



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2024.0013
Proposed Use or Development:	Residential (outbuilding)
Address of the Land:	6 Kath's Way, Aberdeen
Date of Notice:	02/03/2024

You are invited to view the application and any documents and plans accompanying it on the ground floor of the parnaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **18/03/2024**;
- be in writing; and
- addressed to the General Manager, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - council@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



Devonport City Council

PA2024.0013 - 6 Kath's Way, Aberdeen

This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.

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Devonport
City Council

TOM ARTHUR ROBERTSON

PROPOSED SHED

6 KATHS WAY, ABERDEEN

DRAWING SCHEDULE

SHEET	DESCRIPTION	REV	ISSUE DATE
A100	COVER PAGE	A	10/02/24
A101	SITE PLAN	A	10/02/24
A102	CONSTRUCTION NOTES 1 OF 2	A	10/02/24
A103	CONSTRUCTION NOTES 2 OF 2	A	10/02/24

GENERAL INFORMATION

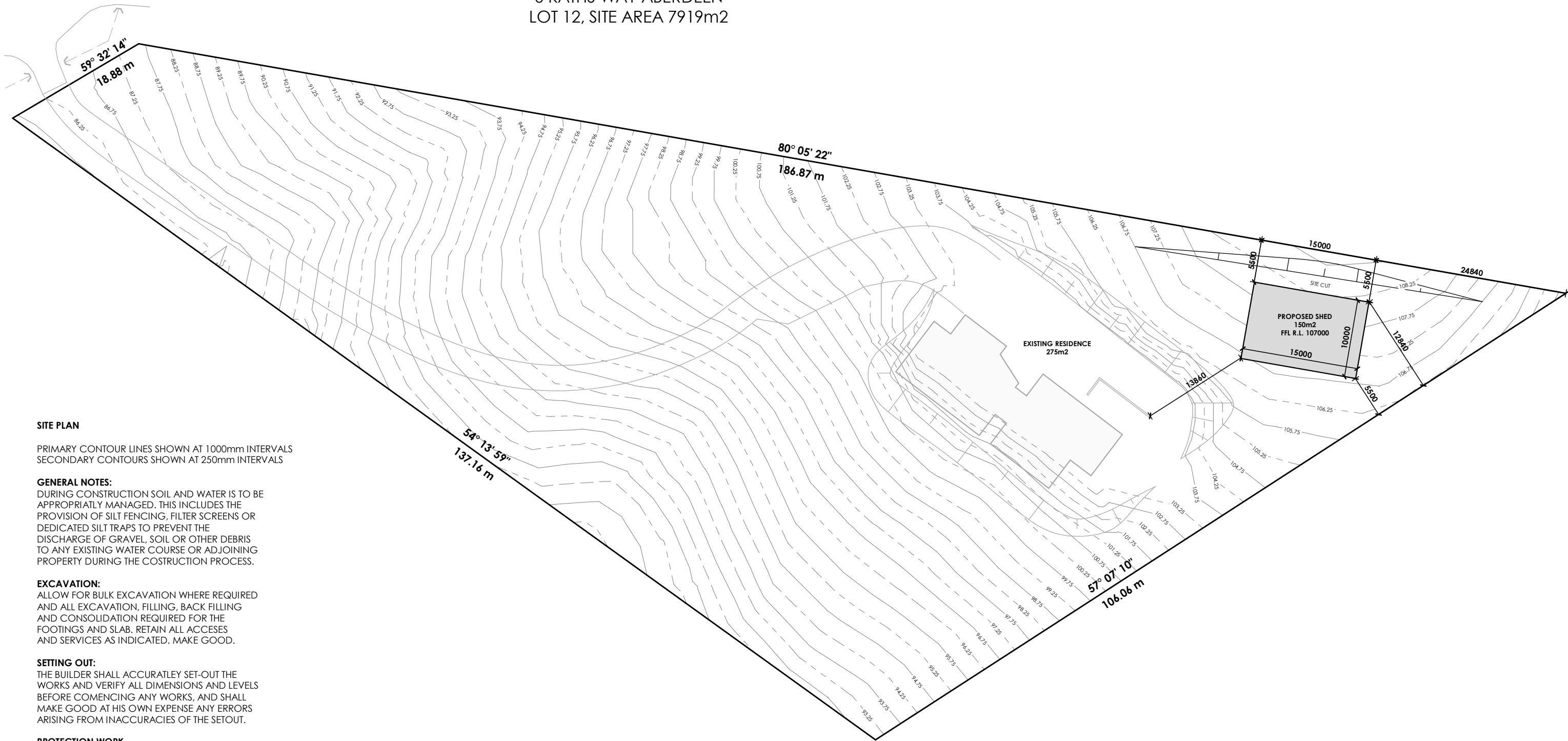
ACCREDITED DESIGNER:	NICHOLAS BRANDSEMA
ACCREDITATION NUMBER:	047538582
LAND TITLE REFERENCE NUMBER:	PID9165678, TITLE REF 177910/12
COUNCIL ZONE:	RURAL LIVING
COUNCIL:	DEVONPORT CITY COUNCIL

FLOOR AREAS	
SHED FLOOR AREA:	150m2 (16 SQUARES)

SITE INFORMATION	
SITE AREA:	7919m2
DESIGN WIND SPEED:	N3
SOIL CLASSIFICATION:	CLASS P
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	N/A
BUSHFIRE ATTACK LEVEL:	N/A
CLIMATE ZONE:	7

KATHS WAY

PROPOSED SHED
6 KATHS WAY ABERDEEN
LOT 12, SITE AREA 7919m2



SITE PLAN

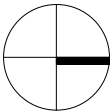
PRIMARY CONTOUR LINES SHOWN AT 1000mm INTERVALS
SECONDARY CONTOURS SHOWN AT 250mm INTERVALS

GENERAL NOTES:
DURING CONSTRUCTION SOIL AND WATER IS TO BE APPROPRIATLY MANAGED. THIS INCLUDES THE PROVISION OF SILT FENCING, FILTER SCREENS OR DEDICATED SILT TRAPS TO PREVENT THE DISCHARGE OF GRAVEL, SOIL OR OTHER DEBRIS TO ANY EXISTING WATER COURSE OR ADJOINING PROPERTY DURING THE COSTRUCTION PROCESS.

EXCAVATION:
ALLOW FOR BULK EXCAVATION WHERE REQUIRED AND ALL EXCAVATION, FILLING, BACK FILLING AND CONSOLIDATION REQUIRED FOR THE FOOTINGS AND SLAB. RETAIN ALL ACCESES AND SERVICES AS INDICATED. MAKE GOOD.

SETTING OUT:
THE BUILDER SHALL ACCURATLEY SET-OUT THE WORKS AND VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMENCING ANY WORKS, AND SHALL MAKE GOOD AT HIS OWN EXPENSE ANY ERRORS ARISING FROM INACCURACIES OF THE SETOUT.

PROTECTION WORK
(SECTION 121 OF THE BUILDING ACT)
IF EXCAVATION IS TO A LEVEL BELOW THAT OF THE ADJOINING OWNER'S FOOTINGS, ALONG THE TITLE BOUNDARY OR WITHIN 3 METRES OF A BUILDING BELONGING TO AN ADJOINING OWNER, THE BUILDER MUST (AS A MINIMUMUM) PROVIDE AND MAINTAIN A SUPPORT. ADJOINING OWNER TO BE NOTIFIED USING FORM 6 (BUILDING AND PROTECTION WORK NOTICE).



SITE PLAN
Scale 1 : 500

n+b

22 Fieldings Way
Ulverstone, Tasmania
Australia
7315

m 0417 134 369 e nick@nplusb.com.au
License No. 047538582 ABN 946 222 219 16

Issued As

PLANNING

Scale A3

1 : 500

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Revision

No.

Date

Description

A10/02/24Issued as PLANNING

do not scale off plans
all dimensions are in millimeters
confirm all dimensions on site
all work relevant n NCC & AS

Project

PROPOSED RESIDENCE & SHED

Location

6 KATHS WAY, ABERDEEN

Client

TOM ARTHUR ROBERTSON

Sheet Title

SITE PLAN

Drawn

Issue Date

Project No.

