/01/2024 |
| A303 | ELEVATIONS - UNITS 2 & 3 | B | 31/01/2024 |
| A304 | ELEVATIONS - UNITS 4 | A | 21/12/2023 |
| A305 | ELEVATIONS - UNITS 4 | A | 21/12/2023 |
| A500 | SITE SECTION | C | 19/02/2024 |
| A900 | 3D VIEWS | B | 31/01/2024 |
| A901 | SUN SHADOW DIAGRAMS | C | 19/02/2024 |

LOCATION PLAN - Scale: NTS



GENERAL INFORMATION:

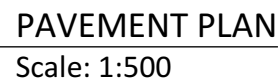
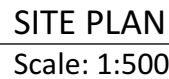
| | | |
|---------------------------------|--|---|
| Accredited Architect: | Sam Haberle | |
| Accreditation Number: | CC5618 U | |
| Land Title Reference Number: | C.T. 218795/1 | (Certificate volume and folio) |
| Municipality: | Devonport Council | |
| Planning Scheme Overlay: | Tasmanian Planning Scheme | |
| | Safeguarding Airports - Obstacle Limitation Area | |
| Zoning: | 8.0 General Residential | |
| Building Class: | 1a | |
| Soil classification: | Class M | Site classification to AS 2870-2011 (Strata Geoscience SR05205) |
| Wind Classification: | N2 | Site classification to AS 4055-2006 (Strata Geoscience SR05205) |
| Climate Zone: | 7 | (www.abcb.gov.au map) |
| Alpine Area: | N/A | <300m AHD (NCC Figure 3.7.5.2) |
| Bushfire-prone Area BAL Rating: | N/A | Not a bushfire prone area (per the ListMap) |
| Corrosion environment: | Moderate | For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to NCC section 3.4.2.2 & NCC Table 3.4.4.2. Cladding and fixings to manufacturer's recommendations |
| Other Known site hazards: | Nil | |

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| REVISION D | DATE | 21/02/2024 | DESCRIPTION | TASWATER DA RFI - RELOCATED WATER CONNECTION | | | |
|--|---------------------------|------------|-------------|--|--|----------|----------------|
| ADDRESS | 52 Nicholls St, DEVONPORT | | | do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS | | ISSUE | DA A001 |
| CLIENT | | | | ELKS Investments | | DWG # | |
| DWG | COVER PAGE | | | SCALE @SO A3 1:100 | | PROJECT# | |
| | | | | DRAWN | | | |
| | | | | CHKD | | | |
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| ELKS Investments | | | | |
| DWG | | | | |
| SITE PLAN | | | | DWG # |
| | | | | A100 |
| | | | | DRAWN |
| | | | | CHKD |
| | | | | PROJECT# |

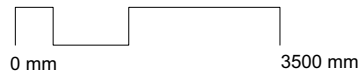
S. Group Level 1, 10-14 Paterson st, **Launceston** | Level 1, 90-92 Murray st, **Hobart** | 552 Victoria st, **North Melbourne**

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1

FLOOR PLAN - UNIT 4

Scale: 1:100



SITE PLAN NOTES:
ALL DIMENSIONS TO WALL FRAME.
LOCATION OF SITE FEATURES
DERIVED
FROM AERIAL PHOTOGRAPHY.

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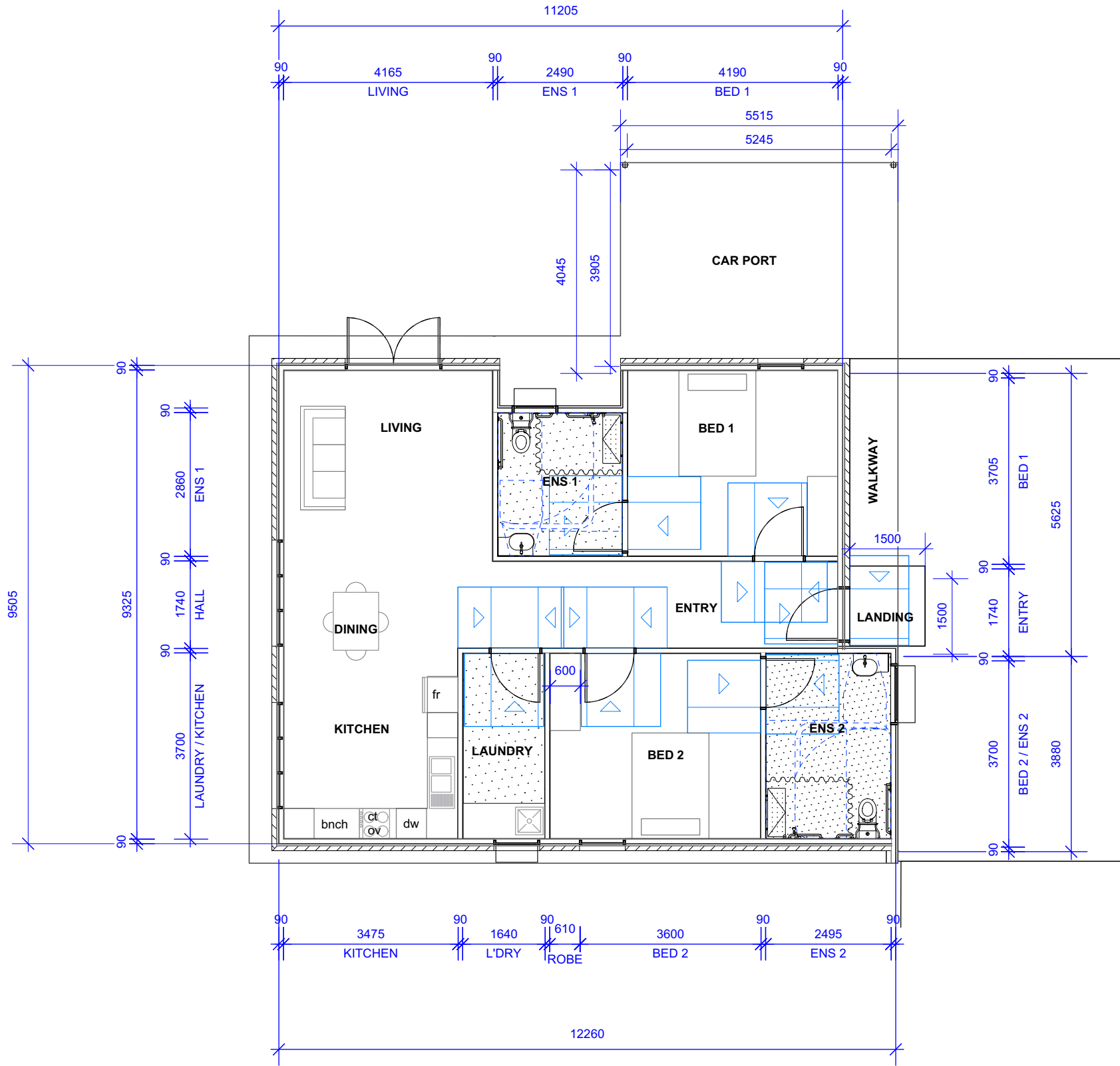
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|---|---------------------------|------------|-------------|----------|
| REVISION A | DATE | 21/12/2023 | DESCRIPTION | DA |
| ADDRESS | 52 Nicholls St, DEVONPORT | | | |
| CLIENT | ELKS Investments | | | |
| DWG | FLOOR PLAN U 4 | | | |
| S. Group Level 1, 10-14 Paterson st, Launceston Level 1, 90-92 Murray st, Hobart 552 Victoria st, North Melbourne | | | | ISSUE |
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| | | | | A200 |
| | | | | PROJECT# |

- NOTES:
- Contractor to specify final treatment to existing concrete floors, seal and waterproof where required;
- Where possible contractor to utilise existing glazing and door systems in new plan configuration.
- All existing conditions shown indicatively only, all dimensions should be confirmed on site and any discrepancies communicated to architect for review.
- All window dimensions to Aluminium to be confirmed on site.
- All glazing to comply with AS1288 & AS2047.
- All wet areas to be comply with NCC section F1 and AS3740.
- All timber framing to comply with NCC 3.4.3 and AS1684.
- All works to be in compliance with NCC section J energy efficiency.
- All works to comply with BAL assessment.
- Window location dimension taken from external stud frame.