Revision

NJB10/02/24TBA A

Sheet Number

A101

/A103

GENERAL	ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE 2016 [NCC] INCLUDING - THE BUILDING CODE OF AUSTRALIA 2019 - THE PLUMBING CODE OF AUSTRALIA CODES - RELEVANT STANDARDS AUSTRALIA CODES - THE BUILDING REGULATIONS 2016 INCLUDING AMENDMENTS FOR EACH			
	ALL WORK TO BE CARRIED OUT AS DOCUMENTED UNLESS INSTRUCTED OTHERWISE BY THE BUILDING DESIGNER OR THE OWNERS. USE ALL PRODUCTS & INSTALL ALL MATERIALS AS PER THE RESPECTIVE MANUFACTURERS RECOMMENDATIONS.			
	CHANGES MUST NOT BE MADE THAT EFFECT THE ENERGY RATING WITHOUT REFERRING BACK TO THE ENERGY RATER FOR RE-ASSESSMENT.			
EARTHWORKS & SITEWORKS	CHECK ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS. FIGURED DIMENSIONS TO HAVE PREFERENCE OVER SCALE			
	GROUNDLINES SHOWN ARE APPROXIMATE ONLY AND HAVE BEEN DETERMINED FROM SPOT LEVELS TAKEN ON SITE.			
	ALL WORK SHALL COMPLY WITH AS3798			
GENERAL	CHECK WITH LOCAL AUTHORITIES REGARDING TREE PRESERVATION ORDERS OVER THE SITE.COMPLY WITH ALL REQUIREMENTS TO LIMIT STORM WATER RUN OFF FROM THE SITE DURING CONSTRUCTION.			
	CHECK WITH LOCAL COUNCIL FOR TEMPORARY AND PERMANENT SITE ACCESS REQUIREMENTS THE OWNERS SHALL VERIFY THE CORRECT BOUNDARY LINE OF THE PROPERTY. CONSEQUENT TO THAT THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETTING OUT OF THE PROPOSED WORKS.			
	ALL DIMENSIONS TO BE SITE CHECKED			
GENERAL	THE BUILDER SHALL CONFIRM GROUND LEVELS AND DETERMINE THE FINISHED FLOOR LEVEL ON SITE WITH THE OWNERS.			
	REFER TO THE CONTRACT FOR EXCAVATION IN ROCK PROCEDURES AND RATES. EXCAVATION AND BACK FILLING SHALL COMPLY WITH THE B.C.A. PART 3.1 AND AS2870. DRAINAGE WORK SHALL COMPLY WITH THE NCC 3.1/ AS/NZ3500.			
	FLOOR SLABS SHALL BE A MINIMUM OF 150mm ABOVE FINISHED GROUND LEVELS 50mm ABOVE PAVED SURFACES			
GENERAL	DOMESTIC DRAINAGE LINES SHALL BE PARALLEL TO THE DWELLING AND 1000mm MINIMUM FROM THE WALL FACE. ENSURE PERMANENT NATURAL DRAINAGE IS AVAILABLE SO THAT THE STORM WATER FALLS AWAY FROM THE STRUCTURE ON ALL SIDES AT A RATIO OF 1:60 MINIMUM AT LEAST 1000mm WIDE.			
	BUILDING SETOUT : ACCURATELY SETOUT NEW BUILDING AS PER DRAWINGS. ANY DISCREPANCIES TO BE REFERRED TO THE BUILDING DESIGNER FOR CLARIFICATION BEFORE PROCEEDING. DIMENSIONS FROM BUILDING TO BOUNDARIES ARE FROM THE FACE OF STUD FRAMING FOR CLAD WALLS & TO FACE OF MASONRY VENEER UNLESS NOTED OTHERWISE.			
	EXISTING SERVICES : BEFORE COMMENCING ANY EXCAVATION ALL EXISTING SERVICES LIKELY TO BE AFFECTED ON OR ADJACENT TO THE SITE ARE TO BE LOCATED. A 'DIAL BEFORE YOU DIG' INQUIRY HAS BEEN MADE AT DESIGN STAGE & DRAINS & SERVICES HAVE BEEN SHOWN ACCORDINGLY ON THE SITE SERVICES PLAN FROM INFORMATION RECEIVED FROM THE RELEVANT AUTHORITIES. LOCATE BY A VISUAL INSPECTION & POTHOLING WITH HAND TOOLS PRIOR TO USING MECHANICAL EQUIPMENT.			
GENERAL	BULK EXCAVATION : BULK EXCAVATE AS REQD. TO THE AREAS & LEVELS INDICATED ON THE SITE PLAN. EXCAVATED AREAS BEYOND THE BUILDING LINE TO HAVE NOM. 100mm OF TOPSOIL REMOVED, STOCKPILED & REGRADED OVER THE EXCAVATED AREAS TO BE LANDSCAPED ON COMPLETION. ALL EXCESS EXCAVATED MATERIAL IS TO BE REMOVED FROM THE SITE.			
	PROTECTION - ADJOINING PROPERTY : AS REQUIRED BY PART 6 OF THE BUILDING ACT & REGULATION 16 OF THE BUILDING REGS. 2016. WHERE A SECTION OF RETAINING WALL IS TO BE CONSTRUCTED ON THE BOUNDARY FENCE LINE - PROVIDE PROTECTION FOR CONSTRUCTION AS SHOWN ON THE SITE PLAN. A 'FORM 6 - NOTICE FOR PROPOSED PROTECTION WORK' WILL BE ISSUED BY THE DESIGNER TO THE ADJOINING OWNER. A COPY WILL ALSO BE PROVIDED TO THE BUILDING SURVEYOR.			
	SEDIMENT CONTROL : TAKE ALL NECESSARY PRECAUTIONS TO ENSURE ALL SEDIMENT FROM EXCAVATED AREAS & STOCKPILED MATERIAL IS CONTAINED WITHIN THE SITE FOR THE DURATION OF THE PROJECT CONSTRUCTION. PROVIDE SUITABLE BARRIERS DOWNSLOPE FROM EXCAVATED AREAS. PREPARE DRIVEWAY GRAVEL BASE ADJOINING FRONTAGE TO ENSURE DEBRIS IS NOT TRANSFERRED ONTO THE FOOTPATH OR ROADWAY DURING CONSTRUCTION.			
GENERAL	BASE PREPARATION FOR CONCRETE SLABS : EXCAVATE TO A FIRM BOTTOM. PROVIDE MIN.100mm THICK GRAVEL BASE - MAX. AGGREGATE SIZE 25mm. DAMPEN & COMPACT WITH A MECHANICAL VIBRATOR PLATE OR ROLLER. PROVIDE NOMINAL 30mm LAYER OF COURSE SAND OR CRUSHER DUST AS A LEVEL BED FOR VAPOUR BARRIER			
	FOOTINGS : EXCAVATE FOR ALL STRIP & ISOLATED FOOTINGS. REFER ENGINEERS DRAWINGS. ALL FOOTINGS TO BE TAKEN DOWN TO A FIRM, SOUND BOTTOM. REFER ENGINEERS DWGS. FOR FOUNDING DEPTH. DEPTH SHOWN ON ELEVATIONS ARE INDICATIVE ONLY. WHEN THE DEPTH IS INCREASED SIGNIFICANTLY FOR ANY REASON THIS WILL BE REGARDED AS A VARIATION & ADDED TO THE CONTRACT SUM. IT IS THE BUILDERS RESPONSIBILITY TO OBTAIN APPROVAL FOR THE ADDITIONAL WORK FROM THE OWNERS & THE EXTRA COST INVOLVED BEFORE PROCEEDING.			
	SERVICES EXCAVATION : EXCAVATE TO THE LINES, LEVELS & GRADES AS REQD. FOR DRAINAGE, WATER, POWER & ANY OTHER UNDERGROUND SERVICES SPECIFIED IN THE RESPECTIVE SECTIONS. UNLESS DIRECTED OTHERWISE TRENCHES TO BE STRAIGHT WITH VERTICAL SIDES & UNIFORM GRADES. PREVENT SPOIL RUNNING BACK INTO TRENCHES. B10. BASE PREPARATION FOR CONCRETE DRIVEWAY : EXCAVATE TO A FIRM BOTTOM. PROVIDE MIN.100mm THICK GRAVEL BASE - MAX. AGGREGATE SIZE 25mm. DAMPEN & COMPACT WITH A MECHANICAL VIBRATOR PLATE OR ROLLER.			
GENERAL	BOUNDARY RETAINING WALL : TO BE ISLAND BLOCK & PAVING FREESTONE ECO BLOCK WALL ON REINFORCED CONCRETE STRIP FOOTINGS & CORE FILLED. CAST IN FENCE POSTS. CUT TOP BLOCK ON SLOPE TO SUIT FENCE - SQUARE EDGE ECO CAPPING. REFER ENGINEERS DRAWINGS FOR DETAILS.			
	LANDSCAPE RETAINING WALLS : TO BE ISLAND BLOCK & PAVING FREESTONE ECO BLOCK WALLS ON REINFORCED CONCRETE STRIP FOOTINGS OR COMPACTED GRAVEL BASE AS NOTED & DETAILED. EXTENT AS SHOWN ON SITE PLAN PROVIDE STEPS IN WALL TOP - SINGLE COURSE INCREMENTS - USE CORNER BLOCK AT STEPS. REFER ENGINEERS DRAWINGS FOR DETAILS.			
	SITE GRADING & FILL : STOCKPILED TOPSOIL TO BE USED TO GRADE SITE WHERE REQUIRED TO PROVIDE FALL AWAY FROM BUILDING & PAVING & TO THE FINISHED LEVELS SHOWN ON THE SITE PLAN. MIN. COVER TO TOP OF FOOTINGS TO BE 150mm.			
GENERAL	CONCRETE			
	GENERAL REFER ENGINEERS DRAWINGS FOR ALL CONCRETE DETAILS & SPECIFICATION NOTES.			
	BASE PREPARATION : PROVIDE COMPACTED GRAVEL BASE / FILL TO AREAS REQUIRED TO PROVIDE A SOLID BASE FOR ALL EXTERNAL CONCRETE.			
GENERAL	FLOOR FALLS - FLOOR WASTES : FINISH SLAB WITH FALLS OF MIN. 1 : 100 TOWARDS FLOOR WASTES. SLABS MAY BE FINISHED INTEGRAL WITH THE SLAB POUR OR PROVIDE SLAB SETDOWNS & FINISH WITH A DEFERRED TOPPING. REFER DRAINAGE PLAN FOR FLOOR WASTE LOCATIONS.			
	CONCRETE - EXPOSED AGGREGATE : BASE PREPARATION - REFER 'EARTHWORKS & SITEWORKS' PROVIDE TO DRIVEWAY + ENTRANCE PATH. REFER SITE PLAN DWG. No 1. FOR EXTENT & FALLS. AGGREGATE BLEND TO FUTURE SELECTION - SUBMIT SAMPLES. TO BE 100 CONCRETE + SŁ72 MESH - 40 TOP COVER. TOOL ALL EDGES. SAW CUT CONTROL JOINTS AT 5 METRE NOM. CRS. LOCATIONS TO BE AS AGREED ON SITE. SEALER - APPLY 2 COATS AUSEAL CURITE SOLVENT BASED CLEAR SEALER AS PER THE MANUFACTURERS INSTRUCTIONS. SEAL AT JUNCTIONS WITH BUILDING WITH 100 x 10mm FLEXIBLE FOAM JOINTING STRIP WITH ZIPPERED TOP EDGE. AFTER CONCRETE POUR REMOVE TOP STRIP & FULLY SEAL WITH A POLYURETHANE SEALANT APPLIED AS PER THE MANUFACTURERS RECOMMENDATIONS.			
	PAVING SLABS : TO BE 100 THICK + SŁ62 MESH - 40 TOP COVER. TOOL ALL EDGES. SAW CUT CONTROL JOINTS AT 5 METRE NOM. CRS. LOCATIONS TO BE AS AGREED ON SITE. COLOURED SEALER BY OWNER.			
GENERAL	STRUCTURAL STEEL & METALWORK			
	ALL WORKMANSHIP & MATERIALS TO BE IN ACCORDANCE WITH AS4100. CLEATS, FIXINGS, ETC. NOT SHOWN, TO BE PROVIDED BY THE FABRICATOR.			
	UNLESS SHOWN OTHERWISE, CONNECTIONS SHALL HAVE: 6mm CFW, 2M16 8.8/5 BOLTS & 10mm THICK CLEAT PLATES.			
GENERAL	ALL STRUCTURAL STEEL WORK MUST BE PROTECTED AGAINST CORROSION IN ACCORDANCE WITH THE BCA OF AUSTRALIA, CLAUSE 3.4.4.4 & TABLE 3.4.4.2.			
	THE ENGINEERS REVIEW OF SHOP DRAWINGS SHALL BE LIMITED TO THE CHECKING OF MEMBER SIZES, CONNECTION CONFIGURATIONS & CAMBERS. IT DOES NOT INCLUDE CHECKING DIMENSIONS.			
	STRUCTURAL STEEL ROOF BEAMS, TRUSSES, PORTALS, ETC. TO HAVE A PRE CAMBER OF 2mm FOR EVERY 1000mm OF SPAN U.N.O.			
GENERAL	GALVANISED STEEL WORK THAT IS SITE WELDED OR SUSTAINS ANY OTHER KIND OF SURFACE DAMAGE IS TO BE PREPARED TO AS 1627.2 CLASS 3 & PRIMED WITH 2 COATS OF GALVINITE TO MANUF. SPEC.			
	WELDING TO BE IN ACCORANCE WITH AS1554.			
	BOLTS SHALL BE COMMERCIAL GRADE TO AS1111.1 OR HIGH STRENGTH TO AS 1252.			
GENERAL	STEEL WORK BELOW GROUND LEVEL SHALL BE INCASED IN CONCRETE WITH A MIN. COVER OF 75mm.			
	ALL STEEL BEAMS & LINTELS TO HAVE 110mm MIN. END BEARING U.N.O.			
	PLUMBING & DRAINAGE			
GENERAL	INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES			
	ALL PLUMBING & DRAINAGE TO BE IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS.			
	PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.			
GENERAL	SERVICES THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B OF NCC VOLUME 3 PLUMBING CODES OF AUSTRALIA			
	THERMAL INSULATION FOR HEATED WATER PIPING MUST: 1) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND 2) BE ABLE TO WITHSTABD THE TEMPERATURE WITHIN THE PIPING; AND 3) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1			
	HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS;			
GENERAL	INTERNAL PIPING ALL FLOW AND RETURN INTERNAL PIPING THAT IS; -WITHIN AN UNVENTILATED WALL SPACE -WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR -BETWEEN CEILING INSULATION AND CEILING			
	MUST HAVE A MINIMUM R-VALUE OF 0.2 (IE 9mm OF CLOSED CELL POLYMER INSULATION)			
	PIPING LOCATED WITHIN A VENTIATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR ROOF SPACE. 1) ALL FLOW AND RETURN PIPING 2) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING- WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM			
GENERAL	MUST HAVE A MINIMUM R-VALUE OF 0.45 (IE 19mm OF CLOSED CELL POLYMER INSULATION)			
	PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE 1) ALL FLOW AND RETURN PIPING 2) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING- WITHIN 500MM OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM			
	MUST HAVE A MINIMUM R-VALUE OF 0.6 (IE 25mm OF CLOSED CELL POLYMER INSULATION)			
GENERAL	PIPING WITHIN AN INSULATED TIMBER FRAMED WALL SUCH AS THAT PASSING THROUGH A WALL STUD IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.			
	DOWNPIPES MUST NOT SERVE MORE THAN 12M GUTTER LENGTH FOR EACH DOWNPIPE. AS PER BCA 3.5.2.5.			
	DOWNPIPES MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND, IF THE DOWNPIPE IS MORE THAN 1.2M FROM A VALLEY, PROVISION FOR OVERFLOW MUST BE MADE TO THE GUTTER.			
GENERAL	RENOVATION/DEMOLITION			
	GENERAL DEMOLITION: TO AS2601			
	TEMPORARY SUPPORT GENERAL: IF TEMPORARY SUPPORT IS REQUIRED, CERTIFICATION FOR ITS DESIGN AND INSTALLATION IS REQUIRED FROM A PROFESSIONAL ENGINEER ENGAGED BY THE CONTRACTOR.			
GENERAL	EXISTING BUILDINGS UNTIL PERMANENT SUPPORT IS PROVIDED, PROVIDE TEMPORARY SUPPORT FOR SECTIONS OF EXISTING BUILDINGS WHICH ARE TO BE ALTERED AND WHICH NORMALLY RELY FOR SUPPORT ON WORK TO BE DEMOLISHED.			
	ASBESTOS REMOVAL USE WET REMOVAL METHODS RECOMMENDED IN THE CODE OF PRACTICE FOR THE REMOVAL OF ASBESTOS (NOHSC:2002)			
	OCCUPIED PREMISES FOR THE PARTS OF THE SITE DESIGNATED AS OCCUPIED PREMISES: ALLOW OCCUPANTS TO CONTINUE IN SECURE POSSESSION AND OCCUPANCY OF THE PREMISES FOR THE REQUIRED PERIOD. MAKE AVAILABLE SAFE ACCESS FOR OCCUPANTS. ARRANGE WORK TO MINIMISE NUISANCE TO OCCUPANTS AND ENSURE THEIR SAFETY. PROTECT OCCUPANTS AGAINST WEATHER, DUST, DIRT, WATER OR OTHER NUISANCE, BY SUCH MEANS AS TEMPORARY SCREENS.			
GENERAL	PROTECTION OF PERSONS AND PROPERTY TEMPORARY WORKS: PROVIDE AND MAINTAIN REQUIRED HOARDINGS, BARRICADES, GUARDS, FENCING, SHORING, TEMPORARY ROADWAYS, FOOTPATHS, SIGNS, LIGHTING, WATCHING AND TRAFFIC FLAGGING. ACCESSWAYS, SERVICES: DO NOT OBSTRUCT OR DAMAGE ROADWAYS AND FOOTPATHS. DRAINS AND WATERCOURSES AND OTHER EXISTING SERVICES IN USE ON OR ADJACENT TO THE SITE. DETERMINE THE LOCATION OF SUCH SERVICES. PROPERTY: DO NOT INTERFERE WITH OR DAMAGE PROPERTY, WHICH IS TO REMAIN ON OR ADJACENT TO THE SITE, INCLUDING ADJOINING PROPERTY ENCROACHING ONTO THE SITE, AND TREES.			
	FOOTINGS AND SLABS			
	GENERALLY TO BE IN ACCORDANCE WITH AS2870 'RESIDENTIAL SLABS & FOOTINGS'. PREPARATION FOR PLACEMENT OF CONCRETE AND REINFORCEMENT TO BE TO AS2870. CONCRETE & STEEL REINFORCEMENT TO BE IN ACCORDANCE WITH AS2870 & AS3500. THE SITE CLASSIFICATION TO BE IN ACCORDANCE WITH AS 2870. ALTERNATIVELY FOOTINGS & SLABS TO BE IN ACCOURDANCE WITH STRUCTURAL ENGINEERS DESIGN & SPECIFICATION. RETAINING WALLS OVER 1000mm HIGH SHALL BE DESIGNED BY STRUCTURAL ENGINEER			
GENERAL	MASONRY			
	GENERALLY MASONRY WALLS TO BE CONSTRUCTED IN ACCORDACE WITH NCC 3.3 & AS 3700. UN- REINFORCED MASONRY TO NCC 3.3.1. REINFORCED MASONRY TO NCC 3.3.2. MASONRY ACCESSORIES TO NCC 3.3.3. WEATHERPROOFING OF MASONRY TO 3.3.4.			
	CONTROL / ARTICULATION JOINTS 10mm WIDE WITH COMPRESSIBLE BACKING FOAM AND MASTIC SEALANT TO AS3700 & NCC PART 3.3.5.13 1) IN STRAIGHT, CONTINUOUS WALLS HAVING NO OPENINGS, AT NOT MORE THAN 6m. CENTRES AND WITHIN 4.5m, BUT NOT CLOSER THAN 470mm OF ALL CORNERS; AND 2) IN STRAIGHT, CONTINUOUS WALLS WITH OPENINGS MORE THAN 900x900mm, AT NOT MORE THAN 5m CENTRES AND LOCATED SO THAT THEY ARE NOT MORE THAN 1.2 M AWAY FROM OPENINGS; AND 3) WHERE THE HEIGHT OF THE WALL CHANGES BY MORE THAN 20% AT THE POSITION OF CHANGE IN HEIGHT; AND 4) WHERE A WALL CHANGES IN THICKNESS; AND 5) AT CONTROL OR CONSTRUCTION JOINTS IN FOOTINGS OR SLABS; AND 6) AT JUNCTIONS OF WALLS CONSTRUCTED OF DIFFERENT MASONRY MATERIALS.			
GENERAL	WALL TIES TO COMPLY WITH AS3700 & AS2699, TIES TO BE "MEDIUM" DUTY SPACED AT 450mm HORIZONTAL CENTERS. BRICK TIE MATERIAL TO BE BASED ON DEVELOPMENT DISTANCE FROM BREAKING SURF, AS FOLLOWS: 100m-1Km (SEVERE MARINE ENVIRONMENT) R4 316 STAINLESS STEEL 1Km - 9Km (MARINE ENVIRONMENT) R3 304 STAINLESS STEEL > 10Km (MODERATE ENVIRONMENT) R2 GALVANISED 2600			
	40mm CAVITY WIDTH. KEEP CAVITY CLEAN BY SUSPENDING A TIMBER BATTEN AND RAISING AS WORK PROGRESSES, OR LEAVE OUT A BRICK EVERY 1500mm ALONG CAVITY BOTTOM AND HOSE OUT MOTOR REGULARLY			
	WEEPHOLES PROVIDE WEEPHOLES TO EXTERNAL LEAVES OF CAVITY WALLS IN THE COURSE IMMEDIATELY ABOVE FLASHINGS, AND CAVITY FILL, AND AT THE BOTTOMS OF UNFILLED CAVITIES. FORM: OPEN PERPENDS WITH CORROSION RESISTANT WIRE MESH INSERTS, MAXIMUM APERTURE OF 2mm. MAXIMUM SPACING: 1200mm.			
GENERAL	FINISHED GROUND TO BE GRADED AWAY FROM BUILDING ON ALL SIDES. AS PER BCA 3.1.2.2			
	DAMP PROOF COURSE EMBOSSED POLYTHENE COATED ALUMINIUM DPC. LAID NOT LESS THAN 150mm ABOVE FINISHED GROUND LEVEL OR NOT LESS THAN 75mm ABOVE FINISHED CONCRETE PATHS OR PAVING. DPC SHOULD EXTEND TO BE VISIBLE AT THE OUTER FACE OF THE WALL.			
	WHERE MASONRY WALLS ARE LOCATED OVER FOOTINGS BELOW GROUND, THE JUNCTION BETWEEN FOOTING AND MASONRY SHOULD BE PARGED WITH MORTAR AND THE PARGING AND MASONRY UP TO JUST BELOW PAVING SURFACE (OR GROUND LEVEL) GIVEN AT LEAST TWO COATS OF BITUMENOUS SEALANT SUCH AS HYDROSEAL.			
GENERAL	TIMBER FRAMING, BRACING & TIE DOWNS			
	TIMBER FRAGING TO BE IN ACCORDANCE WITH AS 1684, FOR THE DESIGNATED WIND MANUFACTURED TIMBER MEMBERS TO BE IN ACCORDANCE WITH PRESCRIBED FRAMING CLASS.			
	TIE DOWN AND BRACING OF FRAME TO BE IN ACCORDANCE WITH AS1684 & AS 4055. STRUCTURAL STEEL FRAMING TO BE IN ACCORDANCE WITH NCC 3.4.4. AS1250, AS4100 & STRUCTURAL ENGINEER DESIGN & SPECIFICATION.			
GENERAL	SUBFLOOR VENTILATION			
	SUB FLOOR VENTILATION IN ACCORDANCE WITH NCC 3.4.1.			
	SUB FLOOR AREA TO BE CLEAR OF ORGANIC MATERIALS & RUBBISH. PROVIDE VENT OPENINGS IN SUBSTRUCTURE WALLS AT A RATE OF 6000mm2/m OF WALL LENGTH, WITH VENTS NOT MORE THAN 600mm FROM CORNERS.			
GENERAL	150mm CLEARANCE REQUIRED TO UNDERSIDE OF FLOOR FRAMING MEMBERS UNLESS SPECIFIED OTHERWISE BY FLOORING MATERIAL SPECIFICATION.			
	ADDITIONAL VENTILATION SHALL BE INSTALLED WHERE ONSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE PROVIDED OR PLAN TO BE PROVIDED. ENSURE THAT OVERALL LEVEL OF VENTILATION IS MAINTAINED.			
	INTERNAL LININGS			
GENERAL	ALL SHALL COMPLY WITH A.S2589. DRY WALL PLASTERBOARD SHALL ATTAIN A LEVEL 4 FINISH UNLESS OTHERWISE NOTED. WET AREA LININGS SHALL COMPLY WITH AS740 WET AREA LININGS. PROVIDE IMPERVIOUS LINING AT LEAST 150mm ABOVE SHOWER ROSE, TAPS AND VANITY BASIN TOP			
	ROOF AND WALL CLADDING			
	GENERALLY TO BE IN ACCORDANCE WITH NCC 3.5. ROOF CLADDING TO BE IN ACCORDANCE WITH NCC 3.5.1. AND ; ROOF TILES AS2049 & AS2050 METAL SHEET ROOFING AS 1562.1 PLASTIC SHEET ROOF AS/NZS 4256.1,2,.3 & .5 & AS1562.3. GUTTERS AND DOWNPIPES, GENERALLY TO BE IN ACCORDANCE WITH NCC 3.5.2 & AS/NZS3500.3.2. & THE TASMANIAN PLUMBING CODE. EAVES, INTERNAL AND VALLEY GUTTERING TO HAVE CROSS SECTIONAL AREA OF 6500mm2. DOWNPIPES TO BE 90 DIA. OR 100x50 RECTANGULAR SECTION AT MAX. 12000 CRS AND TO BE WITHIN 1000 OF INTERNAL/ VALLEY GUTTER. WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH NCC 3.5.3. & MANUFACTURERS SPECIFICATION FLASHINGS TO NCC 3.5.3.6.			
GENERAL	FIRE SAFETY			
	GENERALLY TO BE IN ACCORDANCE WITH NCC 3.7. FIRE SEPARATION TO BE IN ACCORDANCE WITH NCC 3.7.1. EXTERNAL WALLS AND GABLE ENDS CONSTRUCTED WITHIN 900 OF BOUNDARY ARE TO EXTEND TO UNDERSIDE OF NON COMBUSTIBLE ROOFING/ EAVES & ARE TO BE CONSTRUCTUED OF A MASONRY SKIN 90 THICK WITH AN FRL OF 60/60/60. SARKING TO HAVE A FLAMMABILITY INDEX LESS THAT 5. ROOF LIGHTS NOT TO BE PLACED CLOSER THAN 900 FROM BOUNDARY. SMOKE ALARM INSTALLATION TO BE IN ACCORDANCE WITH NCC 3.7.2. LOCATIONS INDICATED ON FLOOR PLAN. INSTALLATION LOCATIONS CEILINGS: 300mm AWAY FROM WALL JUNCTION. CATHEDRAL CEILING: 500mm DOWN FROM APEX. WALLS – 300mm DOWN FROM CEILING JUNCTION. HEATING APPLIANCES GENERALLY TO BE IN COMPLIANCE WITH NCC3.7.3 & AS 2918 FIREPLACE: EXTEND HEARTH 150mm TO SIDE OF OPENING. 300mm IN FRONT OF OPENING FREESTANDING: EXTEND HEARTH 400mm BEYOND UNIT. FREESTANDING APPLIANCE TO BE 1200 FROM COMBUSTIBLE WALL SURFACE. 50 FROM MASONRY WALL. HEAT SHIELD – 90 MASONRY WITH 25 AIR GAP TO COMBUSTIBLE WALL, EXTEND 600mm ABOVE UNIT. FLUE INSTALLATION TO NCC 3.7.3.4 TOP OF CHIMNEY/FLUE TO TERMINATE 300mm ABOVE HORIZONTAL PLANE OF ROOF CONSTRUCTION IN BUSH FIRE AREA TO BE IN ACCORDANCE WITH NCC 3.7.4 & AS 3959 ALL BUILDING MATERIALS TO MEET THE REQUIRED B.A.L. MINIMUM.			