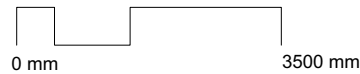
- WALL LEGEND:**
- Proposed Internal Wall;
Timber stud wall
Unless noted otherwise:
90x45 MGP10 Plates
90x35 MGP10 Noggings Mid-Height
90x35 MGP10 Studs @ 450cts.
- Proposed External Wall;
Nom. 140mm Clad Studwork wall.
90mm Studwork Wall (internal)
30mm Horizontal & Vertical Battens & Lightweight Cladding (external)
- Existing Wall

- FLOOR FINISHES SCHEDULE:**
- CU Carpet Underlay. To be selected.
- CTD: Composite Timber Decking;
Material to match existing deck
Colour: To match existing deck
- POL Polished Concrete with Clear Epoxy Finish
- TF Timber Floorboard Overlay.
- SC Sealed Concrete.
- PA Outdoor Paving.
- KEY:**
- wc. Water Closet
ba. Basin
va. Vanity Unit
shr. Walk-in Shower
tub. Free standing Bath Tub
tr. Towel Rail
bch. Bench
dsk. Built-in Desk
sky. Skylight
dp. Downpipe
hwc. Hot Water Cylinder
th. Laundry Trough

- INSULATION REQUIREMENTS:**
NCC 2016 PART 3.12. (Climate Zone 7)
- Walls: Min. R2.5 (90mm) 'Pink' batts with vapour-permeable wall wrap.
- Roof: R1.3 (55mm) 'Permastop' Building Blanket
R4.0 (195mm) 'PINK' Ceiling Batt.



3 FLOOR PLAN - UNIT 1
Scale: 1:100



SITE PLAN NOTES:
ALL DIMENSIONS TO WALL FRAME.
LOCATION OF SITE FEATURES
DERIVED
FROM AERIAL PHOTOGRAPHY.

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 - Where possible contractor to utilise existing glazing and door systems in new plan configuration.
 - All existing conditions shown indicatively only, all dimensions should be confirmed on site and any discrepancies communicated to architect for review.
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 - All works to be in compliance with NCC section J energy efficiency.
 - All works to comply with BAL assessment.
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90x45 MGP10 Plates
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90mm Studwork Wall (internal)
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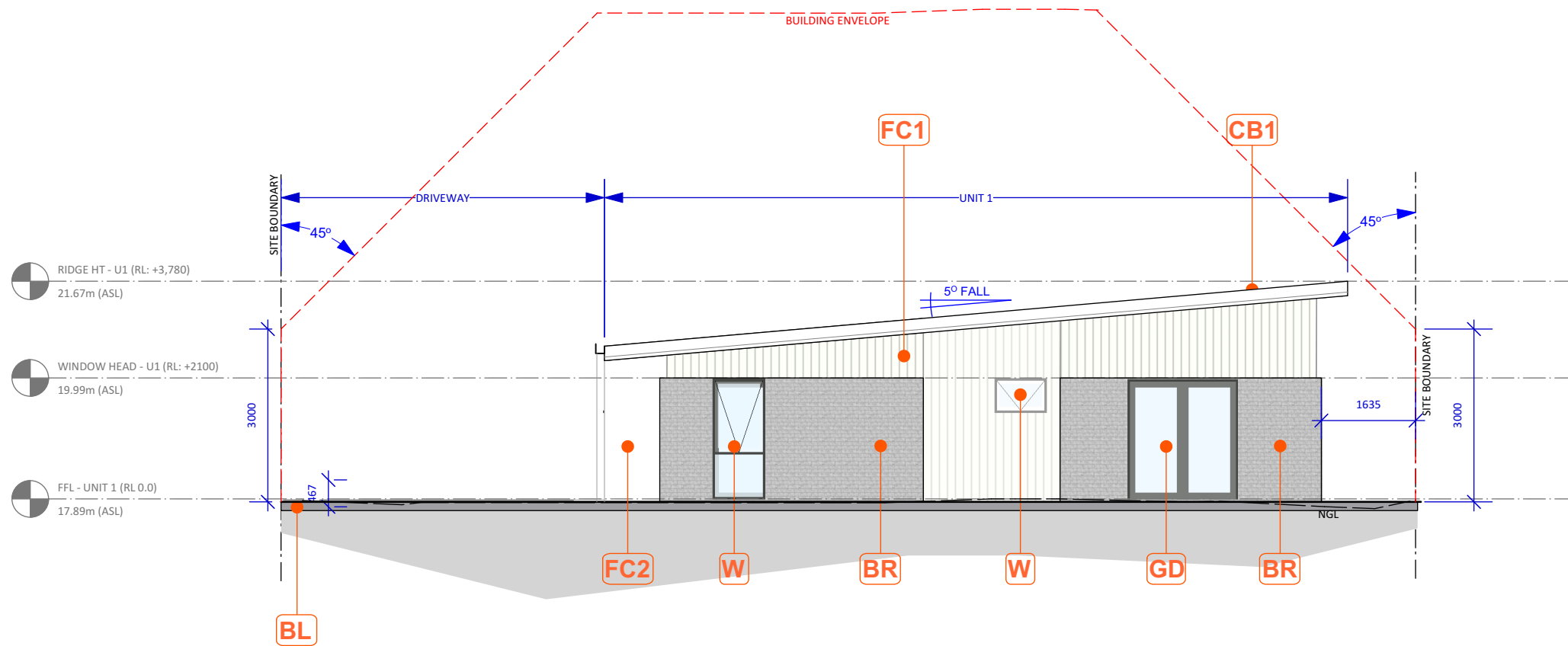
- FLOOR FINISHES SCHEDULE:**
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 - CTD: Composite Timber Decking;
Material to match existing deck
Colour: To match existing deck
 - POL Polished Concrete with Clear Epoxy Finish
 - TF Timber Floorboard Overlay.
 - SC Sealed Concrete.
 - PA Outdoor Paving.

- KEY:**
- wc. Water Closet
 - ba. Basin
 - va. Vanity Unit
 - shr. Walk-in Shower
 - tub. Free standing Bath Tub
 - tr. Towel Rail
 - bch. Bench
 - dsk. Built-in Desk
 - sky. Skylight
 - dp. Downpipe
 - hwc. Hot Water Cylinder
 - th. Laundry Trough

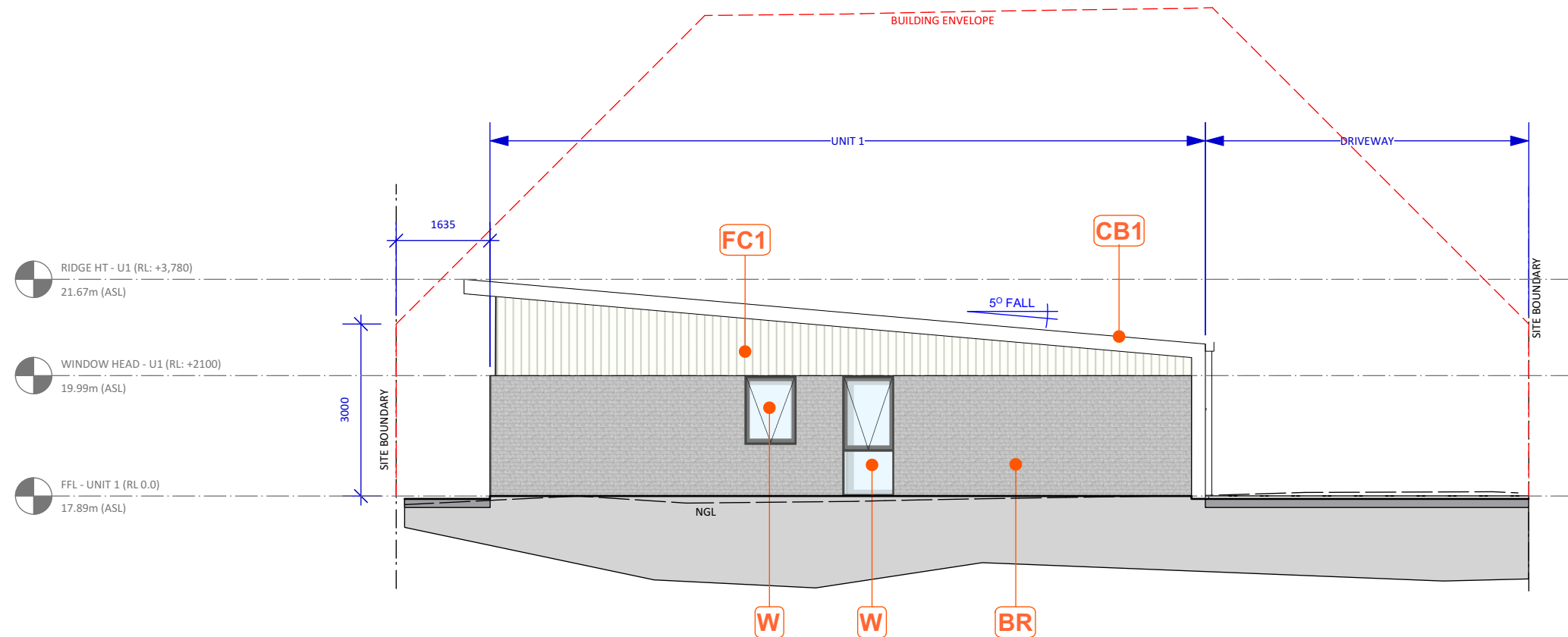
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NCC 2016 PART 3.12. (Climate Zone 7)
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R4.0 (195mm) 'PINK' Ceiling Batt.