<div><div>n+b</div><div>22 Fieldings Way Ulverstone, Tasmania Australia 7315</div><div>m 0417 134 369 e nick@nplusb.com.au License No. 047538582 ABN 946 222 219 16</div></div>	<div>Issued As</div> <div>Scale A3</div> <div>PLANNING</div>	<div>Revision</div> <table><thead><tr><th>No.</th><th>Date</th><th>Description</th></tr></thead><tbody><tr><td>A</td><td>10/02/24</td><td>Issued as PLANNING</td></tr></tbody></table> <div>do not scale off plans all dimensions are in millimeters confirm all dimensions on site all work relevatnt NCC & AS</div>	No.	Date	Description	A	10/02/24	Issued as PLANNING	<div>Project</div> <div>PROPOSED RESIDENCE & SHED</div> <div>Location</div> <div>6 KATHS WAY, ABERDEEN</div> <div>Client</div> <div>TOM ARTHUR ROBERTSON</div>	<div>Sheet Title</div> <div>CONSTRUCTION NOTES 1 OF 2</div> <table><tr><td>Drawn</td><td>Issue Date</td><td>Project No.</td><td>Revision</td></tr><tr><td>NJB</td><td>10/02/24</td><td>TBA</td><td>A</td></tr></table>	Drawn	Issue Date	Project No.	Revision	NJB	10/02/24	TBA	A	<div>Sheet Number</div> <div>A102</div> <div>/A103</div>
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HEALTH AND AMENITY

GENERALLY WET AREA WATERPROOFING TO BE IN ACCORDANCE WITH AS3740 AND NCC 3.8.1. WATERPROOFING OF SURFACES ADJACENT TO OPEN SHOWER, INCLUDING SHOWER OVER BATH, TO EXTEND 1500 FROM A VERTICAL LINE PROJECTED FROM SHOWER ROSE, TO A HEIGHT 1800mm ABOVE FINISHED FLOOR. WALL SURFACES ADJACENT TO PLUMBING FIXTURES, BOTH ETC. TO BE PROTECTED TO A HEIGHT OF 160mm ABOVE FIXTURE. CEILING HEIGHTS TO BE IN ACCORDANCE WITH NCC 3.8.2.

FACILITIES

GENERALLY TO BE IN ACCORDANCE WITH NCC 3.8.3. REQUIRED FACILITIES IN ACCORDANCE WITH 3.8.3.2 REFER TO PLAN FOR LOCATIONS.

SANITARY COMPARTMENT TO BE IN ACCORDANCE WITH NCC 3.8.3.3. REFER TO PLANT FOR DETAIL.

PROVISION OF NATURAL LIGHT TO BE IN ACCORDANCE WITH NCC 3.8.4.2
WINDOWS / ROOFLIGHTS TO PROVIDE LIGHT TRANSMISSION AREA EQUAL TO 10% OF FLOOR AREA OF ROOM.

VENTILATION TO BE IN ACCORDANCE WITH NCC 3.8.5. OR AS 1668.2 FOR MECHANICAL VENTILATION. EXHAUST FAN FROM BATHROOM / WC TO BE VENTED TO OUTSIDE OF BUILDING.

NATURAL VENTILATION TO BE PROVIDED AT A RATE OF 5% OF ROOM FLOOR AREA, IN ACCORDANCE WITH NCC 3.8.5.2.

STAIR CONSTRUCTION

STAIRS TO BE GENERALLY IN ACCORDANCE WITH NCC 3.9.1
MAXIMUM OF 18 RISERS TO EACH FLIGHT.
RISER OPENING TO BE LESS THAT 125mm.
TREADS TO HAVE NON SLIP SURFACE OR NOSING.
RISER – MIN. 115mm, MAX. 190mm.
TREAD – MIN 240mm, MAX. 355mm.
BALUSTRADE GENERALLY IN ACCORDANCE WITH NCC 3.9.2.

BALUSTRADE REQUIRED WHERE AREA IS NOT BOUNDED BY A WALL OR WHERE LEVEL EXCEEDS 1000mm ABOVE FLOOR LEVEL OR GROUND LEVEL. 865mm HIGH ON STAIRS, MEASURED FROM LINE OF STAIR NOSING.
1000mm HIGHT ABOVE FLOOR OR LANDING.
OPENINGS BETWEEN BALUSTERS / INFILL MEMBERS TO BE CONSTRUCTED SO AS NOT TO ALLOW 125mm SPHERE TO PASS BETWEEN MEMBERS. WHERE FLOOR LEVEL EXCEEDS 4000mm ABOVELOWER LEVEL, INFILL MEMBERS BETWEEN 150mm AND 760mm ABOVE FLOOR LEVEL, TO BE CONSTRUCTED SO AS TO RESTRUCT CLIMBING.

RAMPS SHALL COMPLY WITH THE B.C.C. VOL 1 PART D 2.10
SLOPE GRADIENT SHALL NOT EXCEED 1:8 AND HAVE A NON-SLIP SURFACE.
DISABLED RAMP SLOPE NOT TO EXCEED 1:14 & COMPLY WITH AS1428

GLAZING

GENERALLY GLAZING TO BE IN ACCORDANCE WITH AS1288. REFER TO WINDOW LEGEND FOR SIZES AND TYPE.

SWIMMING POOLS

GENERALLY SWIMMING POOLS AND SAFETY FENCES TO BE CONSTRUCTED IN ACCORDANCE WITH NCC 3.9.3. AND AS1926.1.

BUILDING SEALING

GENERALLY IN ACCORDANCE WITH BCA 3.12.3
CHIMNEYS OR FLUES TO BE FITTED WITH SEALING DAMPER OR FLAP. ROOF LIGHTS TO HABITABLE ROOMS TO BE FITTED WITH OPERABLE OR PERMANENT SEAL TO MINIMIZE AIR LEAKAGE.
EXTERNAL WINDOWS & DOORS TO HABITABLE ROOMS / CONDITIONED SPACES TO BE FITTED WITH AIR SEAL TO RESTRICT AIR INFILTRATION. EXHAUST FANS TO HABITABLE ROOMS / CONDITIONED SPACES TO BE FITTED WITH SELF CLOSING DAMPER OR FILTER BUILDING ENVELOPE TO BE CONSTRUCTED TO MINIMIZE AIR LEAKAGE. CONSTRUCTION JOINTS AND JUNCTIONS OF ADJOINING SURFACES TO BE TIGHT FITTING AND SEALED BY CAULKING, SKIRTING, ARCHITRAVES AND CORNICES.

EXTERNAL GLAZING

GENERALLY IN ACCORDANCE WITH BCA 3.12.2 & AS1288. REFER TO WINDOW LEGEND FOR SIZES AND TYPE.

BUILDING FABRIC

GENERALLY IN ACCORDANCE WITH BCA 3.12.1
BUILDING FABRIC INSULATION

INSULATION TO BE FITTED TO FORM CONTINUOUS BARRIER TO ROOF/CEILING, WALLS AND FLOORS.

REFLECTIVE BUILDING MEMBRANE INSTALLED TO FORM 20mm AIRSPACE BETWEEN REFLECTIVE FACE AND EXTERNAL LINING / CLADDING, FITTED CLOSELY UP TO PENETRATIONS / OPENINGS, ADEQUATELY SUPPORTED AND JOINTS TO BE LAPPED MIN. 150mm

BULK INSULATION TO MAINTAIN THICKNESS AND POSITION AFTER INSTALLATION CONTINUOUS COVER WITHOUT VOIDS EXCEPT AROUND SERVICES / FITTINGS.

ROOF INSULATION
ROOF CONSTRUCTION TO ACHIEVE MINIMUM TOTAL R VALUE OF R4.0.

ROOF LIGHTS TO COMPLY WITH BCA 3.12.1.3

EXTERNAL WALLS
EXTERNAL WALL CONSTRUCTION TO ACHIEVE MINIMUM TOTAL R VALUE OF R2.0 WALL SURFACE DENSITY MINIMUM - 220KG/M2

FLOORS
GENERALLY IN ACCORDANCE WITH BCA 3.12.1.5
SUSPENDED FLOOR WITH AN UNENCLOSED PERIMETER REQUIRED TO ACHIEVE A MINIMUM TOTAL R VALUE OF R1.0. CONCRETE SLAB ON GROUND WITH AN IN SLAB HEATING SYSTEM TO BE ISULATED TO R1.0 AROUND VERTICAL EDGE OF SLAB PERIMETER.

ATTACHED CLASS 10A BUILDING
EXTERNAL WALL OR SEPARATING WALL BETWEEN CLASS 1 BUILDING REQUIRED TO ACHIEVE MINIMUM TOTAL R VALUE OF 2.0.

AIR MOVEMENT

GENERALLY IN ACCORDANCE WITH BCA 3.12.4

SERVICES

GENERALLY IN ACCORDANCE WITH BCA 3.12.5
HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH AS/NZS 3500

ENERGY EFFICIENCY

SEALING:
A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF AN EXTERNAL GARAGE OPENABLE WINDOW (INCLUDING INTERNAL GARAGE DOOR) (A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH THE ABOVE)

A SEAL TO THE BOTTOM EACH EDGE OF AN EXTERNAL DOOR (INCLUDING INTERNAL GARAGE DOOR) MUST BE A DRAFT PROTECTED DEVICE (RAVEN OR EQUIVALENT) OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP. FIBROUS SEAL OR THE LIKE ROOF. EXTERNAL WALLS, EXTERNAL FLOORS AND OPENINGS SUCH AS DOOR OR WINDOW FRAMES MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE, I.E:

1) ENCLOSED BY INTERNAL LINING SYSTEMS THAT ARE CLOSE FITTING AT THE CEILING, WALL AND FLOOR JUCTION OR
2) SEALED BY CAULKING, SKIRTING, ARCHITRABES, CORNICES OR THE LIKE

SARKING:
VAPOUR PERMEABLE WALL WRAP AND ROOF SARKING INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS

INSULATION:
INSULATION MUST COMPLY WITH AS4859.1

ROOFS: MUST HAVE A MINIMUM R VALUE OF R5.1 (CONSIDERATION GIVEN FOR ADJUSTMENT FOR LOSS OF INSULATION ACCORDING TO TABLE 3.12.1)

EXTERNAL WALLS: MUST HAVE A MINIMUM R VALUE OF R2.8

FLOOR: MUST HAVE A MINIMUM R VALUE OF 1 (IF APPLICABLE) SLAB ON GROUND WITH A HEATING SYSTEM MUSTHAVE A MINIMUM R VALUE OF 1 INSTALLED AROUND THE VERTICAL EDGE OF ITS PERIMETER.

GARAGE:
R2.5 INSULATION REQUIRED TO WALLS SEPARATING GARAGE FROM DWELLING, NO OTHER INSULATION IS REQUIRED TO EXTERNAL GARAGE WALLS OR CEILING.

MUST COMPLY WITH MINIMUM 6 STAR ENERGY REPORT – SEE ATTACED

ALL WORK SHALL BE IN ACCORDANCE AND COMPLY WITH THE BUILDING CODE OF AUSTRALIA, COUNCIL BY – LAWS, RELEVANT AUSTRALIAN STANDARDS AND CURRENT WORKPLACE STANDARDS CODE OF PRACTICE.

PAINTING

ALL PAINTING TO BE CARRIED OUT TO COMPLY WITH AS/NZS 2311 - GUIDE TO THE PAINTING OF BUILDINGS' & TO THE OWNERS REQUIREMENTS.
USE ONLY PREMIUM GRADE PRODUCTS & APPLY AS PER THE MANUFACTURERS RECOMMENDATIONS.
ALL COLOURS TO FUTURE SELECTION.

PREPARATION :
ALL SURFACES TO BE PREPARED BY FILLING, SANDING & REMOVING ALL DUST PRIOR TO PAINTING. LIGHTLY SAND BETWEEN COATS.

INTERNAL PAINTING :
REFER TO FINISHES SCHEDULE - INTERIOR ON DWG. No 19 FOR EXTENT OF INTERIOR PAINTING.

APPLY FINISHES AS FOLLOWS:
CEILINGS:
1 COAT SEALER UNDERCOAT 2 COATS CEILING WHITE.

WALLS:
1 COAT SEALER UNDERCOAT 2 COATS LOW SHEEN ACRYLIC.

SKIRTINGS, ARCHITRAVES, REVEALS & DOORS:
SKIRTINGS & ARCH'S PREPRIMED
1 COAT SEALER UNDERCOAT
2 COATS GLOSS ACRYLIC

GARAGE/WORKSHOP:
2 COATS OF COLOURED SEALER

EXTERIOR PAINTING :
APPLY FINISHES AS FOLLOWS:
EXPOSED FOUNDATION BLOCKWORK :
1 COAT SEALER UNDERCOAT, 2 COATS SEMI GLOSS ACRYLIC

SOFFITT LINING:
2 COATS LOW SHEEN ACRYLIC

CLADDING:
2 COATS DULUX WEATHERSHIELD, SEMI GLOSS ACRYLIC

WET AREAS & TILING

GENERAL :
ALL WORK TO BE CARRIED OUT TO COMPLY WITH 'AS 3958.1 - 2007 GUIDE TO THE INSTALLATION OF CERAMIC TILES' & 'AS 3740 - 2010 WATERPROOFING OF DOMESTIC WET AREAS INC. AMENDMENT 1 - 2012'

INSPECTION :
THE BUILDER OR OTHER PERSON RESPONSIBLE TO ISSUE THE 'WATERPROOFING APPLICATION CERTIFICATE' IS TO THOROUGHLY INSPECT THE FLOOR PRIOR TO TILE LAYING & ENSURE THAT ALL WORK TO THAT STAGE COMPLIES WITH AS3740.

WATERPROOF MEMBRANE :
APPLY A WATERPROOF MEMBRANE BEFORE TILING. MEMBRANE TO BE CLASS 3 - HIGH EXTENDABILITY - MANUFACTURED TO COMPLY WITH 'AS/NZS 4858 - 2004 WET AREA MEMBRANES.'
AS A MINIMUM APPLY TO ALL INTERNAL AREAS REQUIRED BY THE NCC Vol 2 - Part 3.8.1.
ALSO REFER TO AS 3740 - 2010 Amendment No 1 - 2012 - Appendix 'C'.

HEATING :
UNDERTILE FLOOR HEATING TO BE INSTALLED BY THE ELECTRICIAN. REFER 'ELECTRICAL'.
ALL CABLE/COILS & THERMOSTAT PROBES TO BE INSTALLED PRIOR TO LAYING TILES.
REFER TO ELECTRICAL PLAN FOR UNDER TILE HEATING AREAS.

TRIMS :
USE B.A.T. OR SIMILAR ALUMINIUM TRIMS OF SIZES TO SUIT THE TILES SELECTED. TRIM FINISH TO BE - 'SILVER ANODISED'
USE ANGLES TO ALL EXPOSED EDGES & AT JUNCTION WITH OTHER FINISHES. USE B.A.T. MOSAIC CORNER GUARD TO EXTERNAL CORNERS. PROVIDE WATERSTOP ANGLES AT DOORS TO COMPLY WITH AS 3740.

SHOWERS & GRATES :
PROVIDE DEFERRED TOPPING TO SLAB SET DOWNS TO PROVIDE 1 : 60 FALL TO STAINLESS STEEL GRATES.

WALL TILES :
ALL WALL TILE HEIGHTS IN BATHROOMS & ENUSITE TO BE CONFIRMED WITH BUILDER. SHOWERS TO BE TILED TO MIN 1800mm HEIGHT, ALLOW FOR TILES ON BATH RISER. PROVIDE METAL TRIMS TO WINDOW PERIMETER & TILES TO REVEALS. PROVIDE TILED SPLASHBACK TO LAUNDRY & PANTRY BENCHES.

SHOWER WALL NICHE:
PROVIDE TO BATHROOM & ENSUITE SHOWERS. TO BE 400mm W x 300mm H NOM. SIZE. POSITION TO BE CONFIRMED ON-SITE BY OWNER. B.A.T. MOSAIC TRIM SURROUND.

JUNCTIONS & GROUT SEALER :
JUNCTION BETWEEN FLOOR & WALL TILES & BENCHES & SPLASHBACK TILES TO BE SEALED WITH MATCHING COLOURED SILICONE. TAPE ALL JUNCTIONS & NEATLY TOOL TO REMOVE ALL EXCESS & FINISH SMOOTH.
ALL GROUT TO BE SEALED ON COMPLETION AS PER THE MANUFACTURERS RECOMMENDATIONS.

WATERPROOFING CERTIFICATE :
THE BUILDER OR OTHER COMPETENT / QUALIFIED PERSON IS TO ISSUE A CERTIFICATE TO CERTIFY COMPLIANCE WITH THE BCA, AS3740 - 2010 & AS4654.2 TO THE BUILDING SURVEYOR ON COMPLETION.
THE CERTIFICATE IS TO INCLUDE -
- EXTENT OF THE APPLICATION
- INSTALLATION DETAIL INFORMATION
- PRODUCT/S USED WITH CLASSIFICATIONS
- MATERIAL INFORMATION & COMPATIBILITY WITH TILE ADHESIVES.

PLASTER

WET AREAS :
ALL CONSTRUCTION & FINISHES IN BATHROOMS & LAUNDRY TO COMPLY WITH - AS3740 - 2010
WATERPROOFING OF DOMESTIC WET AREAS.

WALLS :
PLASTER LINING TO BE 10mm PLASTERBOARD. ALL WALLS TO AREAS TO BE TILED TO BE LINED WITH LINED WITH 10mm THICK 'AQUACHEK' PASTERBOARD.

CEILINGS :
REFER TO REFLECTED CEILING PLAN FOR THE EXTENT OF PLASTERBOARD TO RAKING & LEVEL CEILINGS INC. BULKHEADS.

SKYLIGHT SHAFTS :
TO FLAT CEILINGS TO BE LINED WITH 10mm PLASTERBOARD. REFER TO VELUX INSTALLATION DETAILS. PROVIDE RONDO P25 FLUSH JOINTED STOPPING ANGLE TO TOP EDGE OF PLASTER - 4 SIDES.

CEILING ACCESS HATCH :
REFER REFLECTED CEILING PLAN FOR SUGGESTED LOCATION.

COMPLETION

SITE CLEANING :
THE BUILDER IS TO PROGRESSIVELY CLEAN UP THE SITE & REMOVE ALL MATERIAL OFFCUTS ETC. ON COMPLETION REMOVE ALL TEMPORARY SHEDS, FENCES, SIGNS, PLANT & EQUIPMENT & GENERALLY LEAVE THE SITE IN A NEAT & CLEAN STATE.

BUILDING CLEANING & 'DETAILING' :
AT PRACTICAL COMPLETION THE BUILDER IS RESPONSIBLE FOR THE FOLLOWING:
1. MAKE GOOD ANY DAMAGE TO MATERIALS & REPLACE WHERE NECESSARY
2. REMOVE ALL EXPOSED TEMPORARY LABELS ON MATERIALS & EQUIPMENT
3. REMOVE ALL EXCESS ADHESIVE & SEALANT, SILICONE ETC.
4. TOUCHUP ALL PAINTED SURFACES WHERE DAMAGED DURING CONSTRUCTION.

5. CHECK, ADJUST & LUBRICATE IF REQD. ALL LOCKS, LATCHES, CLOSERS INC. ALL JOINERY HINGES & FITTINGS.
6. CHECK, TEST & ENSURE ALL SERVICES & EQUIPMENT ARE FUNCTIONING EFFICIENTLY
7. LABEL KEYS & HAND TO THE OWNERS
8. REMOVE ALL DUST FROM INSIDE JOINERY UNITS & WIPE CLEAN
9. THOROUGHLY CLEAN ALL INTERIOR SURFACES INC. WINDOW FRAMES & GLASS & FLOOR FINISHES
10. CLEAN ALL EXTERIOR SURFACES INCLUDING WINDOW FRAMES & GLASS & PAVED AREAS

CERTIFICATES AT COMPLETION :
THE BUILDER IS RESPONSIBLE TO ENSURE ALL CERTIFICATES / FORMS ARE ISSUED AS REQUIRED BY THE BUILDING ACT 2016 FOR BUILDING & PLUMBING WORKS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

PROVIDE TO THE BUILDING SURVEYOR:
- STANDARD OF WORK CERTIFICATE - BUILDING WORK [FORM 71A] (PROVIDE A COPY TO THE OWNER)

PROVIDE TO THE PERMIT AUTHORITY (COUNCIL)
- STANDARD OF WORK CERTIFICATE - PLUMBING WORK [FORM 71B] (PROVIDE A COPY TO THE OWNER)

PROVIDE TO THE OWNERS:
ISSUED BY THE BUILDING SURVEYOR
- CERTIFICATE OF FINAL INSPECTION [FORM 12]
- OCCUPANCY PERMIT [FORM 13]

ISSUED BY THE PERMIT AUTHORITY (COUNCIL)
- CERTIFICATE OF COMPLETION - BUILDING WORK [FORM 20]
- CERTIFICATE OF COMPLETION - PLUMBING WORK [FORM 21]

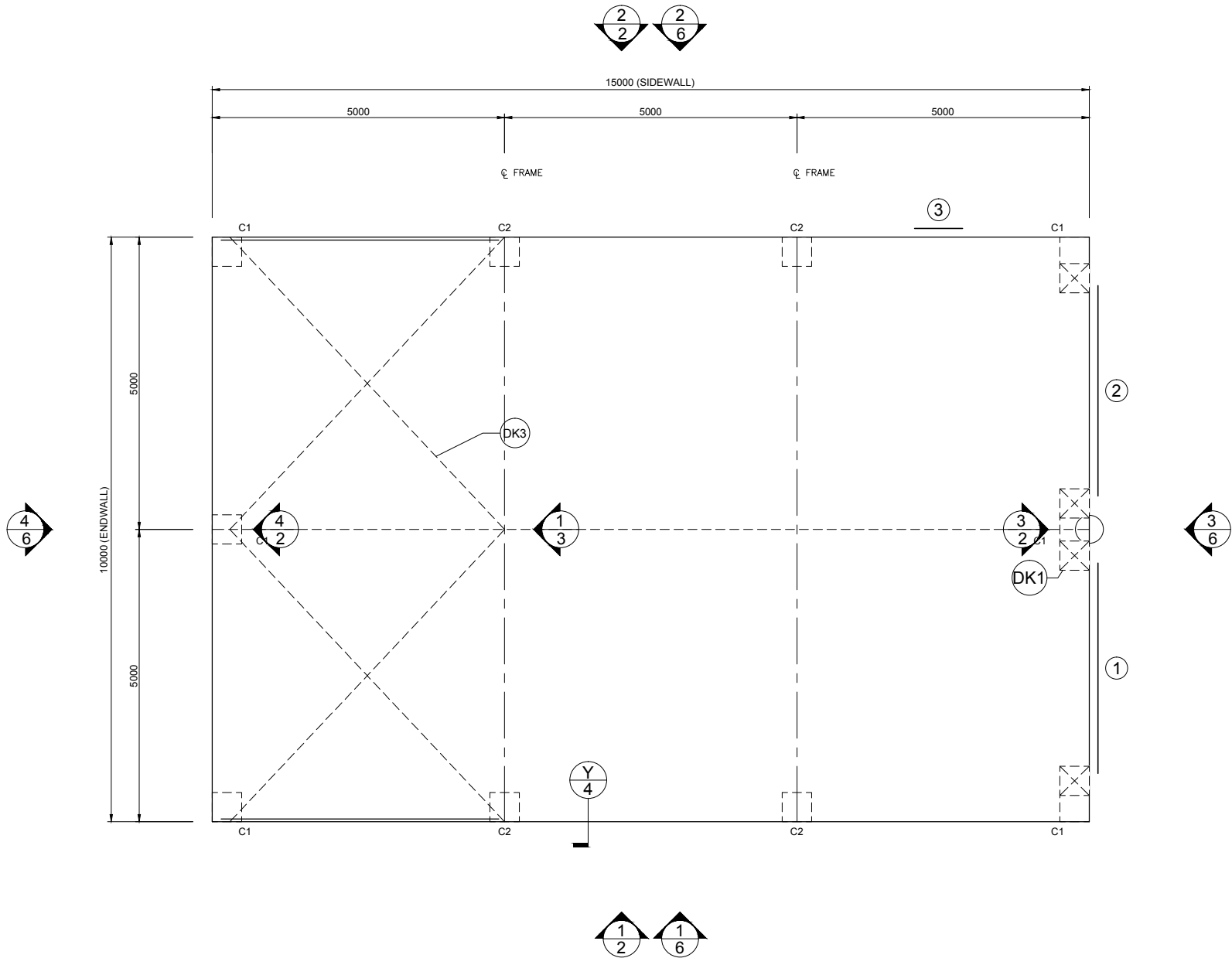
FINAL PAYMENT :
UNLESS AGREED OTHERWISE FINAL PAYMENT WILL NOT BE MADE TILL ALL CERTIFICATES / FORMS HAVE BEEN ISSUED.