| REVISION A | DATE | 21/12/2023 | DESCRIPTION | DA |
|---|---------------------------|------------|-----------------------|----|
| ADDRESS | 52 Nicholls St, DEVONPORT | | | |
| CLIENT | ELKS Investments | | | |
| DWG | FLOOR PLAN UNIT 1 | | | |
| S. Group Level 1, 10-14 Paterson st, Launceston Level 1, 90-92 Murray st, Hobart 552 Victoria st, North Melbourne | | | © Copyright 2021 | |
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| | | |
|--|----------|------|
| do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS | ISSUE | DA |
| SCALE @SO A3 1:100 | DWG # | A202 |
| DRAWN | PROJECT# | |
| CHKD | | |



1 NORTH ELEVATION - UNIT 1
Scale: 1:100



2 SOUTH ELEVATION - UNIT 1
Scale: 1:100



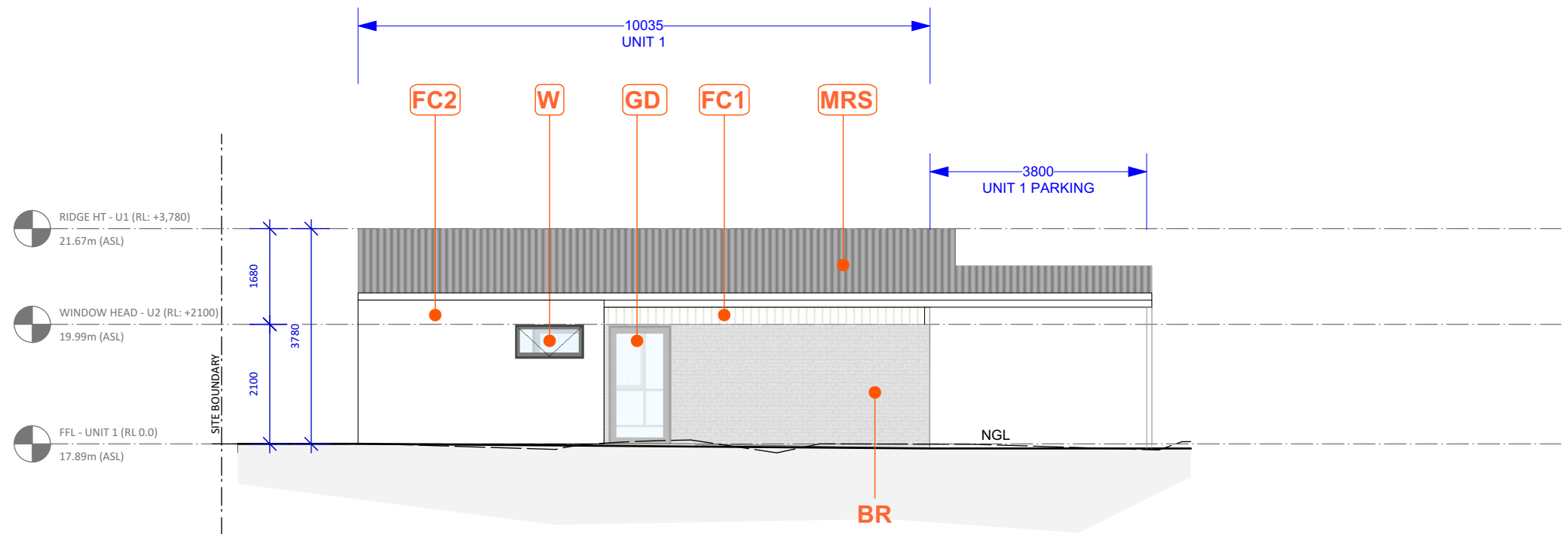
SITE PLAN NOTES:
ALL DIMENSIONS TO WALL FRAME.
LOCATION OF SITE FEATURES
DERIVED
FROM AERIAL PHOTOGRAPHY.

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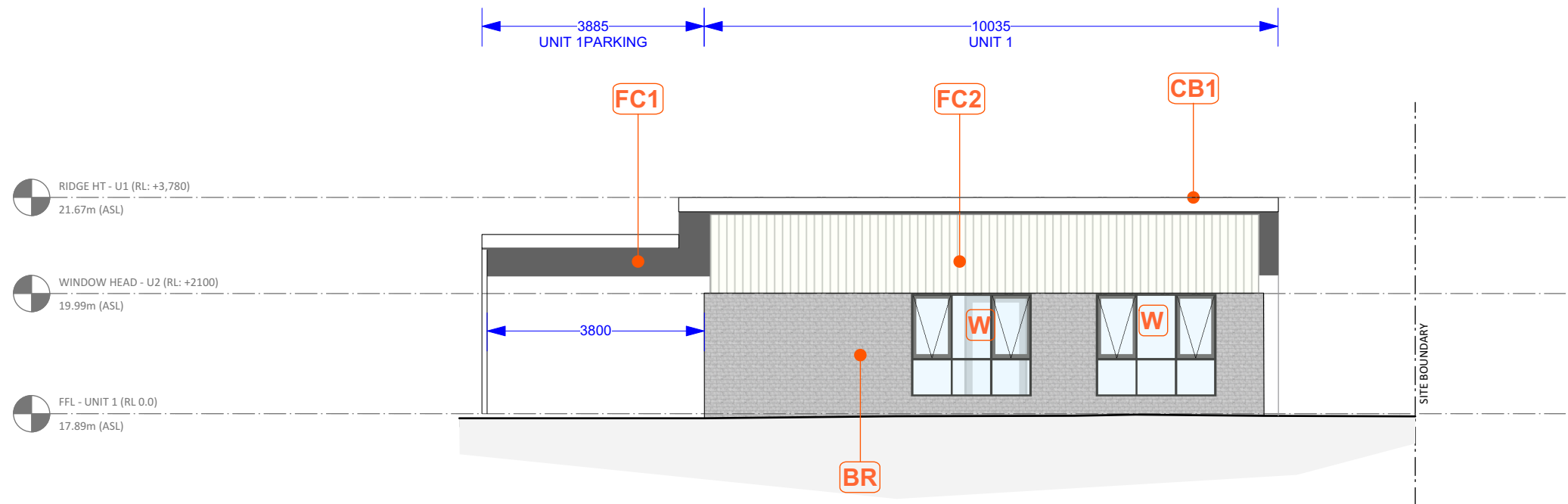


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| REVISION A | DATE | 21/12/2023 | DESCRIPTION | DA |
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| CLIENT | | ELKS Investments | | |
| DWG | | ELEVATIONS - UNIT 1 | | |
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| SCALE @SO A3 | | 1:100 | | |
| DRAWN | | DWG # | | |
| CHKD | | A300 | | |
| | | PROJECT# | | |