BUILDING MANUAL :
THE BUILDER IS TO COLLATE ALL MATERIALS & EQUIPMENT INSTRUCTIONS & DATA SHEETS & FILE IN A 4 RING BINDER WITH CLEAR POCKETS. PROVIDE TO THE OWNERS ON COMPLETION.

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1 FOUNDATION PLAN AND MEMBER LAYOUT
SCALE: 1 = 100

MEMBER LEGEND

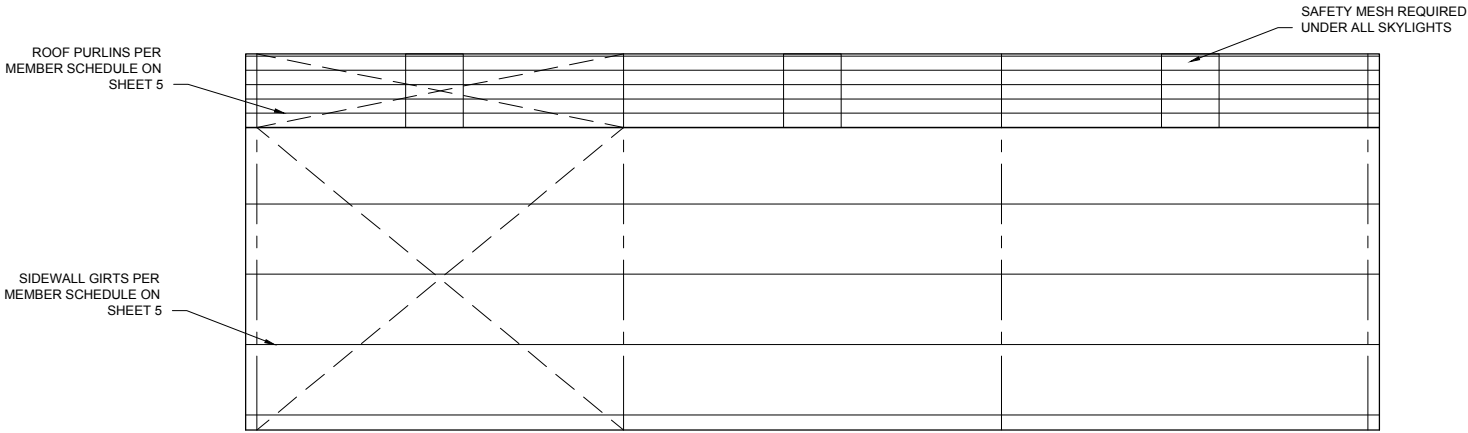
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C2	2C20019

ROOF STRAP BRACING TO BE CONNECTED TO THE PURLIN CLOSEST TO THE LINE OF THE END WALL MULLION
X - INDICATES ROLLER DOOR COLUMNS

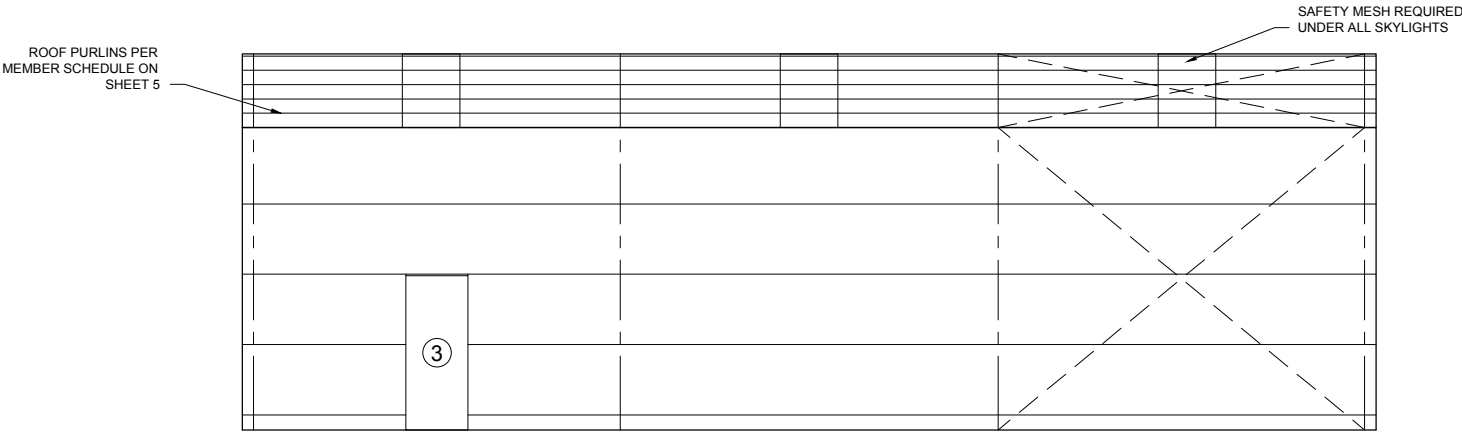
1 OF 7	SHEET	JOB NO. DEPT16101	DATE 10/2/2020	CHECKED TM	DRAWN FDS	STEEL BUILDING BY (CONTACT) DBS SHEDS PTY LTD 03 6424 6664 TOM ROBERTSON 12 KATHS WAY ABERDEEN			 Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56 Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Certifying Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS	Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. EC36692 Regn. No. CC5648M	Mr Timothy Roy Messer BE MIEAust RPEQ Registered Professional Engineer 2558980 Signature
	NCC 2019	10/2/2020	10/2/2020	Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register							

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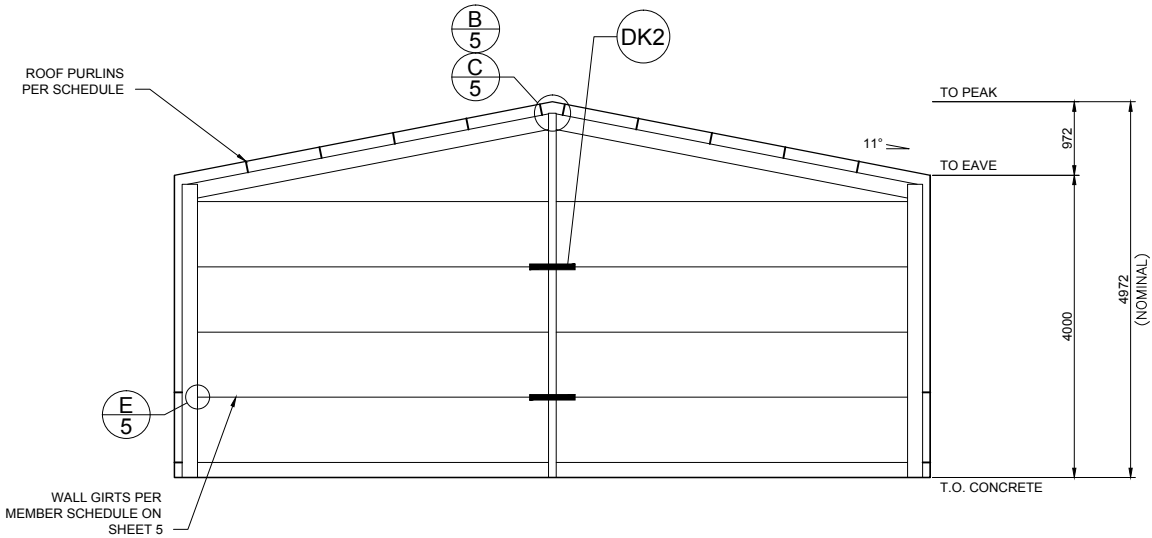
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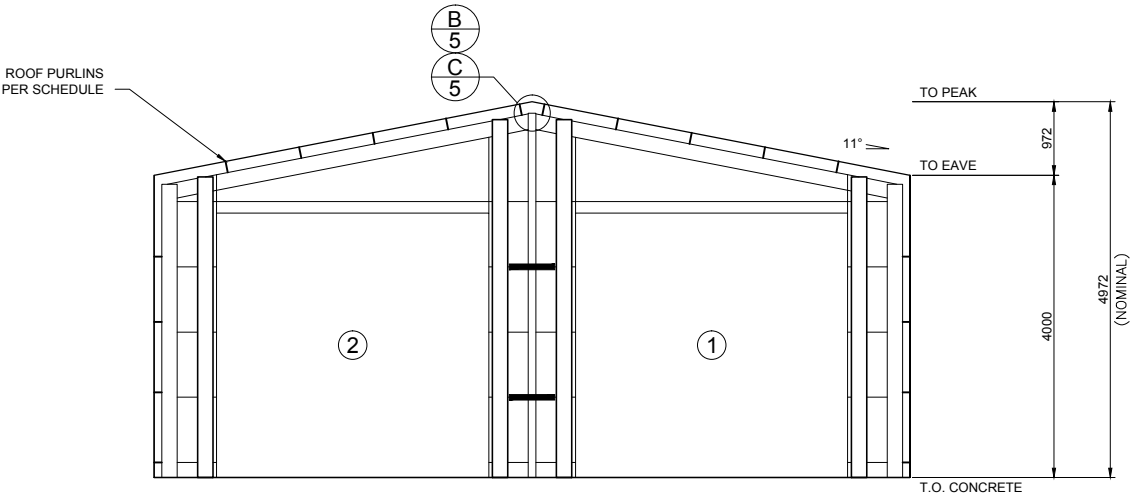
1 SIDEWALL EXTERIOR ELEVATION
2 SCALE: 1 = 100



2 SIDEWALL EXTERIOR ELEVATION
2 SCALE: 1 = 100



4 ENDWALL INTERIOR ELEVATION
2 SCALE: 1 = 100

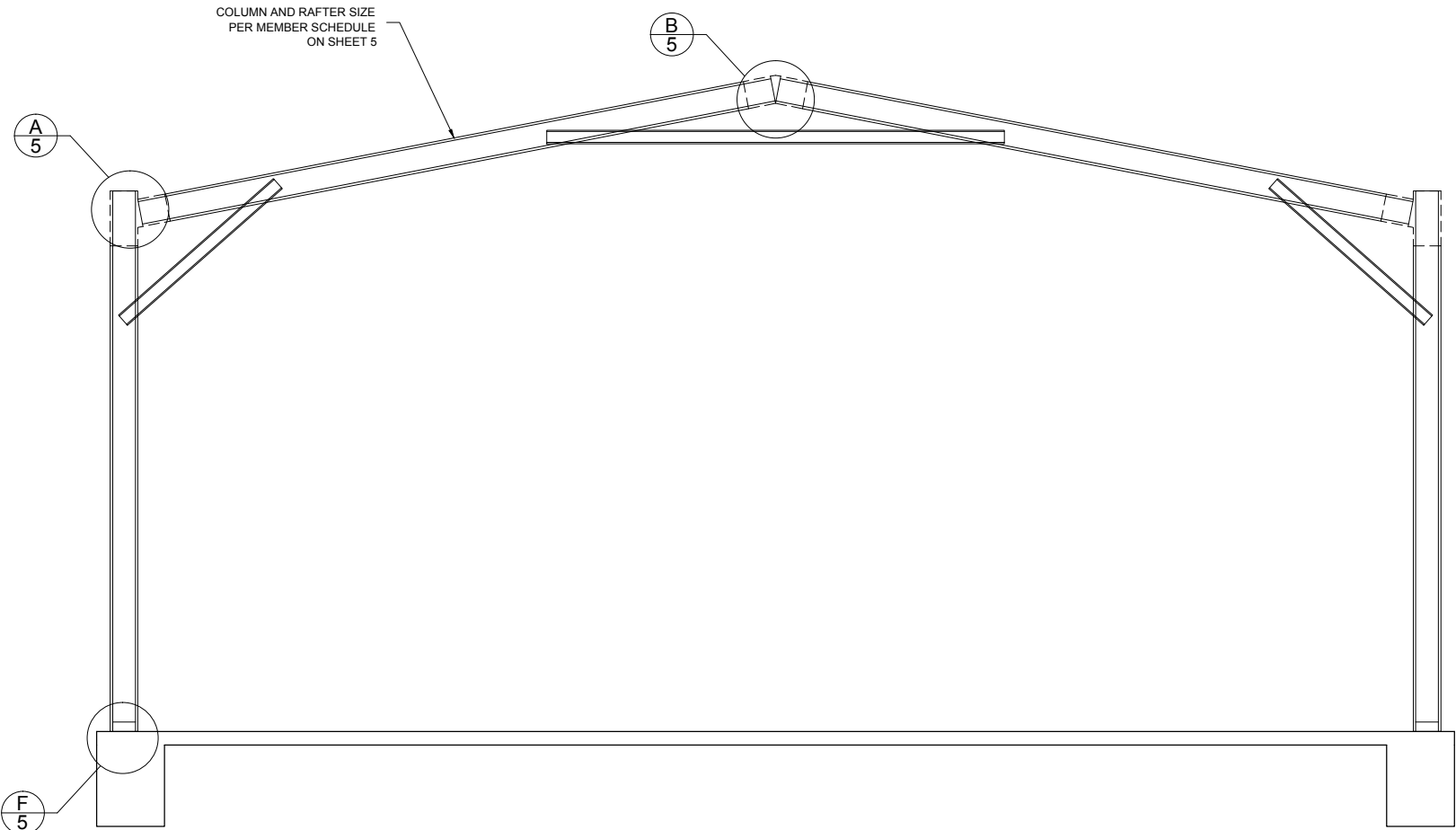


3 ENDWALL INTERIOR ELEVATION
2 SCALE: 1 = 100

X BRACING IS REQUIRED IN 2 SIDE BAY(S) AND 1 ROOF BAY(S) (BOTH SIDES).
FLY BRACING IS INCLUDED TO BE PLACED ON EVERY SECOND PURLIN AND GIRT ON ENDWALL MULLIONS, INTERNAL COLUMNS AND INTERNAL RAFTERS.





2 OF 7	SHEET	JOB NO. DEPT 16101	DATE 10/2/2020	CHECKED TM	DRAWN FDS	STEEL BUILDING BY	(CONTACT) DBS SHEDS PTY LTD 03 6424 6664 TOM ROBERTSON 12 KATHS WAY ABERDEEN			 Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56 Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Certifying Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS	Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56 Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. EC36692 Regn. No. CC5648M	Mr Timothy Roy Messer BE MIEAust RPEQ Registered Professional Engineer 2558980 Signature Date 10/2/2020 Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register
		NCC 2019			FOR AT							

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1 3 INTERNAL FRAME SECTION
SCALE: 1 = 50

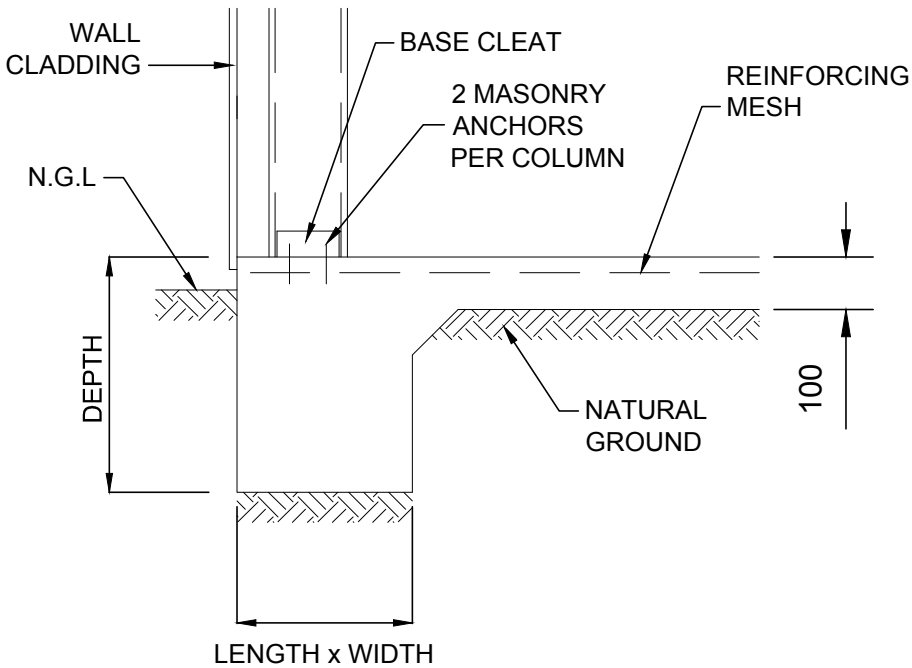
Refer to Sheet #4 for concrete specification.

3 OF 7	SHEET	JOB NO. DEPT 16101	DATE 10/2/2020	CHECKED TM	DRAWN FDS	STEEL BUILDING BY FOR AT	(CONTACT) DBS SHEDS PTY LTD 03 6424 6664 TOM ROBERTSON 12 KATHS WAY ABERDEEN			 <div>Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56</div>	Mr Timothy Roy Messer BE MIEAust RPEQ Registered Professional Engineer 2558980 Signature  Date 10/2/2020 Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register
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STRUCTURAL GENERAL NOTES

1. **GOVERNING CODE** : NATIONAL CONSTRUCTION CODE (NCC), LOADING TO AS1170 - ALL SECTIONS. BUILDING SUITABLE AS EITHER A PRIVATE GARAGE CLASS 10a, OR A FARM SHED (CLASS 7 OR 8), UNLESS OTHERWISE SPECIFICALLY NOTED. FOR USE AS A FARM SHED, IT MUST MEET THE FOLLOWING REQUIREMENTS:
 - BE LESS THAN 2000 SQM IN AREA (INCLUSIVE OF ANY MEZZANINE FLOOR AREA).
 - MUST BE LOCATED ON A FARM AND USED IN CONNECTION WITH FARMING PURPOSES.
 - BUILDING IS NOT TO BE OCCUPIED FREQUENTLY NOR FOR EXTENDED PERIODS BY PEOPLE, WITH A MAXIMUM OF 1 PERSON PER 200 SQM OR 2 PERSONS MAXIMUM IN TOTAL WHICHEVER IS THE LESSER.
2. **DRAWING OWNERSHIP** : THESE DRAWINGS REMAIN THE PROPERTY OF FBHS (AUST) PTY LIMITED. ENGINEERING SIGNATURE AND CERTIFICATION IS ONLY VALID WHEN BUILDING IS SUPPLIED BY A DISTRIBUTOR OF FBHS. DRAWINGS ARE PROVIDED FOR THE DUAL PURPOSE OF OBTAINING BUILDING PERMITS AND AIDING CONSTRUCTION. ANY OTHER USE OR REPRODUCTION IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM FBHS.
3. **DRAWING SIGNATURE REQUIREMENTS** : THESE DRAWINGS ARE NOT VALID UNLESS SIGNED BY THE ENGINEER. THE ENGINEER ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR DRAWINGS WITHOUT A SIGNATURE. EACH TITLE BLOCK CONTAINS A WATER MARK UNDER THE CUSTOMERS NAME CONTAINING THE DATE OF PRODUCTION OF THE DRAWINGS; THE DRAWINGS ARE TO BE SUBMITTED TO COUNCIL WITHIN 21 DAYS OF THIS DATE. THIS IS TO ENSURE THAT ONLY CURRENT DRAWINGS ARE IN CIRCULATION.
4. **CONTRACTOR RESPONSIBILITIES** : CERTIFIER AND CONTRACTOR TO CONFIRM [ON SITE] THAT THE WIND LOADINGS APPLIED TO THIS DESIGN ARE TRUE AND CORRECT FOR THE ADDRESS STATED IN THE TITLE BLOCK. CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR MUST NOT MAKE ANY DEVIATION FROM THE PROVIDED PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM ONE THE UNDERSIGNING ENGINEERS. THE ENGINEER / FBHS TAKE NO RESPONSIBILITY FOR CHANGES MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING CONSTRUCTION. BUILDING IS NOT STRUCTURALLY ADEQUATE UNTIL THE INSTALLATION OF ALL COMPONENTS AND DETAILS SHOWN IS COMPLETED IN ACCORDANCE WITH THESE DRAWINGS. THE INDICATED DRAWING SCALES ARE APPROXIMATE. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. FOR FURTHER DIRECTIONS ON CONSTRUCTION THE CONTRACTOR SHOULD CONSULT THE APPROPRIATE INSTRUCTION MANUAL.
5. **ENGINEERING** : THE ENGINEER / FBHS ARE NOT ACTING AS PROJECT MANAGERS FOR THIS DEVELOPMENT, AND WILL NOT BE PRESENT DURING CONSTRUCTION. THE UNDERSIGNING ENGINEERS HAVE REVIEWED THIS BUILDING FOR CONFORMITY ONLY TO THE STRUCTURAL DESIGN PORTIONS OF THE GOVERNING CODE. THE PROJECT MANAGER IS RESPONSIBLE FOR ADDRESSING ANY OTHER CODE REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT. THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS SUPPLIED BY FBHS. IT IS THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY FBHS WITH OTHER PLANS AND/OR OTHER COMPONENTS THAT ARE PART OF THE OVERALL PROJECT. IN CASES OF DISCREPANCIES, THE LATEST DRAWINGS PROVIDED BY FBHS SHALL GOVERN. NO ALTERATIONS TO THIS STRUCTURE (INCLUDING REMOVAL OF CLADDING) ARE TO BE UNDERTAKEN WITHOUT THE CONSENT OF THE CERTIFYING ENGINEER. OPENINGS SUCH AS WINDOWS AND DOORS NEED TO BE INSTALLED AS PER THE PRODUCT MANUFACTURER'S INFORMATION/DETAILS.
6. **INSPECTIONS** : NO SPECIAL INSPECTIONS ARE REQUIRED BY THE GOVERNING CODE ON THIS JOB. ANY OTHER INSPECTIONS REQUESTED BY THE LOCAL BUILDING DEPARTMENT SHALL BE CONDUCTED AT THE OWNER'S EXPENSE.
7. **SOIL REQUIREMENTS** : SITE CLASSIFICATION TO BE A, S OR M ONLY. SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION. REGARDLESS OF DETAIL V ON SHEET 4 THE MINIMUM FOUNDATION DEPTH SHOULD BE 100MM INTO NATURAL GROUND OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm. CONCRETE FOUNDATION EMBEDMENT DEPTHS DO NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR DISTURBED GROUND EXISTS OR WHERE WALLS OF THE EXCAVATION WILL NOT STAND WITHOUT SUPPLEMENTAL SUPPORT, IN THIS CASE SEEK FURTHER ENGINEERING ADVICE.
8. **CLASS 10a or Class 7 FOOTING DESIGNS**: THE FOUNDATION DOCUMENTED IS ALSO APPROPRIATE FOR CLASS 10a or CLASS 7 BUILDING DESIGNS ON 'M-D', 'H', 'H-D' OR 'E' CLASS SOILS, IF TOTAL SLAB AREA IS UNDER 100m SQUARE AND THE MAXIMUM SLAB DIMENSION (LENGTH AND WIDTH) IS LESS THAN OR EQUAL TO 12m. PLEASE BE AWARE THAT THE SLAB DESIGN FOR H & E CLASS SOILS IN THESE INSTANCES ARE DESIGNED TO EXPERIENCE SOME CRACKING. THIS CRACKING IS NOT CONSIDERED A STRUCTURAL FLAW OR DESIGN ISSUE, AND IS SIMPLY COSMETIC IN NATURE. IF THIS IS A CONCERN TO THE CLIENT IT IS ADVISED THEY DISCUSS OTHER OPTIONS WITH THE RELEVANT DISTRIBUTOR PRIOR TO THE POURING OF THE SLAB.
9. **CONCRETE REQUIREMENTS** : ALL CONCRETE DETAILS AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH AS2870 AND AS3600. CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 20MPa FOR EXPOSURE A1 & B1, 25MPa FOR EXPOSURE A2 & B2 AND 32MPa FOR EXPOSURE C, IN ACCORDANCE WITH SECTION 4, AS3600. CEMENT TO BE TYPE A. MAX AGGREGATE SIZE OF 20mm. SLUMP TO BE 80mm +/-15mm. SLABS TO BE CURED FOR 7 DAYS BY WATERING OR COVERING WITH A PLASTIC MEMBRANE, AFTER WHICH CONSTRUCTION CAN BEGIN, DUE CARE GIVEN NOT TO OVER-TIGHTEN HOLD DOWN BOLTS. GIVEN ALLOWABLE SOIL TYPES 1 LAYER OF SL72 REINFORCING MESH IS TO BE INSTALLED ON STANDARD SLABS WITH A MINIMUM 30MM COVER FROM CONCRETE SURFACE. CONCRETE REINFORCING TO CONFORM TO AS 1302, AS1303 & AS 1304. ALL REINFORCING COVER TO BE A MINIMUM OF 30mm.
10. **STRUCTURAL STEEL REQUIREMENTS** : ALL STRUCTURAL STEEL, INCLUDING SHEETING THOUGH EXCLUDING CONCRETE REINFORCING, SHALL CONFORM TO AS 1397 (GAUGE <= 1mm fy = 550MPa, GAUGE > 1mm < 1.5mm fy = 500MPa, GAUGE >= 1.5mm fy = 450MPa). NO WELDING IS TO BE PERFORMED ON THIS BUILDING. ALL STRUCTURAL MEMBERS AND CONNECTIONS DESIGNED TO AS4600. ALL BOLT HOLE DIAMETERS TO STRAMIT GENERAL FINCHINGS.
11. **FOOT TRAFFIC** : FOR ERECTION AND MAINTENANCE PLEASE NOTE THE FOLLOWING DEFINED FOOT TRAFFIC ZONES:
 - CORRUGATED: WALK ONLY WITHIN 200MM OF SCREW LINES. FEET SPREAD OVER AT LEAST TWO RIBS.
 - MONOCLAD: WALK ONLY IN PANS, OR ON RIBS AT SCREW LINES.



500 x 500 x 700
Length x Width x Depth (mm)

N.G.L - NATURAL GROUND LINE

Y	BLOCK LOCAL THICKENING DETAIL	DWG NO. SBLMA
---	-------------------------------	------------------

PROJECT DESIGN CRITERIA

ROOF LIVE LOAD: 0.25 kPa
BASIC WIND SPEED: VR 45 m/s
SITE WIND SPEED: V_{sitB} 43.8 m/s
WIND REGION: Reg A
TOPOGRAPHY FACTOR, Mt: 1.12
SHIELDING FACTOR, Ms: 1
MAX GROUND SNOW LOAD: NA
MAX ROOF SNOW LOAD: NA
SITE ALTITUDE: NA
TERRAIN CATEGORY: TCat 2.5
SOIL SAFE BEARING CAPACITY: 100 kPa
RETURN PERIOD: 1:500
LIMITING CPI 1: -0.5
LIMITING CPI 2: 0.5
IMPORTANCE LEVEL: 2

DETAIL KEYS

- DK1

ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.)
- DK2

FLYBRACING PER DETAIL L/5
- DK3

X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)
- DK4

DOUBLE X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)

DOOR SCHEDULE

DOOR	WIDTH	HEIGHT	OPENING TYPE	HEADER GIRT	OPENING JAMBS
①	3600	3500	3.50H X 3.70 CB PLANETARY GEAR *SERIES B	SINGLE	C20019P
②	3600	3500	3.50H X 3.70 CB PLANETARY GEAR *SERIES B	SINGLE	C20019P
③	820	2040	EXTERNAL PA DOOR 180 DEG	SINGLE	

NOTES: 1) SEE SHEET 5 FOR DOOR OPENING FRAMING INFORMATION.
2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL DOOR/WINDOW SIZE NOT OPENING SIZE.

4 OF 7	SHEET	JOB NO. DEPT16101	DATE 10/2/2020	CHECKED TM	DRAWN FDS	STEEL BUILDING BY
		NCC 2019				

(CONTACT)
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Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
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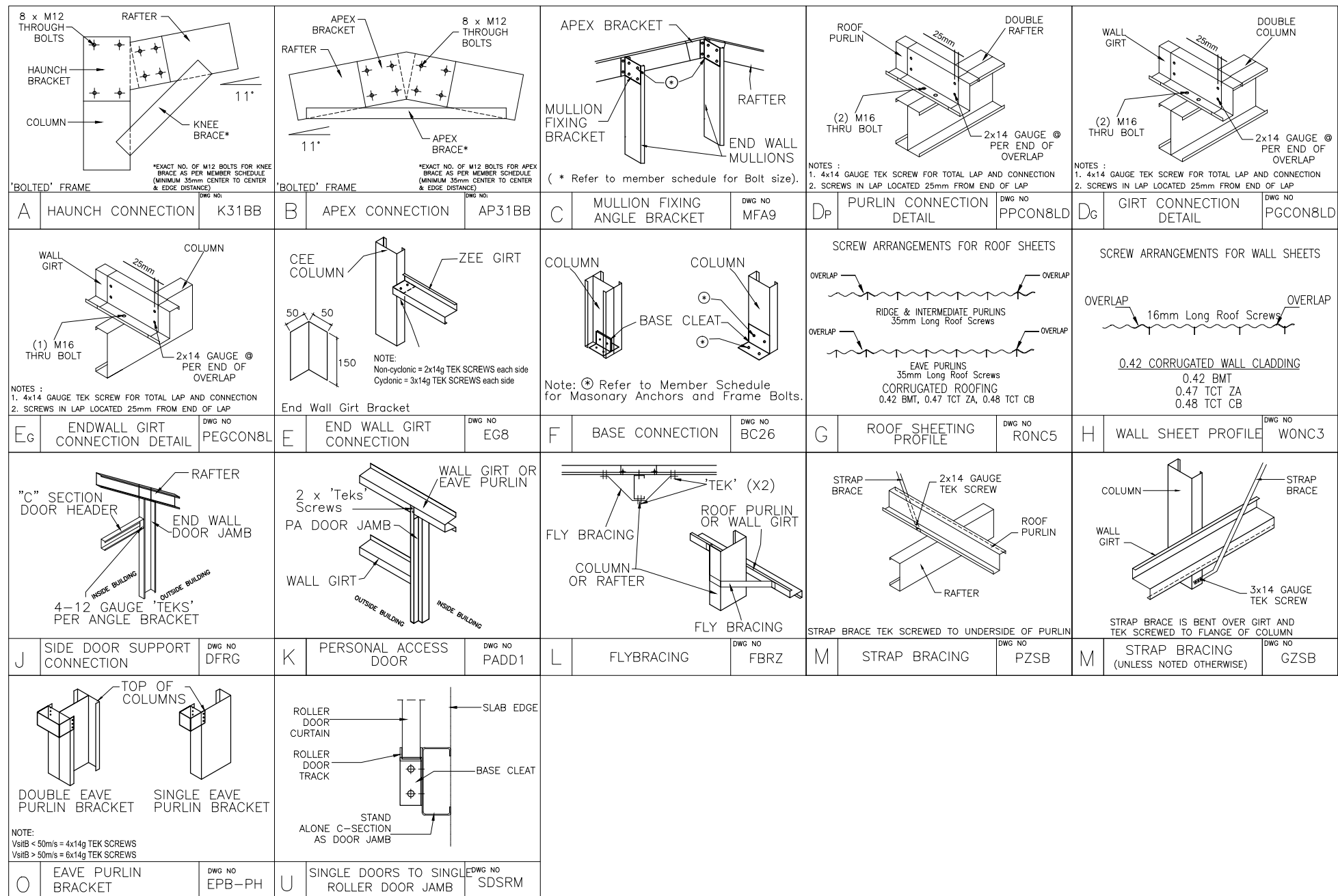
Regn. No. 2558980
Regn. No. 9985
Regn. No. 116373ES
Regn. No. EC36692
Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ
Registered Professional Engineer 2558980