3 EAST ELEVATION - UNIT 1
Scale: 1:100



4 WEST ELEVATION - UNIT 1
Scale: 1:100



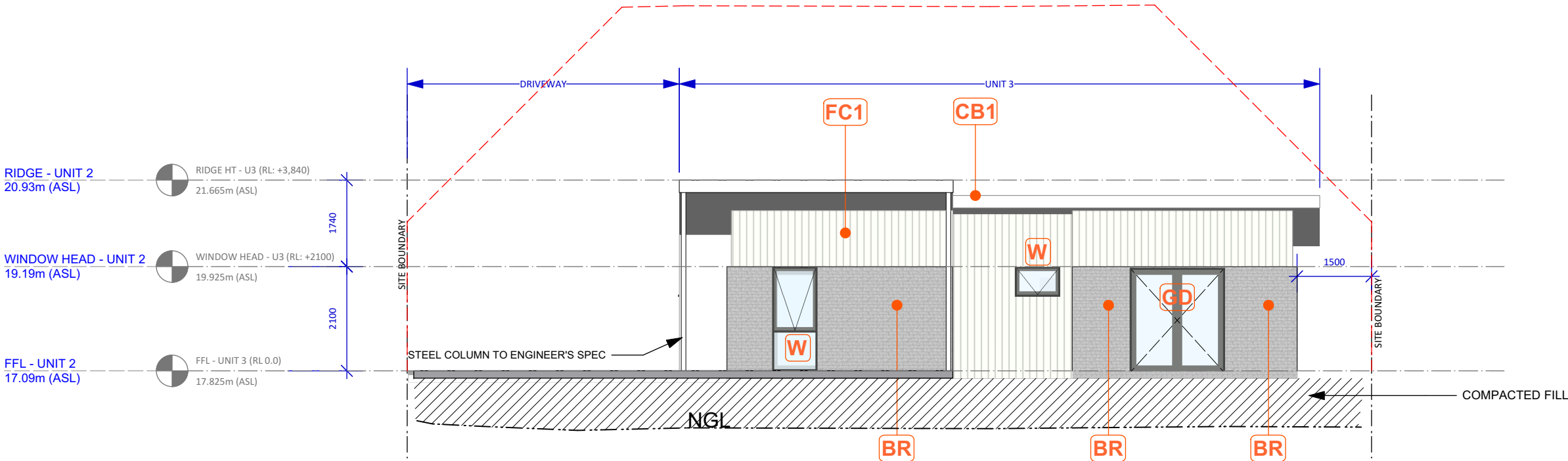
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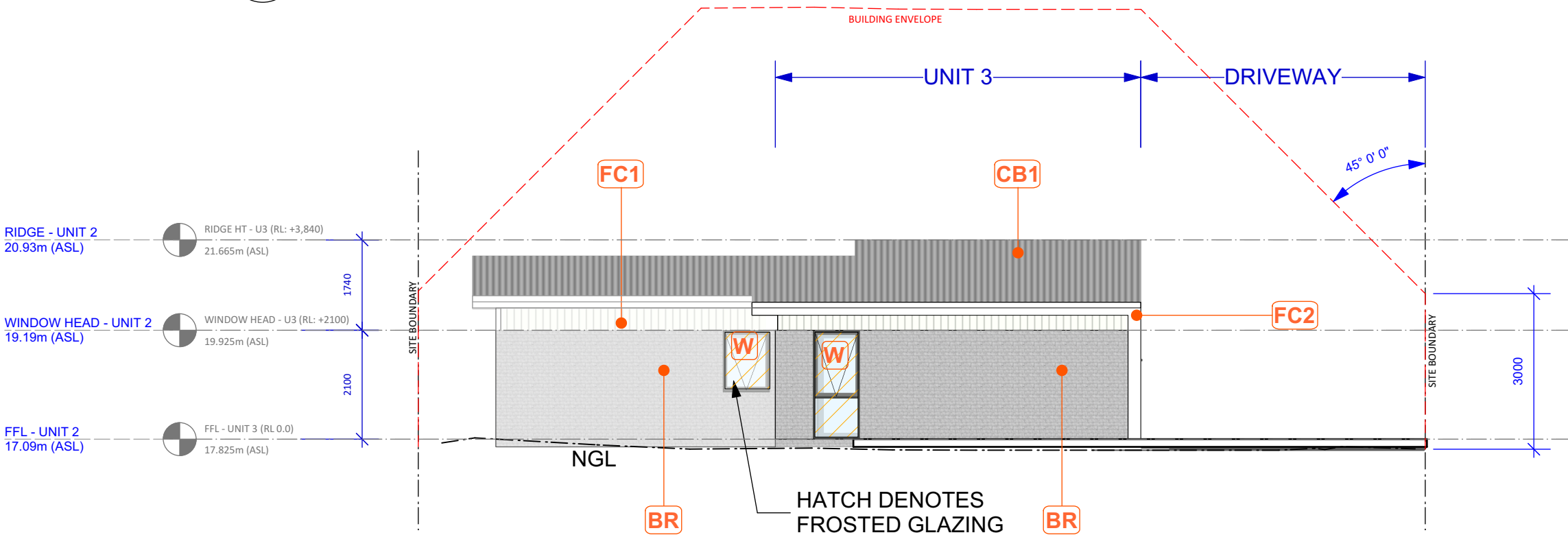


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| REVISION A | DATE | 21/12/2023 | DESCRIPTION | DA |
|--|------|------------|--|------|
| ADDRESS | | | 52 Nicholls St, DEVONPORT | |
| CLIENT | | | ELKS Investments | |
| DWG | | | ELEVATIONS - UNIT 1 | |
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| do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS | | | ISSUE | DA |
| SCALE @SO A3 | | | DWG # | A301 |
| DRAWN | | | PROJECT# | |
| CHKD | | | | |



1A TYPICAL NORTH ELEVATION - UNIT 2 & 3
Scale: 1:100



2A TYPICAL SOUTH ELEVATION - UNITS 2 & 3
Scale: 1:100



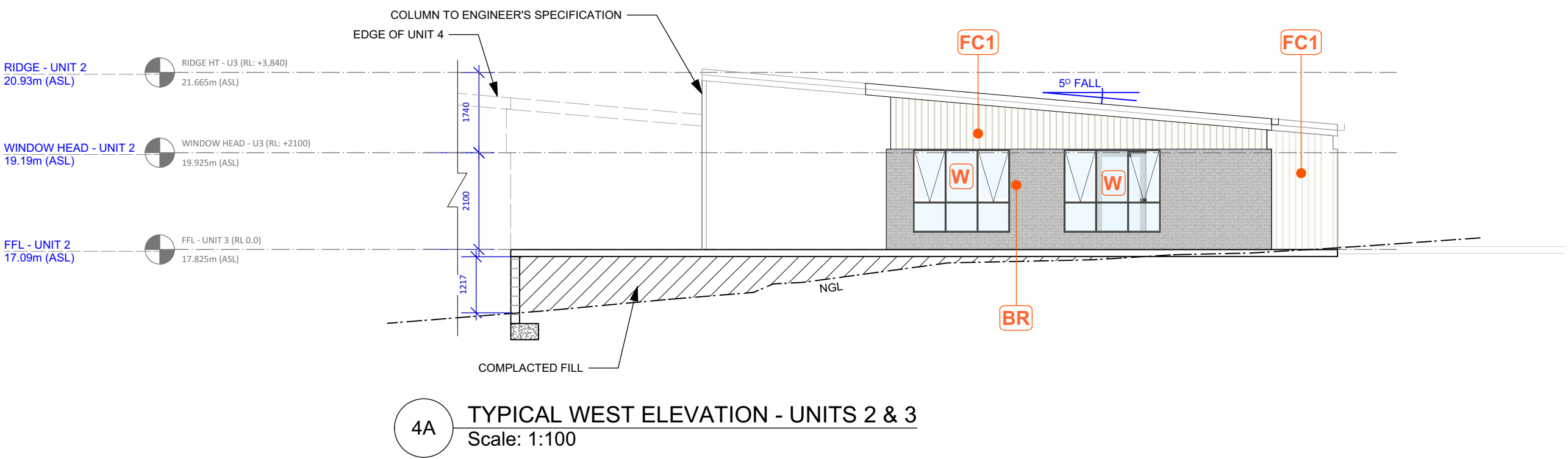
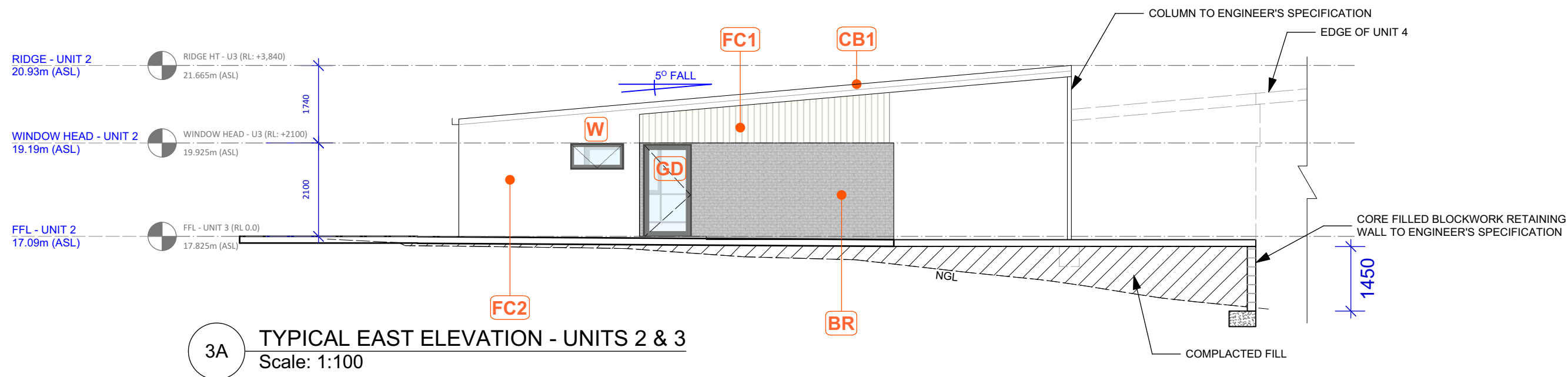
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LOCATION OF SITE FEATURES
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| REVISION B | DATE | 31/01/2024 | DESCRIPTION | DA RFI 1 - UNIT 2 & 3 | PLAN REVISION | | | |
|--|---------------------------|------------|-------------|-----------------------|--|--------------|------|-------|
| ADDRESS | 52 Nicholls St, DEVONPORT | | | | do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS | ISSUE | DA | |
| CLIENT | ELKS Investments | | | | | DWG # | A302 | |
| DWG | ELEVATIONS - UNITS 2 & 3 | | | | | SCALE @SO A3 | | 1:100 |
| | | | | | | DRAWN | | |
| | | | | | CHKD | PROJECT# | | |
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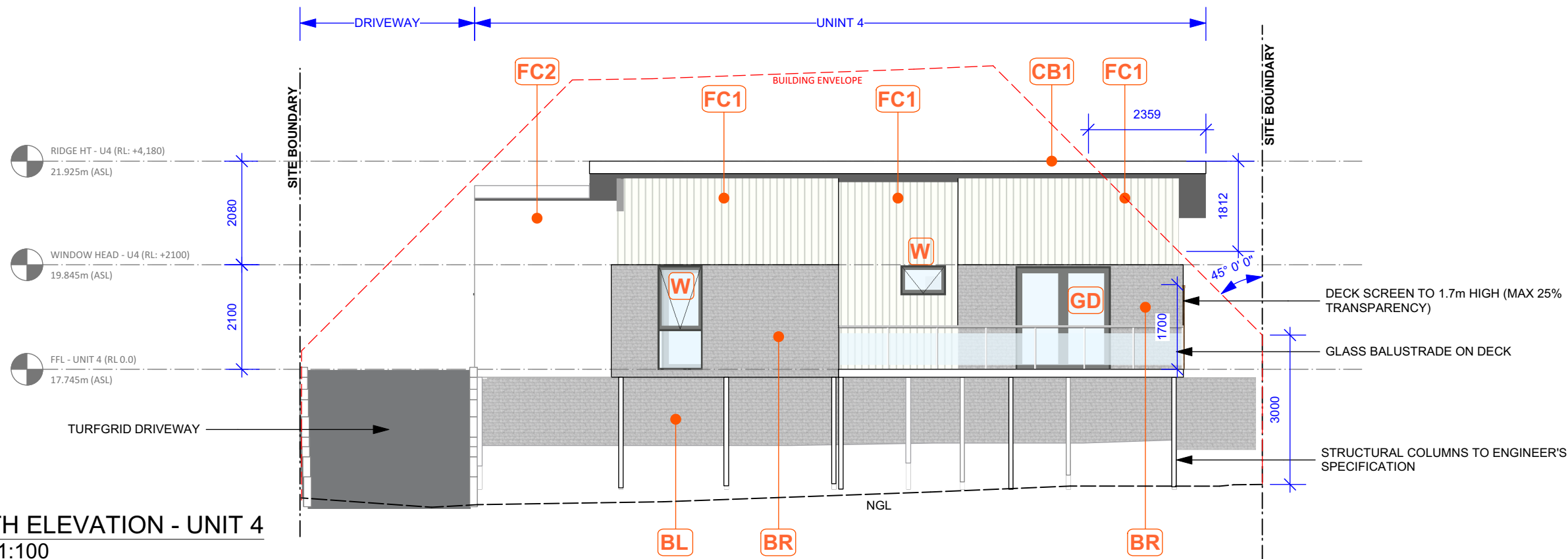
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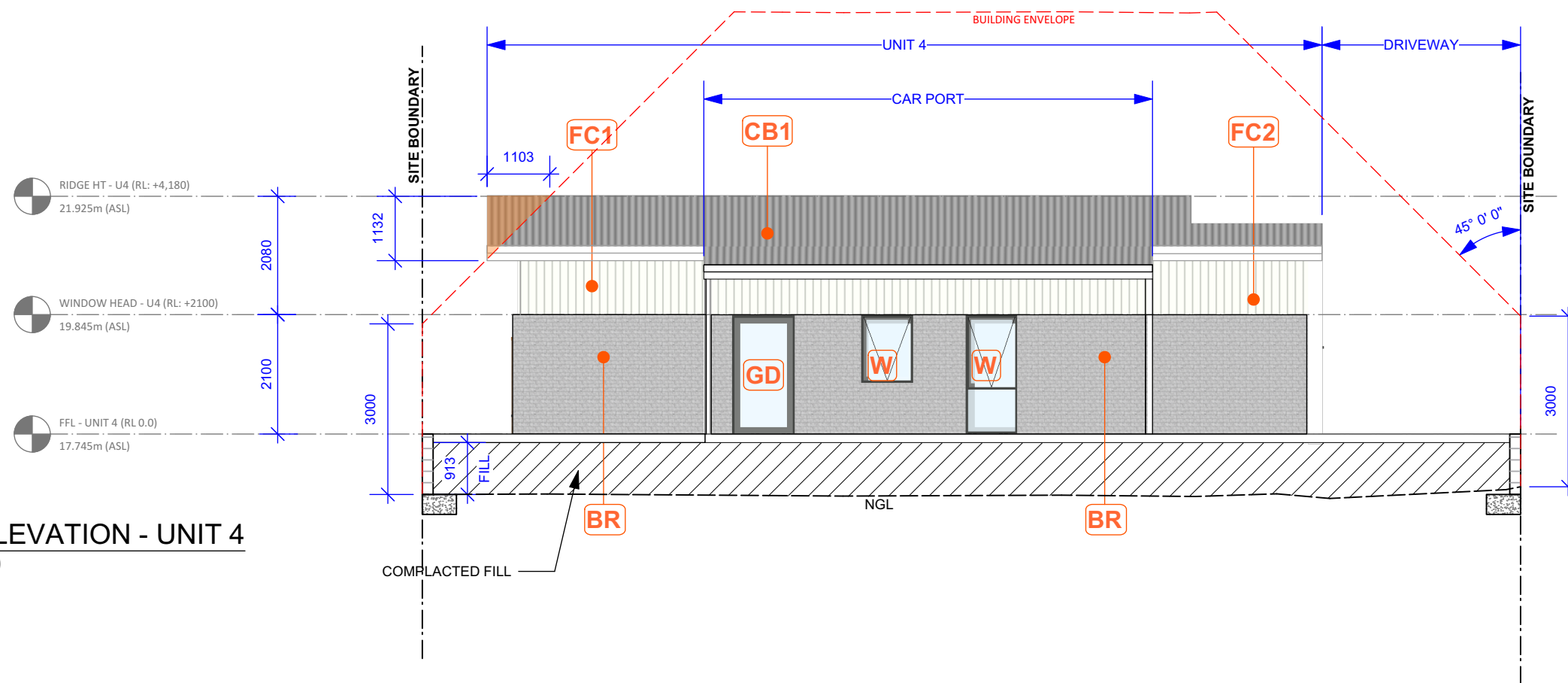