Signature *T. Messer*

Date 10/2/2020
Registered on the NPER in the areas of practice
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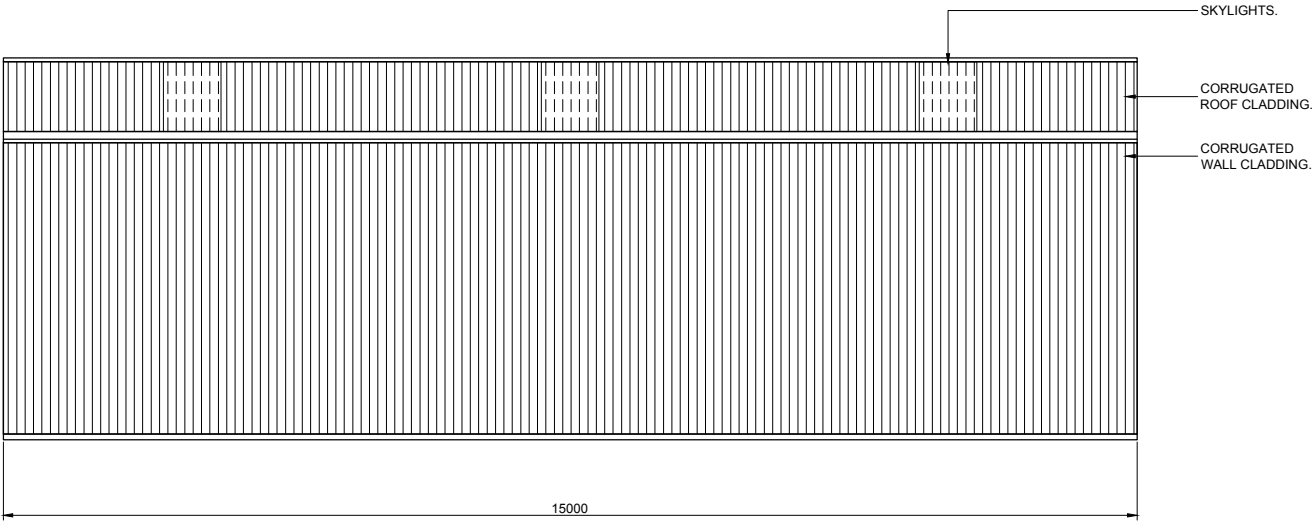


MEMBER AND MATERIAL SCHEDULE

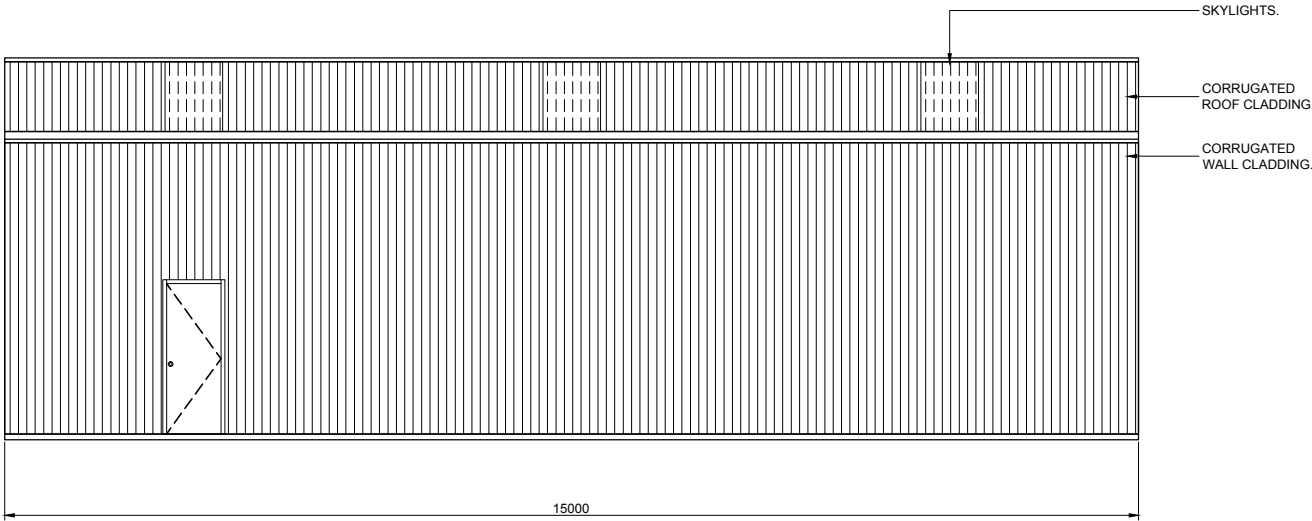
1	END WALL RAFTER	Single C20019
2	C.S. FRAME RAFTER	Double C20015
3	END FRAME COLUMN (C1)	Single C20019
4	C.S. FRAME COLUMN (C2)	Double C20019
5	MULLION (C1)	Single C20019
6	C.S. FRAME KNEE BRACE	Double C10010 @ 1.65 LONG 3 bolts each end
7	KNEE BRACE HEIGHT UP COLUMN	2.99m
8	KNEE BRACE LENGTH UP RAFTER	1.10m
9	C.S. FRAME APEX BRACE	Double C10010 @ 3.37 LONG 2 bolts each end
10	APEX POSITION FROM RAFTER END	1.68m
11	ANCHOR BOLTS (# PER DETS.)	Sleeve Anchor 16.0x110 Z/Y
12	EAVE PURLIN	C15015 (Eave Purlin Bracket 0mm from top of column)
13	TYP. ROOF PURLIN SIZE	Z15012 (1 rows of bridging)
14	MAIN BLDG. PURLIN SPACING	0.991 m. (5 rows) (Max Allow. 1.000m)
15	MAIN BLDG. PURLIN LENGTH	5.5 m. (0.5m Overlap)
16	ROOF PURLIN BRIDGING	Tophat 64 x 0.75
17	TYP. SIDEWALL GIRT SIZE	Z15012
18	MAIN BLDG. SIDEWALL GIRT SPACING	0.930 m. (4 rows) (Max Allow. 1.100m)
19	MAIN BLDG. SIDEWALL GIRT LENGTH	5.5 m. (0.5m Overlap)
20	TYP. ENDWALL GIRT SIZE	Z15012
21	MAIN BLDG. ENDWALL GIRT SPACING	0.863 m. (5 rows) (Max Allow. 1.100m)
22	MAIN BLDG. ENDWALL GIRT LENGTH	4.95 m. (0.3m Overlap)
23	FRAME SCREW FASTENERS	14-13x22 Hex C/S (SP HD 5/16" Hex Drive)
24	FRAME BOLT FASTENERS	Purlin Assy M12x30 Z/P
25	PURLIN/GIRT FASTENERS	Purlin Assy M16x30 Z/P
26	X-BRACING STRAP AND FASTENERS	Single Bracing Strap Per Roll Heavy
27	WALL COLOUR	WALLABY
28	ROOF COLOUR	WALLABY
29	ROLLER DOOR COLOUR	IRONSTONE
30	P.A. DOOR COLOUR	IRONSTONE
31	DOWNSPIPE COLOUR	WALLABY
32	GUTTER COLOUR	WALLABY
33	CORNER FLASHING COLOUR	WALLABY
34	BARGE FLASHING COLOUR	WALLABY
35	OPENING FLASHING COLOUR	WALLABY
36	OPEN BAY HEADER HEIGHT	0.5

"C.S." = CLEARSPAN "L." = LEFT "R." = RIGHT

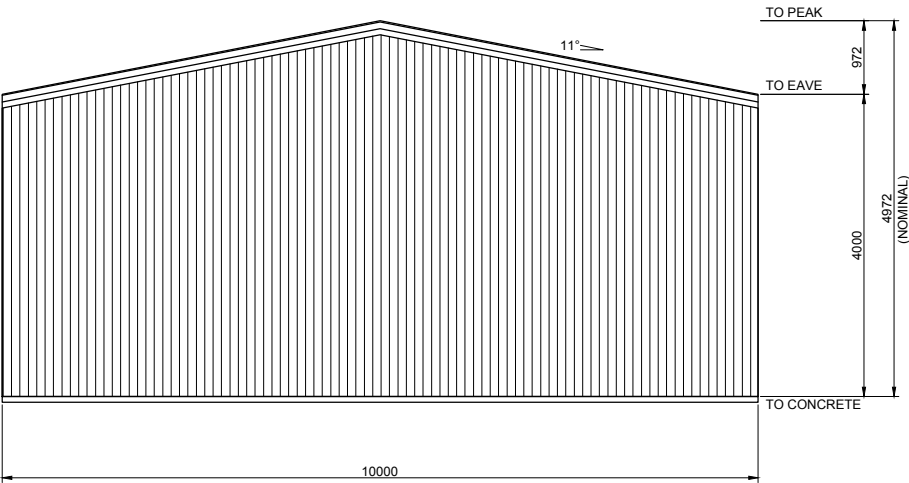
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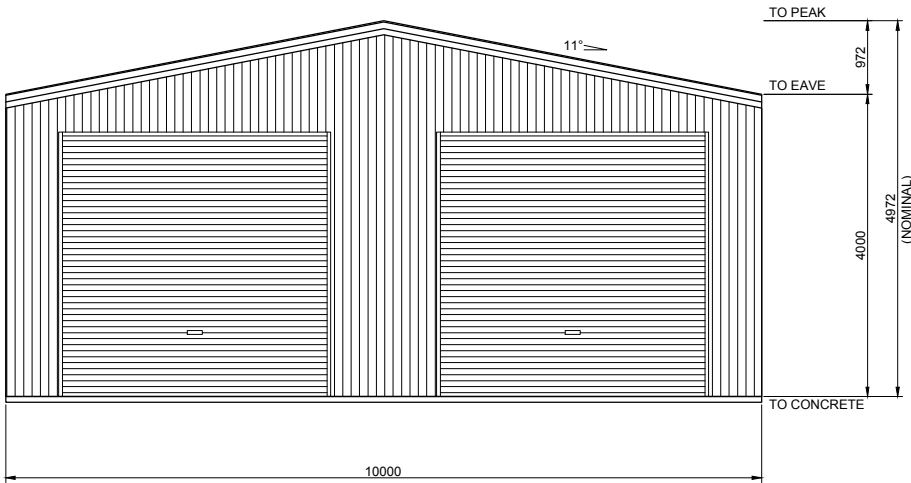
1
6
SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



2
6
SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



4
6
ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100



3
6
ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100

BUILDING COLOURS	
WALL	WALLABY
ROOF	WALLABY
ROLLER DOOR	IRONSTONE
P.A. DOOR	IRONSTONE
DOWNPIPE	WALLABY
GUTTER	WALLABY
CORNER FLASHING	WALLABY
BARGE FLASHING	WALLABY
OPENING FLASHING	WALLABY

6
OF
7

SHEET

JOB NO.
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DATE
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STEEL BUILDING BY
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Regn. No. 2558980
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NOTES:

BRACING MATERIALS - THE SHED ERECTOR TO SUPPLY SPECIFIC BRACING.
SUITABLE RIGID MEMBERS CAPABLE OF TENSION AND COMPRESSION OR OPPOSING CHAINS OR OPPOSING LOAD RATED RATCHET STRAPS TO BE USED. (RIGID BRACING AS SHOWN ON DIAGRAM) ROPE BRACING SUITABLE ONLY FOR SMALLER STRUCTURES IN IDEAL CONDITIONS.

BRACING LOCATION - TEMPORARY BRACING TO BE ERECTED AS CLOSE TO 45 DEGREE ANGLE AND FIXED TO THE TOP OF THE COLUMN OR MULLION TO ACHIEVE THE OPTIMUM EFFECTIVENESS. IF THERE IS NOT ENOUGH SPACE FOR A 45 DEGREE ANGLE, THEN 20 DEGREE ANGLE IS TO BE THE MINIMUM ANGLE ALLOWED (REFER TO DIAGRAM). RIGID TEMPORARY BRACING MEMBER TO BE BOLTED TO HEAVY ANGLE PEGS HAMMERED INTO THE GROUND OR TO A BRACKET, MASONRY ANCHORED TO THE SLAB.

BRACING REMOVAL - TEMPORARY BRACING TO REMAIN IN PLACE UNTIL CLADDING IS FULLY INSTALLED WHERE POSSIBLE. IN NO CASE SHOULD TEMPORARY BRACING BE REMOVED UNTIL ALL PURLINS, GIRTS (AND PERMANENT CROSS BRACING WHERE USED) ARE FIXED.

SITE SAFETY - DUE CONSIDERATION TO BE GIVEN TO SITE SAFETY IN REGARD TO LOCATIONS OF BRACING AND PEGS.

GUIDE APPLICATION - TEMPORARY BRACING AS DESCRIBED IS A MINIMUM REQUIREMENT FOR AN AVERAGE, STANDARD SITE CONDITION. PROVIDE ADDITIONAL BRACING FOR MORE SEVERE AND/OR HIGH EXPOSURE SITE CONDITIONS. ADDITIONAL BRACING TO BE USED AS AND WHERE NECESSARY TO ENSURE THAT ENTIRE FRAME IS RIGID THROUGHOUT CONSTRUCTION. RESPONSIBILITY FOR ENSURING STABILITY OF STRUCTURE REMAINS WITH THE BUILDER.

TILT UP METHOD
FOR STRUCTURES UNDER 9M SPAN, LESS THAN 3M HIGH AND LESS THAN 12M LONG

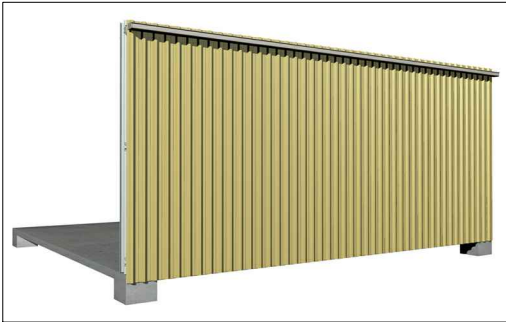
- ASSEMBLE THE FIRST SIDEWALL FRAME (COMPLETE WITH WALL SHEETING, BRACING AND GUTTER) ON THE GROUND AND LIFT ASSEMBLED SIDEWALL FRAME INTO POSITION. FIX OFF TEMPORARY SIDE BRACING TO EACH END (REFER TO DIAGRAM). FIX BASE CLEATS.
- ASSEMBLE THE SECOND SIDEWALL FRAME AS PER FIRST SIDEWALL FRAME. LIFT INTO POSITION. FIX OFF TEMPORARY WALL BRACING TO EACH END (REFER TO DIAGRAM) FIX BASE CLEATS.
- FIX GABLE END RAFTERS TO COLUMNS TO TIE WALLS. PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- INSTALL REMAINING RAFTERS. AS EACH RAFTER PAIR IS INSTALLED, AT LEAST ONE PURLIN PER 3M OF RAFTER LENGTH IS TO BE INSTALLED TO SECURE RAFTERS.
- INSTALL REMAINING PURLINS
- INSTALL KNEE AND APEX BRACES IF AND WHERE APPLICABLE.
- REPEAT FOR LEANTO'S.