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| REVISION B | DATE | 31/01/2024 | DESCRIPTION | DA RF1 1 - UNIT 2 & 3 PLAN REVISION | ISSUE | DA | |
|--|---------------------------|------------|-------------|--|--------------|------|-------|
| ADDRESS | 52 Nicholls St, DEVONPORT | | | do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS | DWG # | A303 | |
| CLIENT | ELKS Investments | | | | SCALE @SO A3 | | 1:100 |
| DWG | ELEVATIONS - UNITS 2 & 3 | | | | DRAWN | | |
| | | | | CHKD | PROJECT# | | |
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1 NORTH ELEVATION - UNIT 4
Scale: 1:100



2 SOUTH ELEVATION - UNIT 4
Scale: 1:100



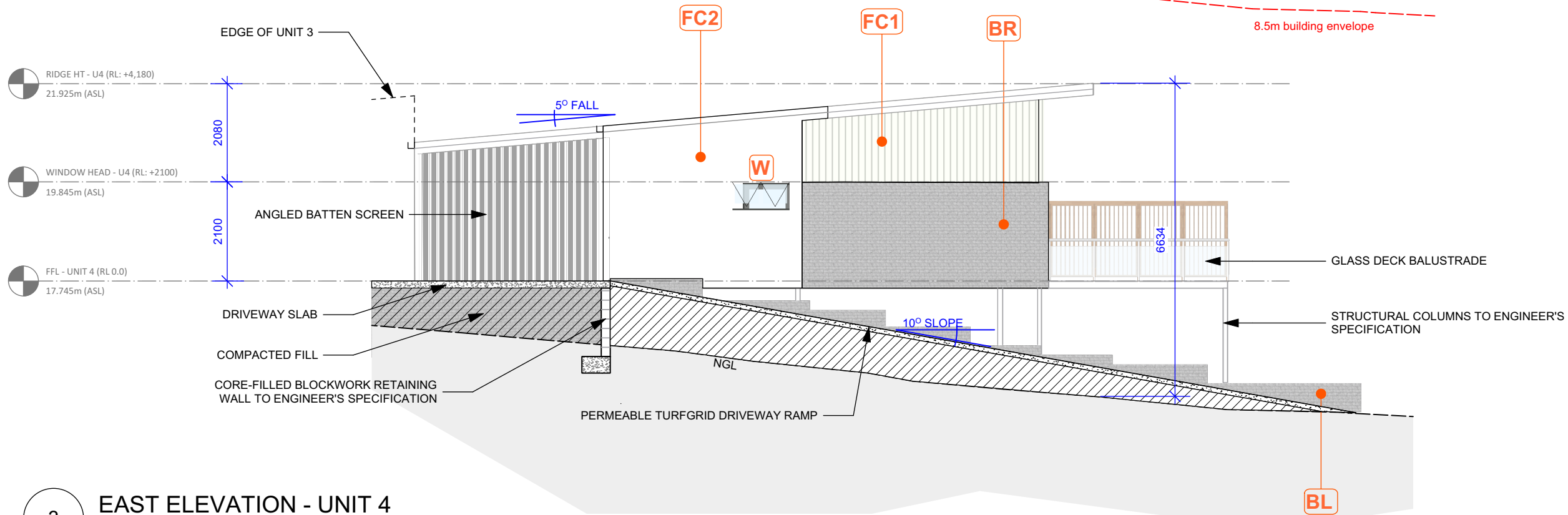
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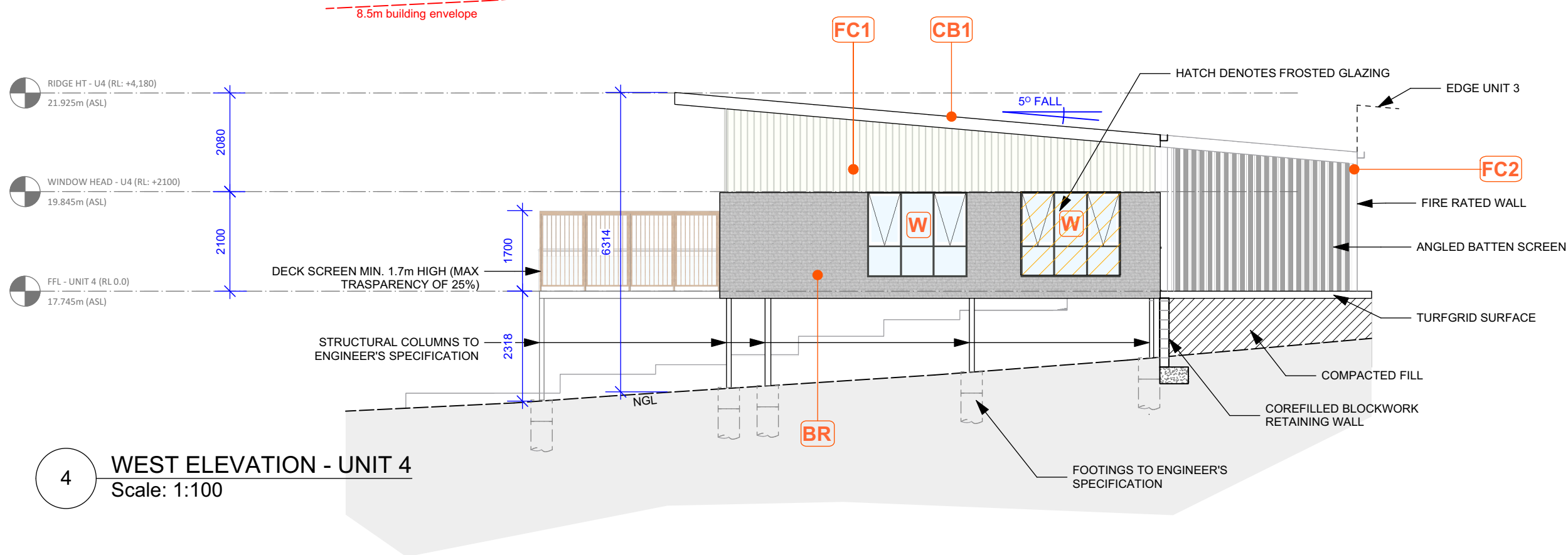


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| REVISION A | DATE | 21/12/2023 | DESCRIPTION | DA |
|--|------|------------|--|------|
| ADDRESS | | | 52 Nicholls St, DEVONPORT | |
| CLIENT | | | ELKS Investments | |
| DWG | | | ELEVATIONS - UNITS 4 | |
| S. Group | | | Level 1, 10-14 Paterson st, Launceston Level 1, 90-92 Murray st, Hobart 552 Victoria st, North Melbourne | |
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| SCALE @SO A3 1:100 | | | DWG # | A304 |
| DRAWN | | | PROJECT# | |
| CHKD | | | | |