FRAME FIRST METHOD
FOR STRUCTURES OVER 9M SPAN, GREATER THAN 3M HIGH AND GREATER THAN 12M LONG

- ASSEMBLE PORTAL FRAMES ON THE GROUND (WITH KNEE AND APEX BRACES IF AND WHERE APPLICABLE). LIFT THE FIRST PORTAL FRAME ASSEMBLY INTO POSITION. FIX OFF TEMPORARY END BRACING (REFER TO DIAGRAM). FIX BASE CLEATS.
- PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- THE SECOND PORTAL FRAME ASSEMBLY TO BE LIFTED INTO POSITION. FIX EAVE PURLINS AND AT LEAST ONE PURLIN PER 3M OF RAFTER TO SECURE FRAME ASSEMBLY. FIX BASE CLEATS. FIX TEMPORARY SIDEWALL BRACING.
- STAND REMAINING PORTAL FRAME ASSEMBLY AS PER STEP C, FIXING TEMPORARY SIDE WALL BRACING TO EVERY SECOND BAY. BRACE OTHER END PORTAL FRAME AS PER FIRST PORTAL FRAME.
- INSTALL REMAINING PURLINS AND GIRTS.
- REPEAT FOR LEANTO'S.

GUIDE TO THE INSTALLATION OF TEMPORARY BRACING

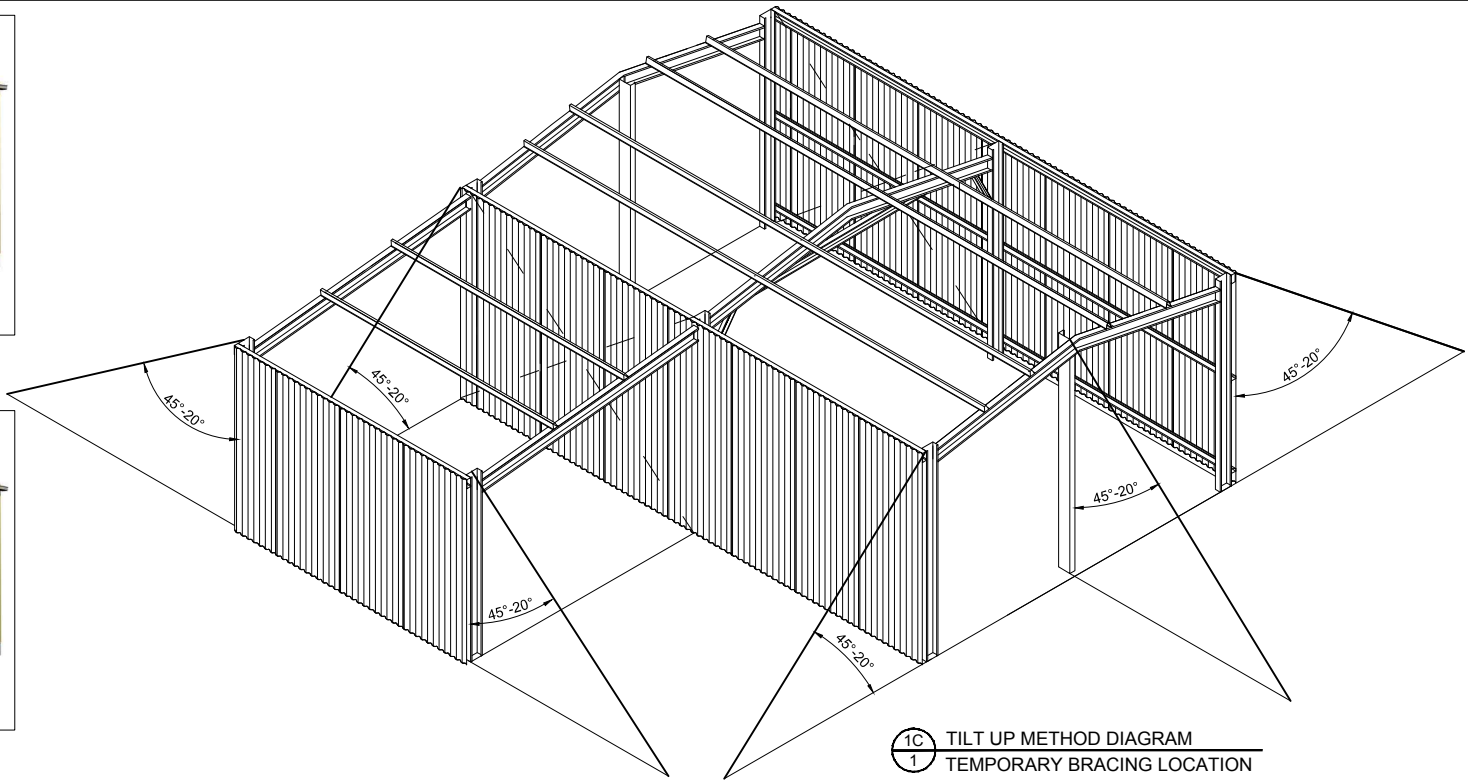
(REFER TO INSTALLATION GUIDE MANUAL FOR THE TWO METHODS OF CONSTRUCTION)



1A FIRST SIDEWALL FRAME
1 REFER 1C FOR TEMPORARY BRACING LOCATION



1B SECOND SIDEWALL FRAME
1 REFER 1C FOR TEMPORARY BRACING LOCATION



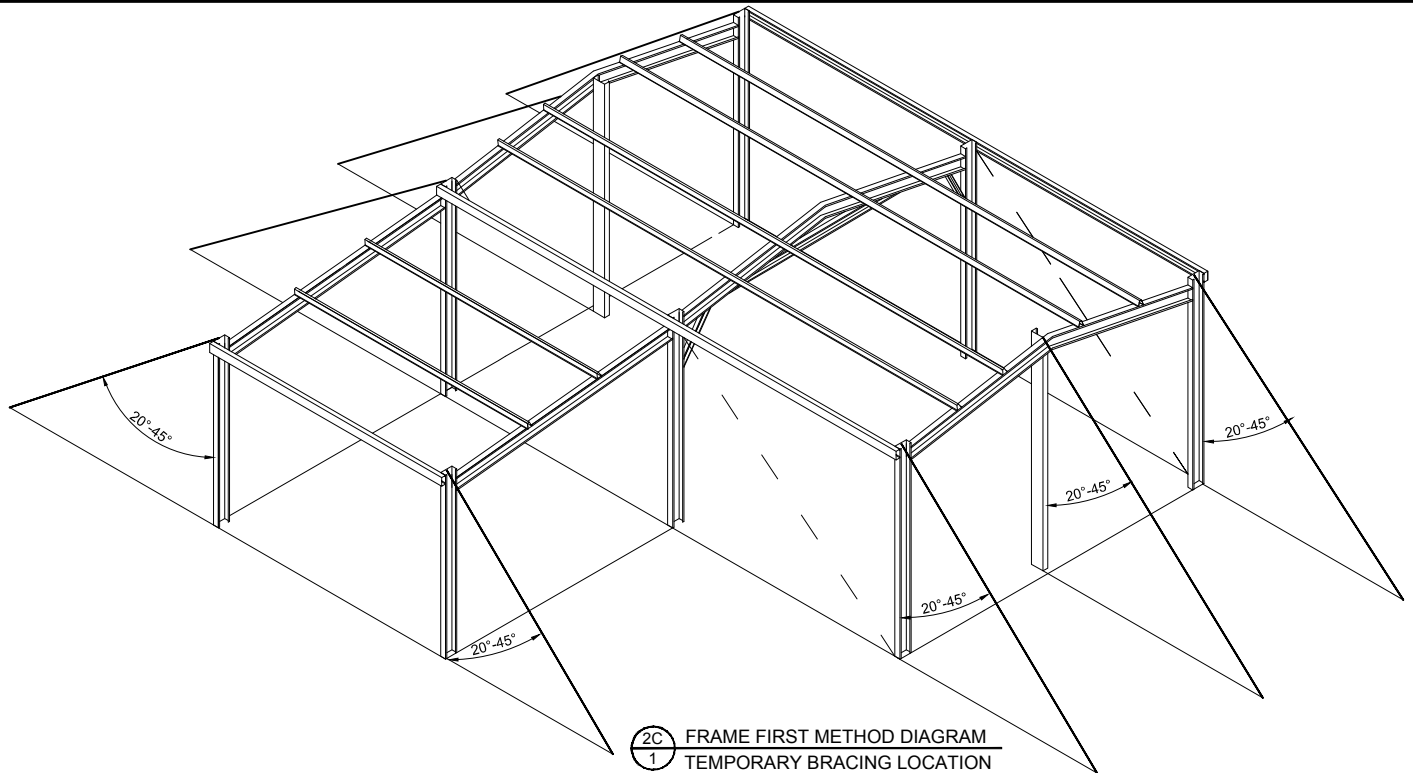
1 TILT UP METHOD DIAGRAM
1 SCALE: NTS



2A FIRST & SECOND PORTAL FRAME ASSEMBLY
1 REFER 2C FOR TEMPORARY BRACING LOCATION



2B COMPLETE PORTAL FRAME ASSEMBLY
1 REFER 2C FOR TEMPORARY BRACING LOCATION



2 FRAME FIRST METHOD DIAGRAM
1 SCALE: NTS

OF 7 7	SHEET	JOB NO. DEPT 16101	DATE 10/2/2020	CHECKED TM	DRAWN FDS	STEEL BUILDING BY
		NCC 2019				FOR
						AT

STEEL BUILDING BY
FOR
AT

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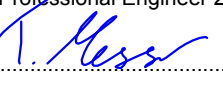




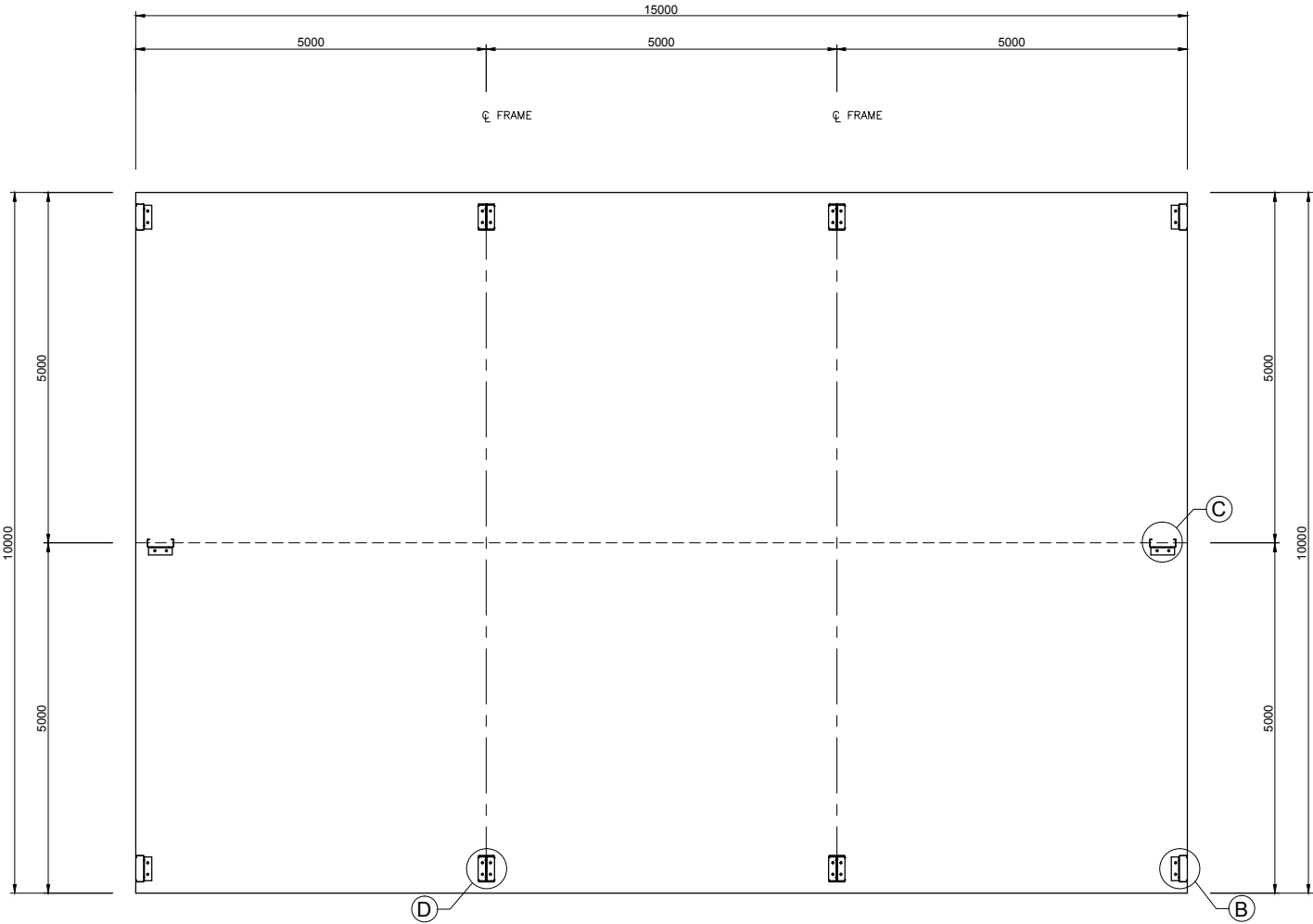
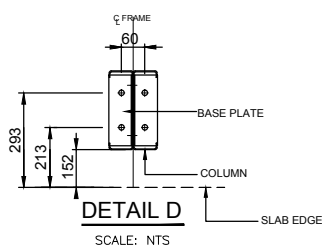
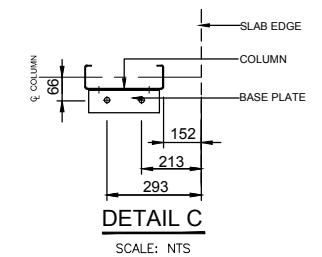
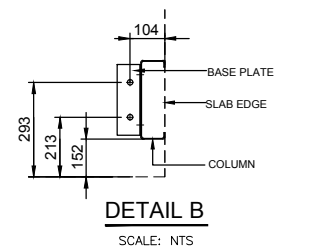
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Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

Regn. No. 2558980
Regn. No. 9985
Regn. No. 116373ES
Regn. No. EC36692
Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ
Registered Professional Engineer 2558980
Signature 
Date 10/2/2020
Registered on the NPER in the areas of practice
of Civil & Structural National Professional
Engineers Register

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1 BOLT LAYOUT PLAN
SCALE: 1 = 100

IF YOU HAVE A ROLLER DOOR IN THE GABLE END OF YOUR SHED, CONTACT YOUR DISTRIBUTOR TO SEE IF MULLION NEEDS TO BE ROTATED FOR USE AS A DOOR JAMB.

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

JOB NO.	DATE	CHECKED	DRAWN
DEPT 16101	10/2/2020	TM	FDS

STEEL BUILDING BY

FOR

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BOLT LAYOUT PLAN