3 EAST ELEVATION - UNIT 4
Scale: 1:100



4 WEST ELEVATION - UNIT 4
Scale: 1:100



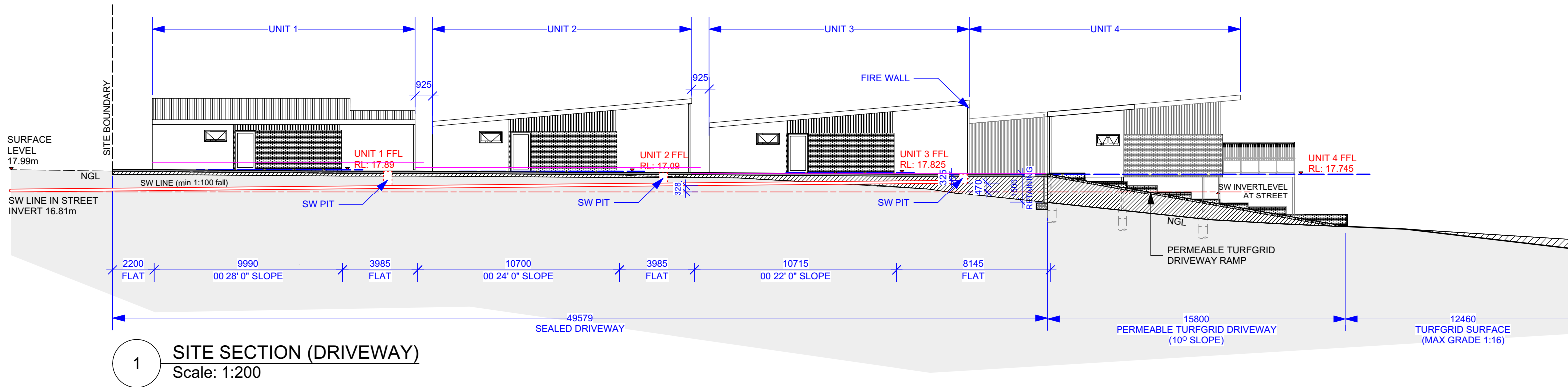
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| ADDRESS | | 52 Nicholls St, DEVONPORT | | |
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| DWG | | ELEVATIONS - UNITS 4 | | |
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| do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS | | ISSUE | | |
| SCALE @SO A3 | | 1:100 | | |
| DRAWN | | A305 | | |
| CHKD | | PROJECT# | | |



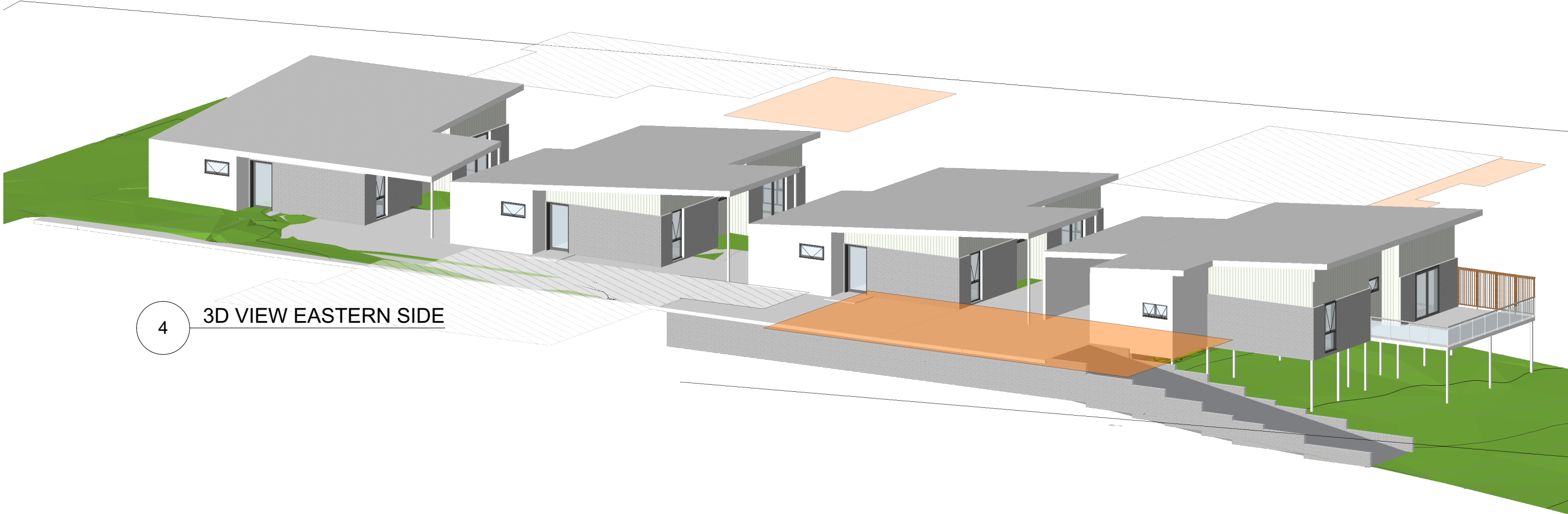
SITE PLAN NOTES:
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LOCATION OF SITE FEATURES
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FROM AERIAL PHOTOGRAPHY.

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| REVISION C | DATE | 19/02/2024 | DESCRIPTION | DA RFI - TURFGRID PARKING ADDED | | |
|--|---------------------------|------------|-------------|--|----------|------|
| ADDRESS | 52 Nicholls St, DEVONPORT | | | do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS | ISSUE | DA |
| CLIENT | ELKS Investments | | | SCALE @SO A3 1:100 | DWG # | A500 |
| DWG | SITE SECTION | | | DRAWN | | |
| | | | | CHKD | PROJECT# | |
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4 3D VIEW EASTERN SIDE



2 3D STREET VIEW
Scale: 1:200

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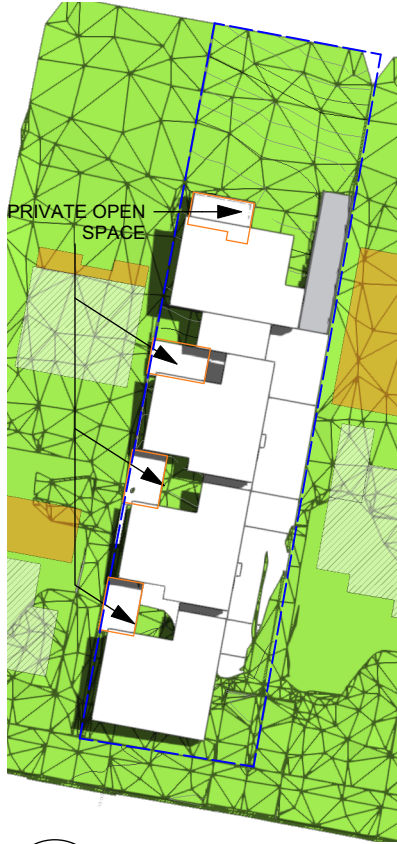
| REVISION B | DATE | 31/01/2024 | DESCRIPTION | DA RFI 1 - UNIT 2 & 3 | PLAN REVISION | | |
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| DWG | | | | 3D VIEWS | SCALE @SO A3 1:100 | PROJECT# | |
| | | | | DRAWN | | | |
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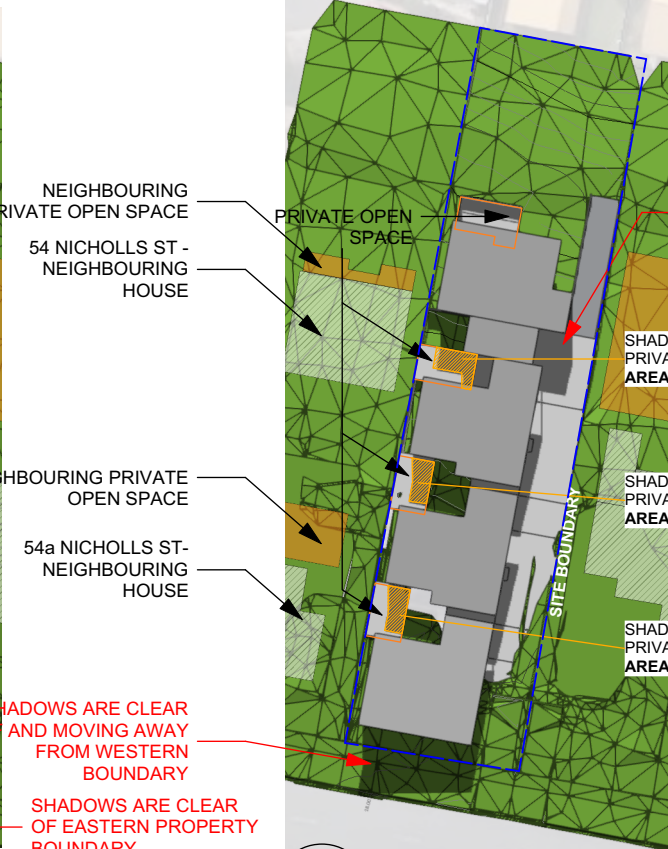




1 10AM JUNE 21



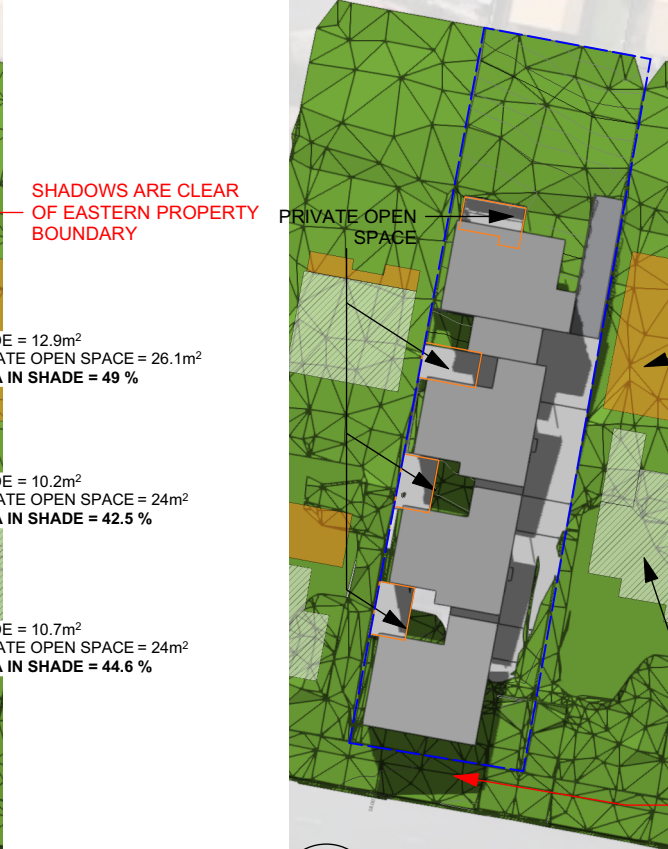
6 10AM DEC 22



2 12PM JUNE 21



7 12PM DEC 22



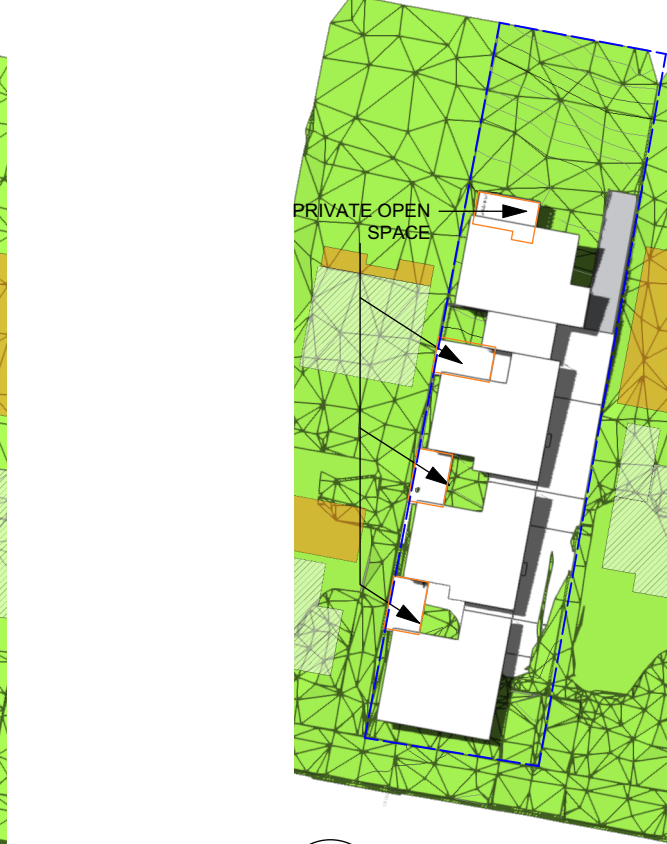
3 1PM JUNE 21



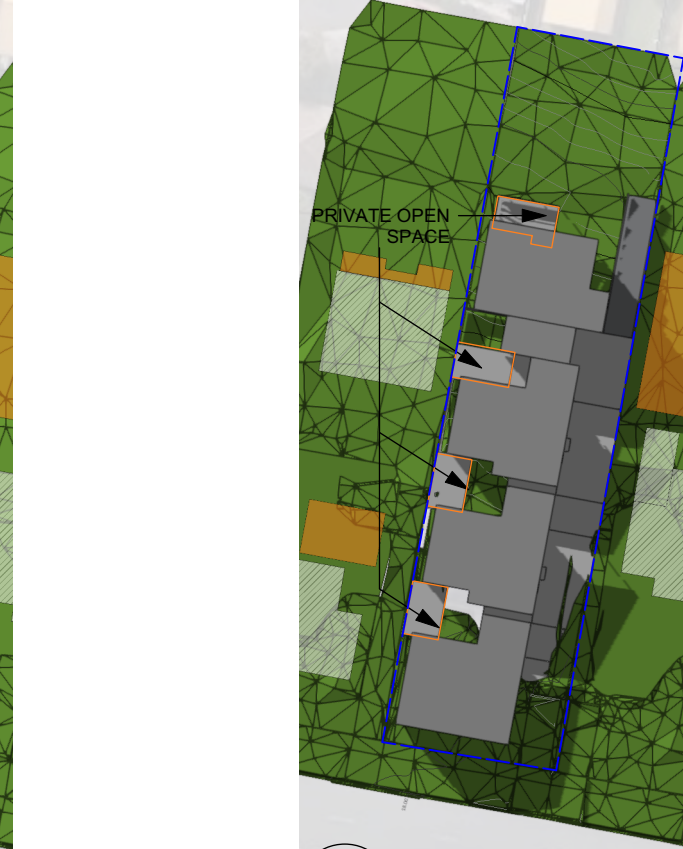
8 1PM DEC 22



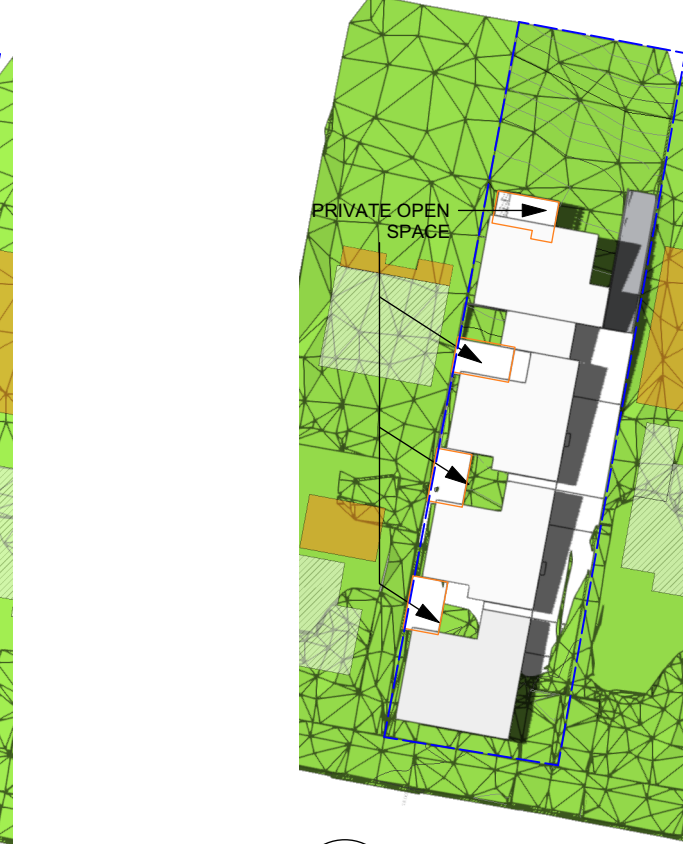
4 2PM JUNE 21



9 2PM DEC 22



5 3PM JUNE 21



10 3PM DEC 22

FOR DEVELOPMENT APPLICATION ONLY



create.wonder.



| | | | | | | |
|--|---------------------------|------------|-------------|--|----------|------|
| REVISION C | DATE | 19/02/2024 | DESCRIPTION | DA RFI - NEIGHBOURING HOUSES ADDED | | |
| ADDRESS | 52 Nicholls St, DEVONPORT | | | do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS | ISSUE | DA |
| CLIENT | ELKS Investments | | | SCALE @SO A3 1:100 | DWG # | A901 |
| DWG | SUN SHADOW DIAGRAMS | | | DRAWN | | |
| | | | | CHKD | PROJECT# | |
| S. Group Level 1, 10-14 Paterson st, Launceston Level 1, 90-92 Murray st, Hobart 552 Victoria st, North Melbourne | | | | | | |
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